

Cumberland County Subdivision and Land Development Review Report

Municipality:	Hampden/East Pennsboro	Surveyor/ Engineer:	Snyder, Secary & Associates, LLC	Owner/ Developer:	Burkentine Builders		
Plat Title:	Valley Road Community Project (P/LD)						
Plat Status:	Preliminary	Plat Type:	Land Development				
# of New Lots:	0	# of New Dwelling Units:	224	New Acreage Subdivided/Developed:	22.5	Total Tract Acreage:	22.5
Zoning District:	A-O/R-1	Proposed Land Use:	MF Apartment/TH				
Date Received:	2/19/2020	County Review:	3/11/2020	Reviewed by:	SH, EG	Checked by:	

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

The following comments refer to the East Pennsboro Township Zoning and SLD Ordinances on file at the Cumberland County Planning Department.

1. The Steep Slope Protection District requirements should be included in the East Pennsboro Township Zoning Data (Zoning 27-402).
2. The Wetland Protection Overlay District requirements should be included in the East Pennsboro Township Zoning Data Table (Zoning 27-403).
3. The signature block for the Cumberland County Planning Department will be signed by the Director of Planning (SLDO 22-307.1.A.13).
4. The plan should address the Pennsylvania DEP Sewage Planning requirements (SLDO 22-514.2).
5. A drainage easement should be provided around the existing wetland (SLDO 22-518.4).

The following comments refer to the Hampden Township Zoning and SLD Ordinances on file at the Cumberland County Planning Department.

6. The signature block for the Cumberland County Planning Department will be signed by the Director of Planning.
7. The plan should address the Pennsylvania DEP Sewage Planning Requirements (SLDO 403.4.6 and 604.1).
8. The Township should verify that the proposed bridge crossing of the existing wetland/drainage area has been approved by the Pennsylvania DEP (SLDO 402.CC).

9. The proposed sidewalk along Valley Road should be connected to the existing sidewalk near Gleim Drive.
10. It appears that the 14' emergency access (located north of Gleim Road and Valley Road intersection) is proposed to be crossed with curbing. Recommend a ramp for access.
11. Will the proposed townhouse tenants utilize individual garbage and recycling bins? If not, the plan should include a location for garbage and recycling dumpsters.
12. Recycling dumpsters should be provided for residents to use.
13. Emergency service providers should review the plan. Is the proposed turnaround located south of the townhouses sufficient for large equipment?
14. The garden apartment complex located north of Crew Boulevard should be provided with a crosswalk to access the sidewalks located south of Crew Boulevard.
15. A crosswalk should be provided between townhouse units 15-24 and townhouse units 25-30.
16. Township may want to review the proposed emergency access. If an accident or obstruction occurs east of the first two apartment buildings from the access drive, all of the remaining residents (up to 168 units) will not be accessible.
17. Traffic controls such as stop signs at intersections throughout the development should be provided.
18. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

PRELIMINARY LAND DEVELOPMENT PLAN

FOR

VALLEY ROAD COMMUNITY

FOR

BURKENTINE & SONS BUILDERS, INC.

HAMPDEN & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

FEBRUARY 18, 2020

HAMPDEN TOWNSHIP PLANNING COMMISSION

RECOMMENDED FOR APPROVAL BY THE HAMPDEN TOWNSHIP PLANNING COMMISSION THIS DAY OF _____, 20__

CHAIRMAN

SECRETARY

HAMPDEN TOWNSHIP BOARD OF COMMISSIONERS

APPROVED BY THE HAMPDEN TOWNSHIP BOARD OF COMMISSIONERS AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS DAY OF _____, 20__

PRESIDENT

SECRETARY

HAMPDEN TOWNSHIP ENGINEER

REVIEWED THIS DAY OF _____, 20__

TOWNSHIP ENGINEER

HAMPDEN TOWNSHIP OWNER STATEMENT

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED HAS LEGAL OR EQUITABLE TITLE TO THE LAND SHOWN AND THAT THE PLAN AS PRESENTED HEREIN IS THEIR ACT AND DEED. ALL ROADS AND STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY OFFERED FOR PUBLIC USE.

NAME SIGNATURE TITLE

INSTRUMENT NUMBER

OWNER'S CERTIFICATION & DEDICATORY STATEMENT

CORPORATE STATE OF COUNTY OF

ON THIS, THE DAY OF _____, 20__, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED BEING _____ OF _____, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT HE IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES, THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO PUBLIC USE.

MY COMMISSION EXPIRES: _____, 20__

OWNER CERTIFICATION AND STORMWATER MANAGEMENT FACILITIES AGREEMENT

THE STORMWATER MANAGEMENT FACILITIES (INCLUDING BUT NOT LIMITED TO SWALES, PIPING, BMP'S) OR ANY PART THEREOF WILL BE MAINTAINED BY THE OWNER AS PER HAMPDEN TOWNSHIP REQUIREMENTS. EACH CONTRACT FOR SALE OF A LOT CONTAINING A STORMWATER MANAGEMENT FACILITY OR PART THEREOF SHALL CONTAIN A STATEMENT IN THE CONTRACT CLEARLY INDICATING TO THE BUYER THE MAINTENANCE, INSPECTION, REPORTING REQUIREMENTS AND THE ASSOCIATED RESTRICTIONS OF THE STORMWATER FACILITY OR PART THEREOF. THIS REQUIREMENT ALSO SHALL BE STATED IN THE DEED OF THE LOT.

DATE OWNER

WETLAND CERTIFICATION

THE SITE HAS BEEN INVESTIGATED FOR WETLAND AREAS AND TO THE BEST OF MY KNOWLEDGE, ALL WETLAND AREAS ARE SHOWN ON THIS PLAN.

DATE ENGINEER

SURVEYOR'S CERTIFICATION

I, JAMES C. HOCKENBERRY, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE HAMPDEN & EAST PENNSBORO TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE ERROR OF CLOSURE IS NO GREATER THAN ONE FOOT (1') IN TEN THOUSAND FEET (10,000').

DATE JAMES C. HOCKENBERRY, P.L.S. REG. NO. 044553-E

ENGINEER'S CERTIFICATION

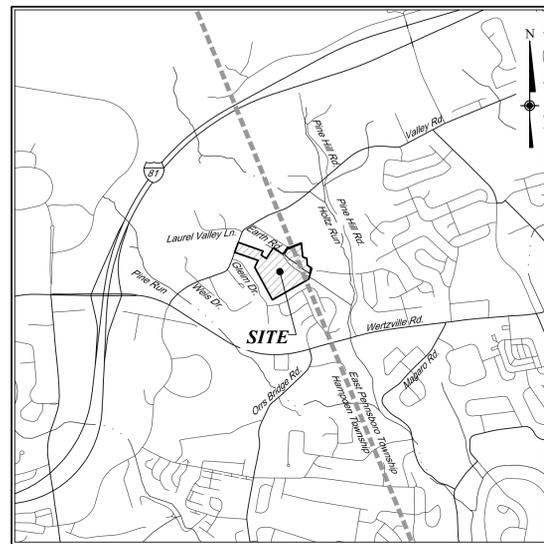
I, CHRISTOPHER F. SOKOLOWSKI HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE HAMPDEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE, AND THE STORMWATER MANAGEMENT SYSTEM AS SHOWN ON THIS PLAN IS ADEQUATE TO MEET THE REQUIREMENTS OF THE HAMPDEN TOWNSHIP ORDINANCES.

DATE CHRISTOPHER F. SOKOLOWSKI, P.E. REG. NO. PE-090766

LANDSCAPE ARCHITECT CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED LANDSCAPE PLAN SHOWN AND DESCRIBED HEREON IS DESIGNED IN CONFORMANCE WITH THE HAMPDEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

DATE ALLISON MARIE HANNA, R.L.A. REG. NO. LA-003273

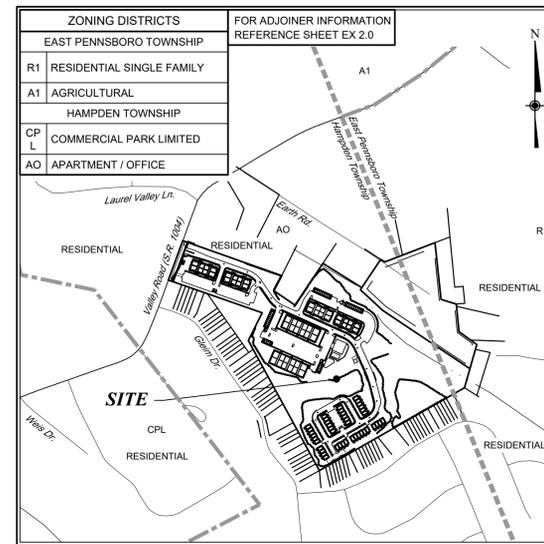


LOCATION MAP

SCALE: 1" = 2000'

SHEET NO.	TITLE
CS 1.0	COVER SHEET
CS 1.1	GENERAL NOTES
EX 2.0	EXISTING CONDITIONS & DEMOLITION PLAN
SP 3.0	OVERALL SITE PLAN
SP 3.1-3.3	PARTIAL SITE PLAN
GD 4.0	OVERALL GRADING PLAN
GD 4.1-4.3	PARTIAL GRADING PLAN
UT 5.0	OVERALL UTILITIES PLAN
UT 5.1-5.3	PARTIAL UTILITIES PLAN
EA 6.0	OVERALL EASEMENT PLAN
EA 6.1-6.3	PARTIAL EASEMENT PLAN
EA 6.4	WETLAND EASEMENTS
PR 7.1-7.5	PROFILES
LL 8.0	OVERALL LANDSCAPE PLAN
LL 8.1-8.3	PARTIAL LANDSCAPE PLAN
LP 9.0	LIGHTING AND PHOTOMETRIC PLAN
SM 10.0	SIGNAGE MARKING PLAN
TT 11.1-11.3	TRUCK TURNING MOVEMENT PLAN
CD 12.1-12.5	CONSTRUCTION DETAILS
SM 13.1-13.14	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND DETAILS

53 SHEETS IN SET



VICINITY MAP

SCALE: 1" = 500'

REQUESTED WAIVER (EAST PENNSBORO TOWNSHIP)

AT THEIR _____, 20__ MEETING OF THE EAST PENNSBORO TOWNSHIP BOARD OF COMMISSIONERS, THE FOLLOWING WAIVERS WERE APPROVED FROM THE EAST PENNSBORO TOWNSHIP SUBDIVISION / LAND DEVELOPMENT ORDINANCE:

WAIVERS:

CHAPTER 22, PART 3, §22-306 & §22-308 PRELIMINARY & FINAL PLAN PROCEDURES

EAST PENNSBORO TOWNSHIP BOARD OF COMMISSIONERS

THIS PLAN WAS APPROVED BY THE BOARD OF COMMISSIONERS OF EAST PENNSBORO TOWNSHIP THIS DAY OF _____, 20__

PRESIDENT

SECRETARY

CUMBERLAND COUNTY PLANNING COMMISSION

REVIEWED BY THE CUMBERLAND COUNTY PLANNING COMMISSION

THIS DAY OF _____, 20__

CHAIRMAN

SECRETARY

RECORDER OF DEEDS CERTIFICATE

THIS PLAN WAS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND COUNTY THIS DAY OF _____, 20__

INSTRUMENT NUMBER

UNIFORM PARCEL IDENTIFIER

#10-13-0997-005

EQUITABLE OWNER/APPLICANT

BURKENTINE & SONS BUILDERS, INC.
ATTN: MR. BRYCE BURKENTINE
1454 BALTIMORE PIKE, SUITE A
HANOVER, PA 17331
(717) 633-5163

REQUIRED PERMITS AND APPROVALS

AGENCY	DATE SUBMITTED	PERMIT NO.	APPROVAL DATE
CUMBERLAND COUNTY PLANNING COMMISSION	2/18/2020		
CUMBERLAND COUNTY CONSERVATION DISTRICT			
PENNSYLVANIA DEPARTMENT ENVIRONMENTAL PROTECTION			
PENNSYLVANIA DEPARTMENT OF TRANSPORTATION			
HAMPDEN TOWNSHIP SEWER AUTHORITY			
HAMPDEN TOWNSHIP TRAFFIC ENGINEER	2/18/2020		
HAMPDEN TOWNSHIP FIRE ADMINISTRATOR	2/18/2020		
HAMPDEN TOWNSHIP STORMWATER REVIEW	2/18/2020		

ACT 287

SNYDER SECARY & ASSOCIATES, LLC HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT 287 OF 1974, OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THESE DRAWINGS.

- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, SNYDER, SECARY & ASSOCIATES, LLC REQUESTED FROM EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT NOT LESS THAN (10) NOR MORE THAN (60) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, SNYDER, SECARY & ASSOCIATES, LLC HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SERVING THE LOCATION WHERE EXCAVATION IS TO BE PERFORMED.
- PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, SNYDER, SECARY & ASSOCIATES, LLC HAS SHOWN UPON THESE DRAWINGS THE POSITION AND TYPE OF EACH LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2), THE SERIAL NUMBER PROVIDED BY THE ONE CALL SYSTEM, THE TOLL-FREE ONE CALL SYSTEM PHONE NUMBER, AND THE NAME OF THE USER, THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER AS SHOWN ON THE LIST REFERRED TO IN SECTION 4, CLAUSE (5) OF SAID ACT.

AND SNYDER, SECARY & ASSOCIATES, LLC DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT SNYDER, SECARY & ASSOCIATES, LLC IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO. 181 OF 2006.

DATE: 09/18/2019

ONE CALL SYSTEM SERIAL NUMBER: 20192463438, 20192463462, 20192463486, 2192463487

LIST OF UTILITIES

PENNSYLVANIA AMERICAN WATER
852 WESLEY DRIVE
MECHANICSBURG, PA 17055
MICHAEL GENNONE
MICHAEL.GENNONE@AMWATER.COM

PPL ELECTRIC UTILITIES CORPORATION
503 NEW MARKET STREET
WILKES BARRE, PA 18702
MARK SANTAYANA
MCSANTAYANA@PPLWEB.COM

VERIZON PENNSYLVANIA LLC
1026 HAY STREET
PITTSBURGH, PA 15221
DEBORAH BARUM
DEBORAH.D.DELIA@VERIZON.COM

COMCAST
4601 SMITH STREET
HARRISBURG, PA 17109
MICHAEL SWEIGARD
MIKE_SWEIGARD@CABLE.COMCAST.COM

HAMPDEN TOWNSHIP
HAMPDEN TOWNSHIP SEWER AUTHORITY
230 S SPORTING HILL ROAD
MECHANICSBURG, PA 17050
JEREMY S. MILLER
JMILLER@HAMPDENTOWNSHIP.US

UGI UTILITIES, INC.
1301 AIP DRIVE
MIDDLETOWN, PA 17057
CHESTER WENTZ
CWENTZ@UGI.COM

CENTURYLINK FORMERLY EMBARG
5095 RITTER ROAD
MECHANICSBURG, PA 17055

Snyder Secary & Associates, LLC
ENGINEERS • PLANNERS • DEVELOPMENT CONSULTANTS

HARRISBURG OFFICE
2000 LINGLESTOWN ROAD
SUITE 304
HARRISBURG, PA 17110

YORK OFFICE
227 W. MARKET STREET
SUITE 104
YORK, PA 17401

717.651.1010

www.snydersecary.com

717.781.2929



PROJECT NO.

19-0436-002

SHEET

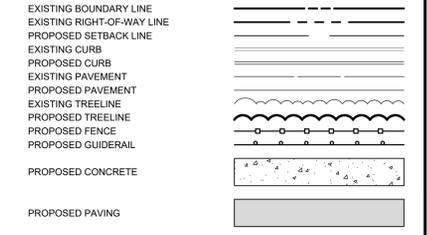
CS 1.0

CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIREMENTS
(3) WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND (10) WORKING
DAYS IN DESIGN STAGE - STOP CALL

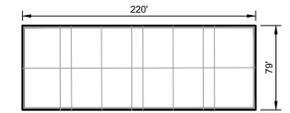
PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
DATE	
NO.	
REVISION	



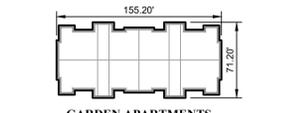
LEGEND



UNIT DIMENSIONS



GARDEN APARTMENTS - ELEVATOR



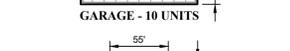
GARDEN APARTMENTS



TOWNHOUSE - 6 UNITS



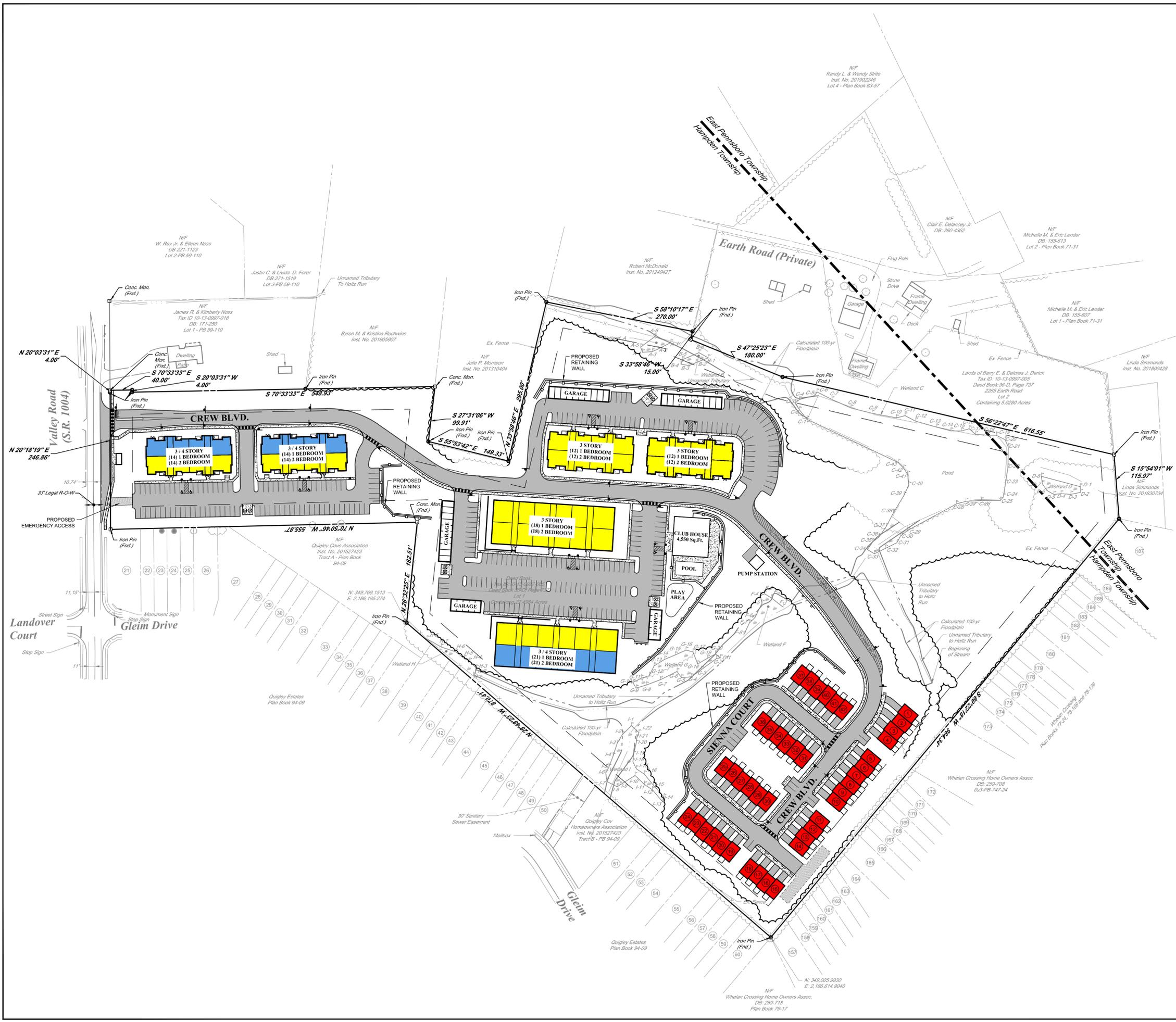
TOWNHOUSE - 4 UNITS



GARAGE - 10 UNITS



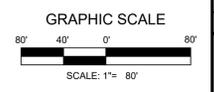
UNIT LEGEND



OVERALL SITE PLAN
FOR
VALLEY ROAD COMMUNITY
FOR
BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

Snyder Secary & Associates, LLC
ENGINEERS • PLANNERS • DEVELOPMENT CONSULTANTS
HARRISBURG OFFICE
2000 LINGLESTOWN ROAD
HARRISBURG, PA 17110
717.651.1010 www.snydersecary.com

PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: 1" = 80'
SHEET
SP 3.0



DRAWING REFERENCE: Y:\1919\19-0436-002\Drawings\19-0436-002-03-Overall Site Plan.dwg
 PRINTED: 2/18/2020 1:58PM
 PLOTTED: 2/18/2020 1:58PM
 PLOTTER: HP DesignJet T1100e

SIGHT DISTANCE ANALYSIS
CREW BOULEVARD TO VALLEY ROAD (S.R. 1004)

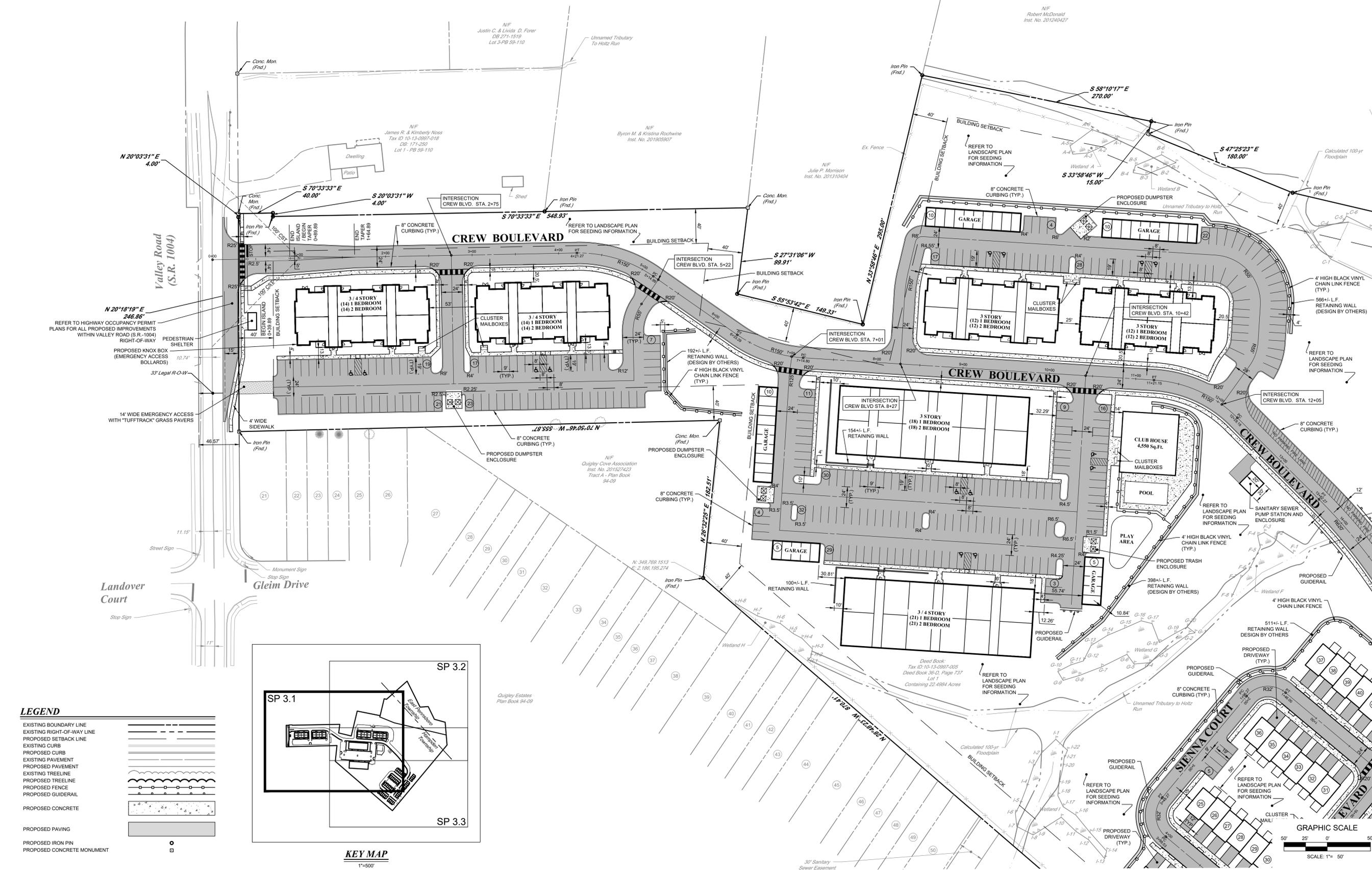
	DIRECTION	SPEED	GRADE	SIGHT DISTANCES (FEET)	
				REQUIRED	PROVIDED
ENTERING TURNS	APPROACHING SAME DIRECTION	35 MPH	-5%	346	450
	APPROACHING OPPOSITE DIRECTION	35 MPH	+1%	283	400

BUILDING NOTES

1. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.

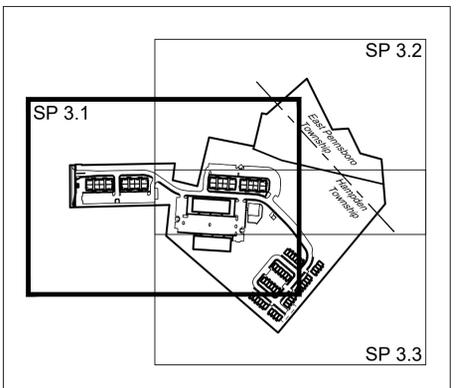


PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
DATE	
REVISION	



LEGEND

EXISTING BOUNDARY LINE	
EXISTING RIGHT-OF-WAY LINE	
PROPOSED SETBACK LINE	
EXISTING CURB	
PROPOSED CURB	
EXISTING PAVEMENT	
PROPOSED PAVEMENT	
EXISTING TREELINE	
PROPOSED TREELINE	
PROPOSED FENCE	
PROPOSED GUIDERAIL	
PROPOSED CONCRETE	
PROPOSED PAVING	
PROPOSED IRON PIN	
PROPOSED CONCRETE MONUMENT	



PARTIAL SITE PLAN
FOR
VALLEY ROAD COMMUNITY
BURKENTINE & SONS BUILDERS, INC.
HAMPTEN & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

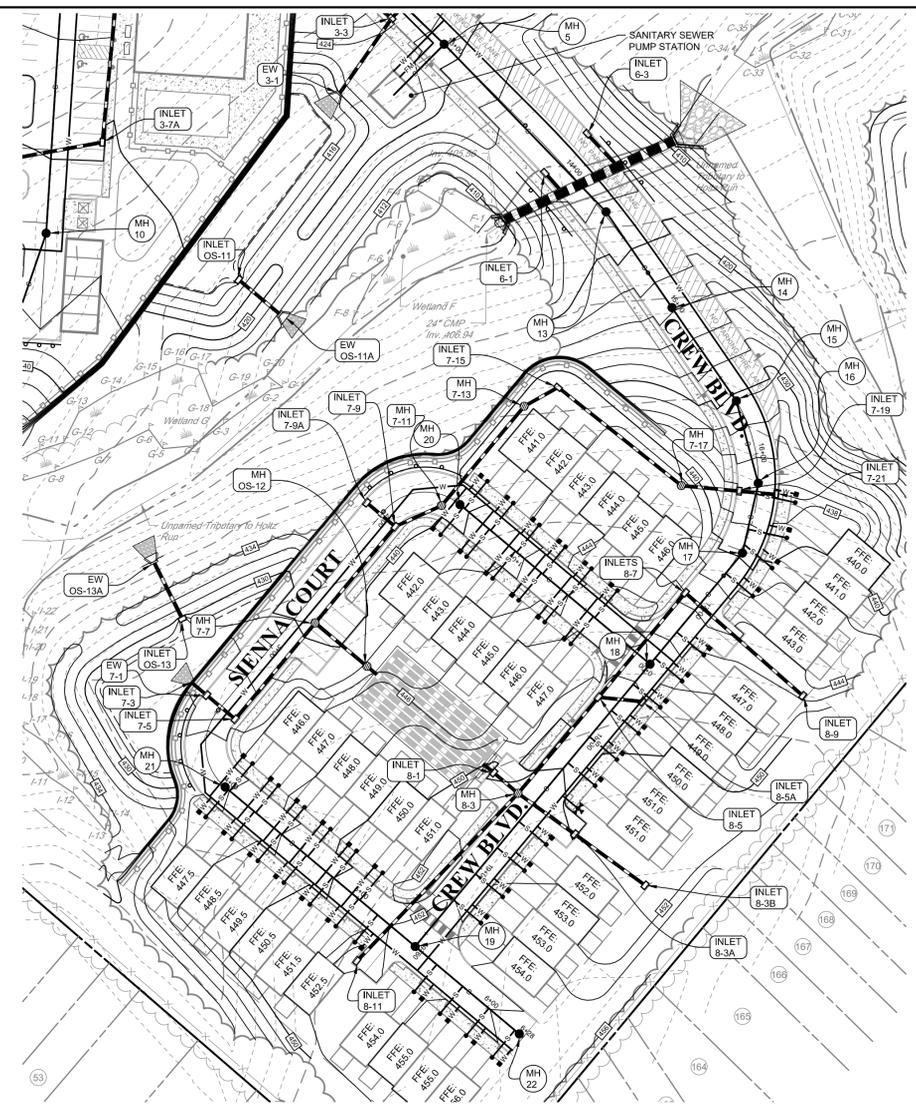
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HARRISBURG, PA 17110
717.651.1010 www.snydersecary.com

PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: 1" = 50'
SHEET
SP 3.1

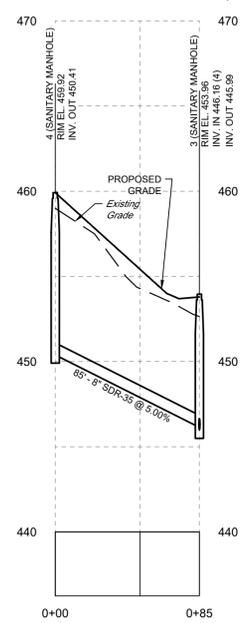
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 6. 1910-1915-1920-1925-1930-1935-1940-1945-1950-1955-1960-1965-1970-1975-1980-1985-1990-1995-2000-2005-2010-2015-2020
 7. 1910-1915-1920-1925-1930-1935-1940-1945-1950-1955-1960-1965-1970-1975-1980-1985-1990-1995-2000-2005-2010-2015-2020
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 10. 1910-1915-1920-1925-1930-1935-1940-1945-1950-1955-1960-1965-1970-1975-1980-1985-1990-1995-2000-2005-2010-2015-2020

- PROFILE NOTES**
1. ALL PIPE LENGTHS AND SLOPES SHOWN HEREON ARE COMPUTED FROM CENTER TO CENTER OF STRUCTURE UNLESS NOTED OTHERWISE. CONSTRUCT PIPE LENGTH BASED ON ACTUAL STRUCTURE DIMENSIONS.
 2. ALL INLETS ADJACENT TO CURB SHALL BE TYPE C INLETS WITH A 10 INCH CURB REVEAL. ALL OTHER INLETS SHALL BE TYPE M INLETS UNLESS NOTED OTHERWISE.
 3. ALL INLET BOXES SHALL BE STANDARD PRECAST CONCRETE BOXES PER PENNDOT RC STANDARDS UNLESS NOTED OTHERWISE.
 4. ALL PIPES SHALL ENTER THE END OR SIDE OF BOXES. NO CORNER CONNECTIONS SHALL BE PERMITTED.

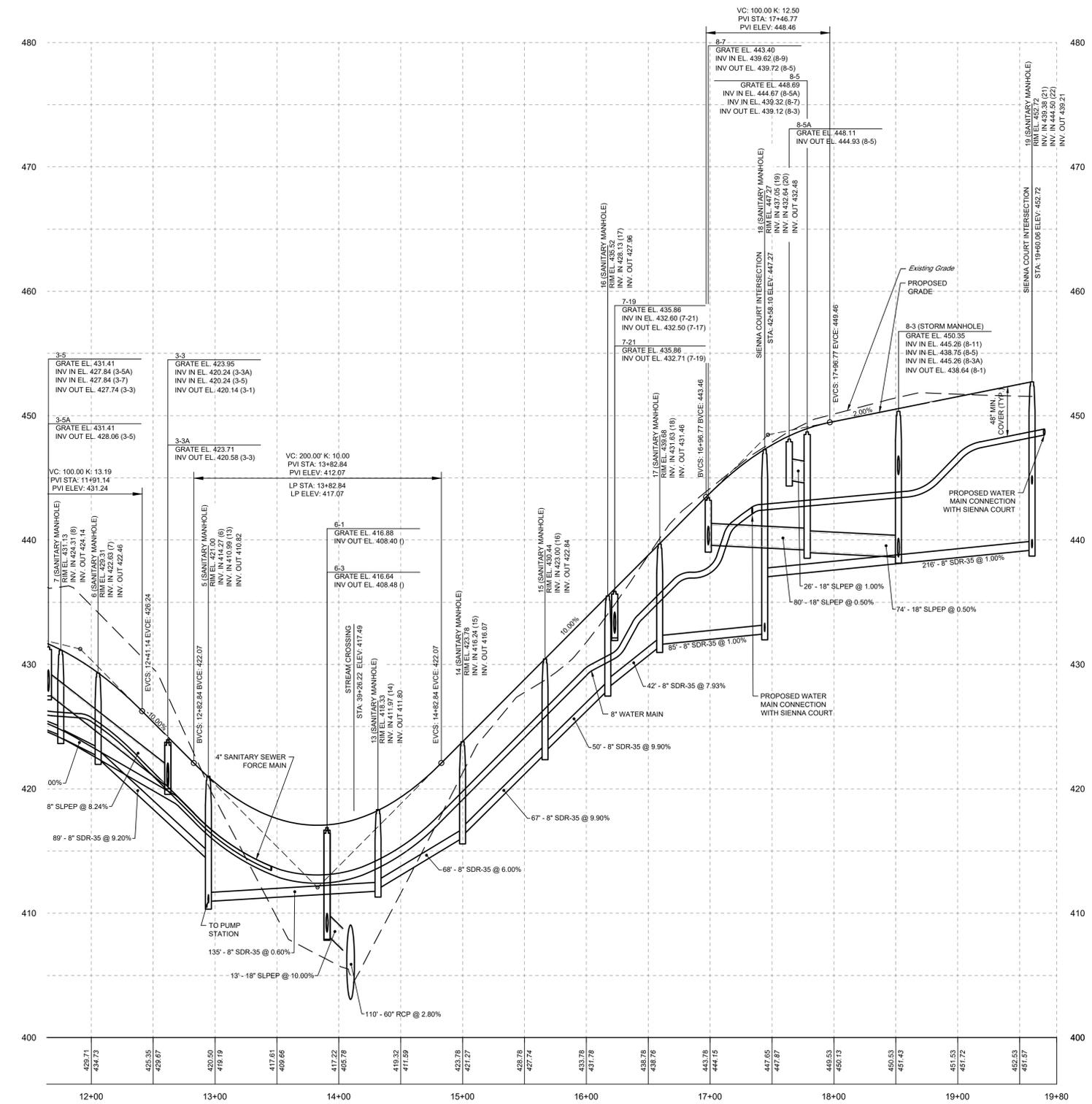
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DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
NO	DATE
	REVISION



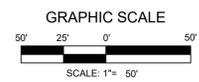
CREW BLVD. - PLAN VIEW
SCALE: 1"=50'



SANITARY SEWER PROFILE MH 4 TO MH 3
HOR: 1" = 50' VERT: 1" = 5'



CREW BLVD. CENTERLINE PROFILE
HOR: 1" = 50' VERT: 1" = 5'

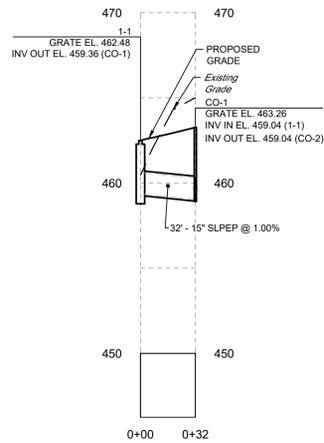


PROFILES FOR
VALLEY ROAD COMMUNITY
FOR
BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

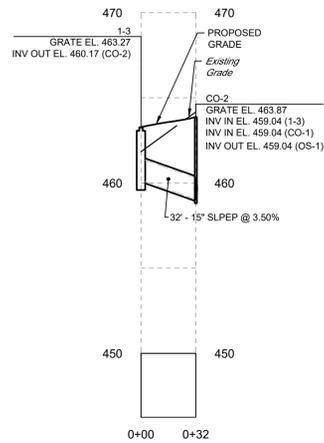
Snyder Secary & Associates, LLC
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717.651.1010 www.snydersecary.com

PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: 1" = 50'
SHEET
PR 7.2

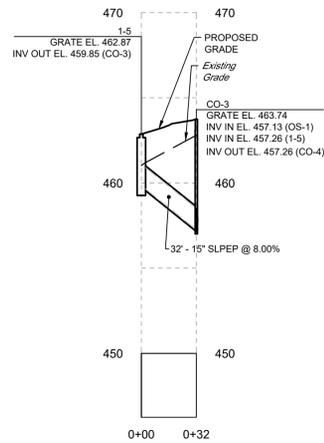
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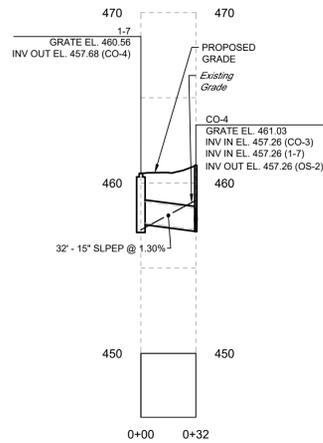
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HOR: 1" = 50' VERT: 1" = 5'



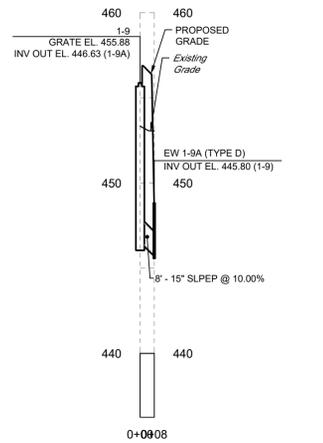
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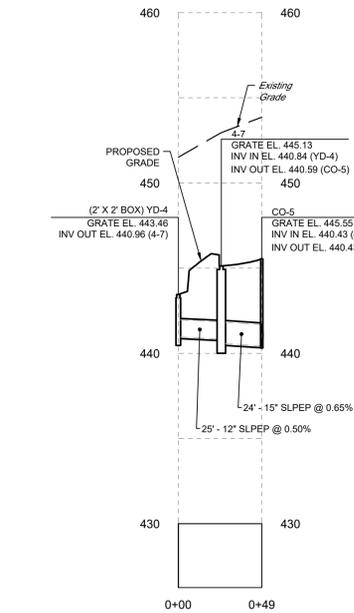
**STORM SEWER
PROFILE INLET 1-5 TO CO-3**
HOR: 1" = 50' VERT: 1" = 5'



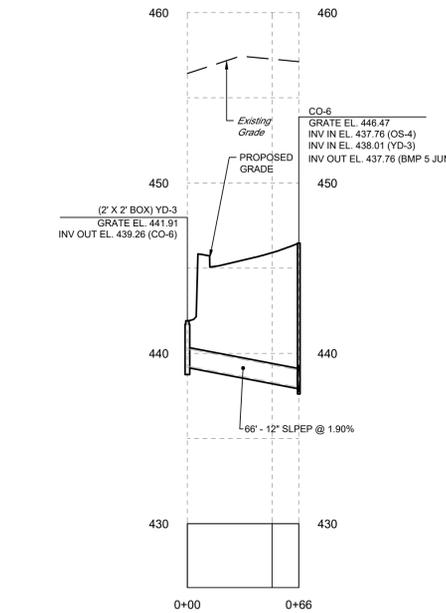
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PROFILE INLET 1-7 TO CO-4**
HOR: 1" = 50' VERT: 1" = 5'



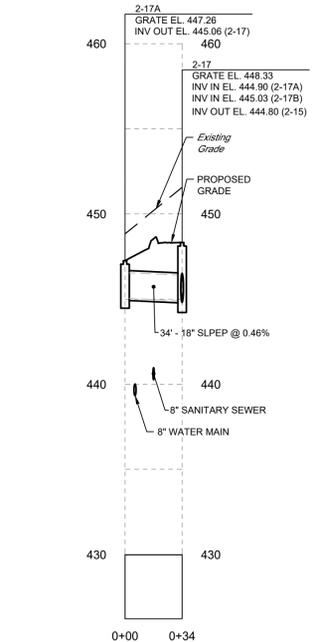
**STORM SEWER
PROFILE INLET 1-9 TO EW 1-9A**
HOR: 1" = 50' VERT: 1" = 5'



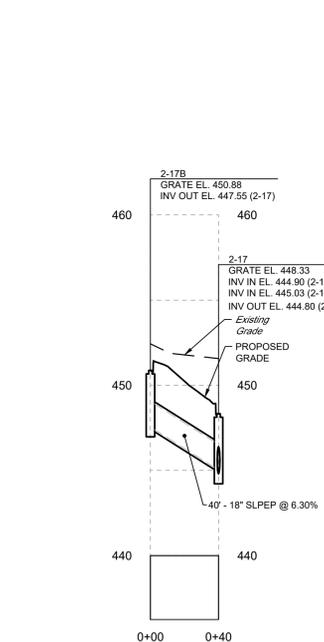
**STORM SEWER
PROFILE INLET YD-4 TO CO-5**
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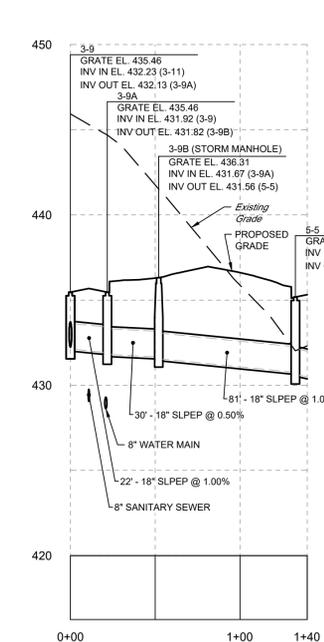
**STORM SEWER
PROFILE INLET YD-3 TO CO-6**
HOR: 1" = 50' VERT: 1" = 5'



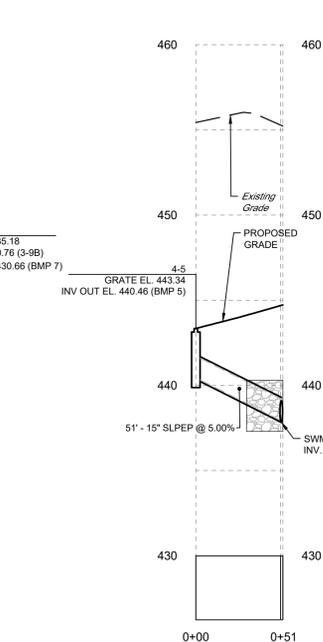
**STORM SEWER
PROFILE INLET 2-17A TO INLET 2-17**
HOR: 1" = 50' VERT: 1" = 5'



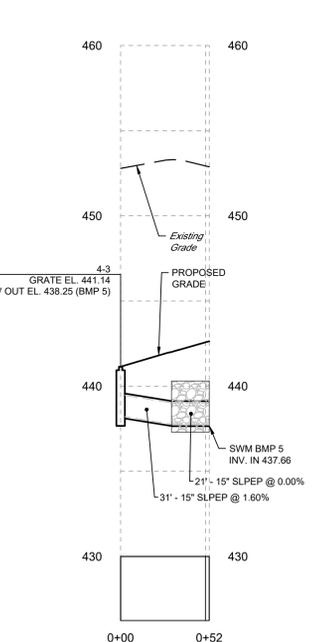
**STORM SEWER
PROFILE INLET 2-17B TO INLET 2-17**
HOR: 1" = 50' VERT: 1" = 5'



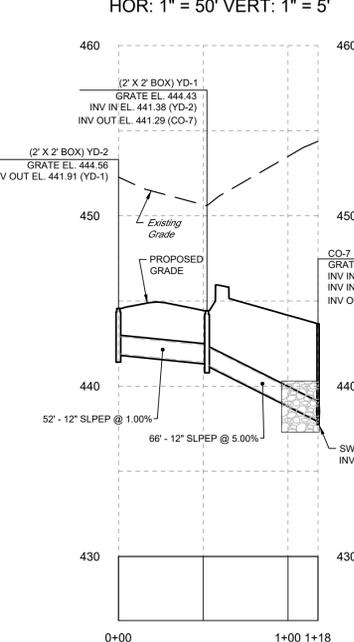
**STORM SEWER
PROFILE INLET ALIGNMENT 3-9 TO BMP 7**
HOR: 1" = 50' VERT: 1" = 5'



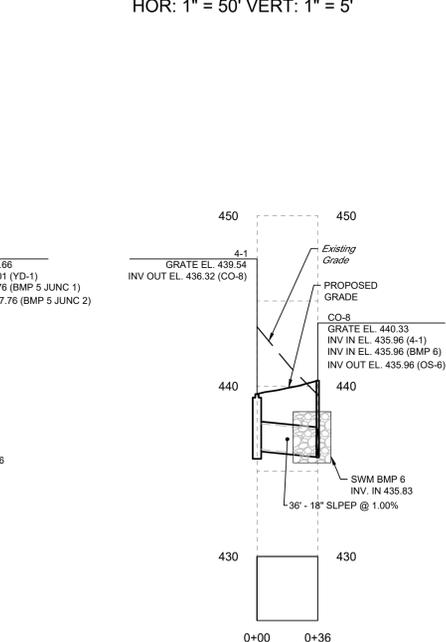
**STORM SEWER
PROFILE INLET 4-5 TO BMP 5**
HOR: 1" = 50' VERT: 1" = 5'



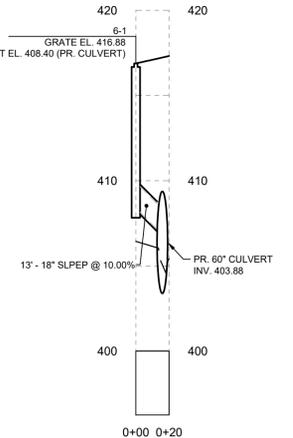
**STORM SEWER
PROFILE INLET 4-3 TO BMP 5**
HOR: 1" = 50' VERT: 1" = 5'



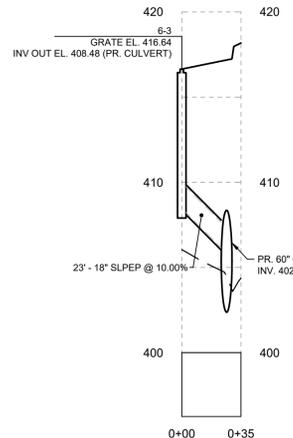
**STORM SEWER
PROFILE YD-2 TO BMP 5**
HOR: 1" = 50' VERT: 1" = 5'



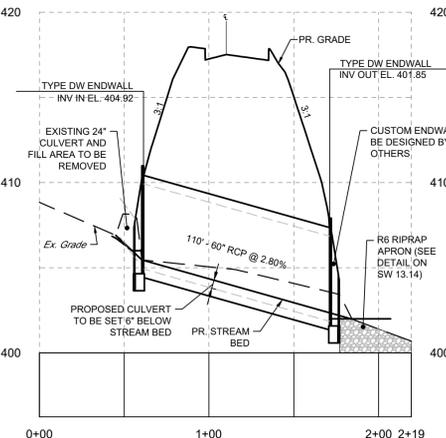
**STORM SEWER
PROFILE INLET 4-1 TO CO-7**
HOR: 1" = 50' VERT: 1" = 5'



**STORM SEWER
PROFILE INLET 6-1 TO CULVERT**
HOR: 1" = 50' VERT: 1" = 5'



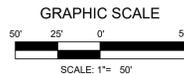
**STORM SEWER
PROFILE INLET 6-3 TO CULVERT**
HOR: 1" = 50' VERT: 1" = 5'



**STORM SEWER
PROFILE PROPOSED CULVERT**
HOR: 1" = 50' VERT: 1" = 5'

PROFILE NOTES

1. ALL PIPE LENGTHS AND SLOPES SHOWN HEREON ARE COMPUTED FROM CENTER TO CENTER OF STRUCTURE UNLESS NOTED OTHERWISE. CONSTRUCT PIPE LENGTH BASED ON ACTUAL STRUCTURE DIMENSIONS.
2. ALL INLETS ADJACENT TO CURB SHALL BE TYPE C INLETS WITH A 10 INCH CURB REVEAL. ALL OTHER INLETS SHALL BE TYPE M INLETS UNLESS NOTED OTHERWISE.
3. ALL INLET BOXES SHALL BE STANDARD PRECAST CONCRETE BOXES PER PENNDOT RC STANDARDS UNLESS NOTED OTHERWISE.
4. ALL PIPES SHALL ENTER THE END OR SIDE OF BOXES. NO CORNER CONNECTIONS SHALL BE PERMITTED.



PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
DATE	
NO	
REVISION	

PROFILES
FOR
VALLEY ROAD COMMUNITY
FOR
BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

Snyder Secary & Associates, LLC
ENGINEERS • PLANNERS • DEVELOPMENT CONSULTANTS
HARRISBURG OFFICE
2000 LINGLESTOWN ROAD
HARRISBURG, PA 17110
717.651.1010
www.snydersecary.com

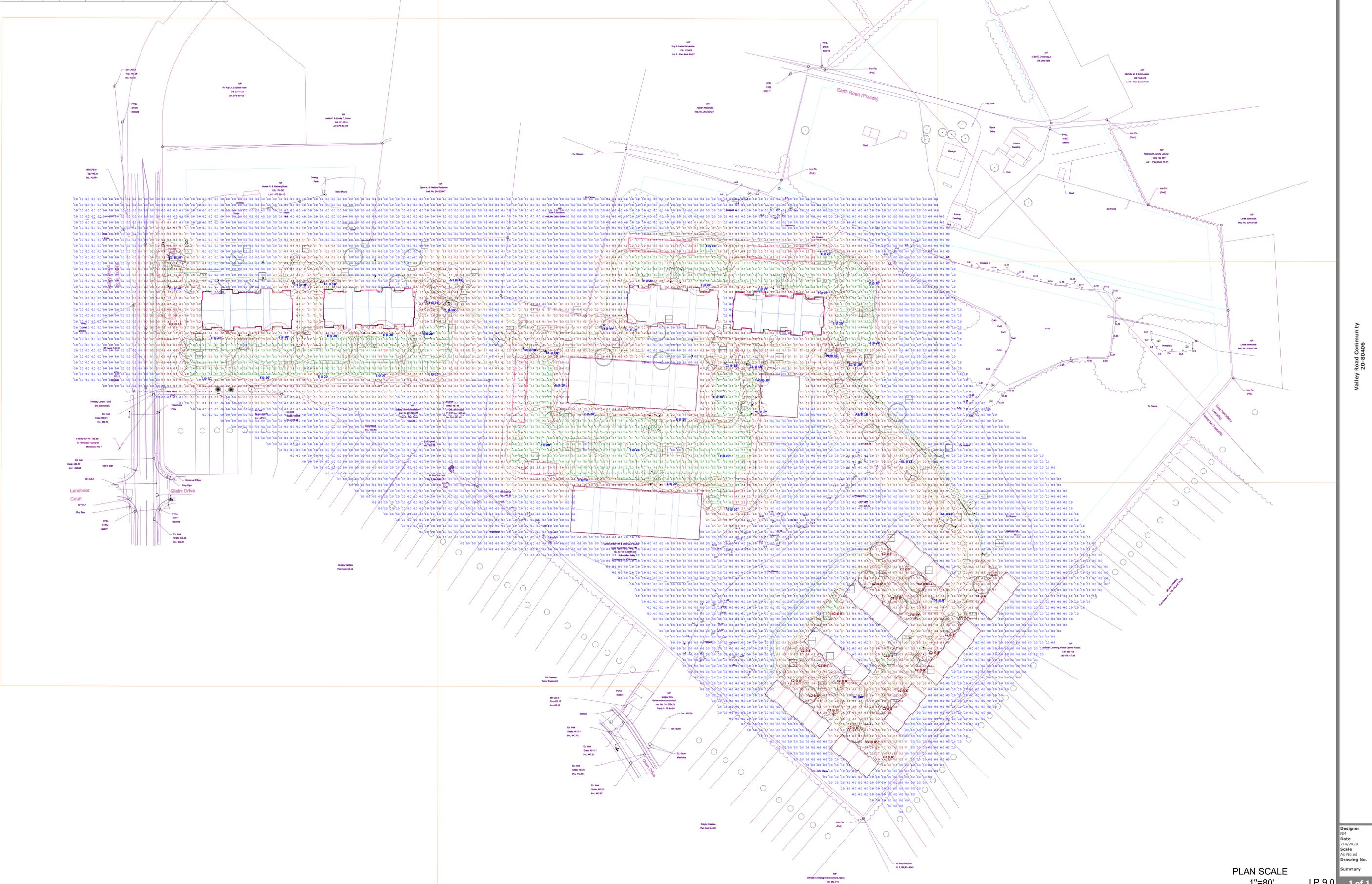
PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: 1" = 50'
SHEET
PR 7.4

REFS: 19-0436-002-01-D (1/19/2019) 19-0436-002-02-D (2/19/2019) 19-0436-002-03-D (3/19/2019) 19-0436-002-04-D (4/19/2019) 19-0436-002-05-D (5/19/2019) 19-0436-002-06-D (6/19/2019) 19-0436-002-07-D (7/19/2019) 19-0436-002-08-D (8/19/2019) 19-0436-002-09-D (9/19/2019) 19-0436-002-10-D (10/19/2019) 19-0436-002-11-D (11/19/2019) 19-0436-002-12-D (12/19/2019) 19-0436-002-13-D (1/20/2020) 19-0436-002-14-D (2/20/2020) 19-0436-002-15-D (3/20/2020) 19-0436-002-16-D (4/20/2020) 19-0436-002-17-D (5/20/2020) 19-0436-002-18-D (6/20/2020) 19-0436-002-19-D (7/20/2020) 19-0436-002-20-D (8/20/2020) 19-0436-002-21-D (9/20/2020) 19-0436-002-22-D (10/20/2020) 19-0436-002-23-D (11/20/2020) 19-0436-002-24-D (12/20/2020) 19-0436-002-25-D (1/21/2021) 19-0436-002-26-D (2/21/2021) 19-0436-002-27-D (3/21/2021) 19-0436-002-28-D (4/21/2021) 19-0436-002-29-D (5/21/2021) 19-0436-002-30-D (6/21/2021) 19-0436-002-31-D (7/21/2021) 19-0436-002-32-D (8/21/2021) 19-0436-002-33-D (9/21/2021) 19-0436-002-34-D (10/21/2021) 19-0436-002-35-D (11/21/2021) 19-0436-002-36-D (12/21/2021) 19-0436-002-37-D (1/22/2022) 19-0436-002-38-D (2/22/2022) 19-0436-002-39-D (3/22/2022) 19-0436-002-40-D (4/22/2022) 19-0436-002-41-D (5/22/2022) 19-0436-002-42-D (6/22/2022) 19-0436-002-43-D (7/22/2022) 19-0436-002-44-D (8/22/2022) 19-0436-002-45-D (9/22/2022) 19-0436-002-46-D (10/22/2022) 19-0436-002-47-D (11/22/2022) 19-0436-002-48-D (12/22/2022) 19-0436-002-49-D (1/23/2023) 19-0436-002-50-D (2/23/2023) 19-0436-002-51-D (3/23/2023) 19-0436-002-52-D (4/23/2023) 19-0436-002-53-D (5/23/2023) 19-0436-002-54-D (6/23/2023) 19-0436-002-55-D (7/23/2023) 19-0436-002-56-D (8/23/2023) 19-0436-002-57-D (9/23/2023) 19-0436-002-58-D (10/23/2023) 19-0436-002-59-D (11/23/2023) 19-0436-002-60-D (12/23/2023) 19-0436-002-61-D (1/24/2024) 19-0436-002-62-D (2/24/2024) 19-0436-002-63-D (3/24/2024) 19-0436-002-64-D (4/24/2024) 19-0436-002-65-D (5/24/2024) 19-0436-002-66-D (6/24/2024) 19-0436-002-67-D (7/24/2024) 19-0436-002-68-D (8/24/2024) 19-0436-002-69-D (9/24/2024) 19-0436-002-70-D (10/24/2024) 19-0436-002-71-D (11/24/2024) 19-0436-002-72-D (12/24/2024) 19-0436-002-73-D (1/25/2025) 19-0436-002-74-D (2/25/2025) 19-0436-002-75-D (3/25/2025) 19-0436-002-76-D (4/25/2025) 19-0436-002-77-D (5/25/2025) 19-0436-002-78-D (6/25/2025) 19-0436-002-79-D (7/25/2025) 19-0436-002-80-D (8/25/2025) 19-0436-002-81-D (9/25/2025) 19-0436-002-82-D (10/25/2025) 19-0436-002-83-D (11/25/2025) 19-0436-002-84-D (12/25/2025) 19-0436-002-85-D (1/26/2026) 19-0436-002-86-D (2/26/2026) 19-0436-002-87-D (3/26/2026) 19-0436-002-88-D (4/26/2026) 19-0436-002-89-D (5/26/2026) 19-0436-002-90-D (6/26/2026) 19-0436-002-91-D (7/26/2026) 19-0436-002-92-D (8/26/2026) 19-0436-002-93-D (9/26/2026) 19-0436-002-94-D (10/26/2026) 19-0436-002-95-D (11/26/2026) 19-0436-002-96-D (12/26/2026) 19-0436-002-97-D (1/27/2027) 19-0436-002-98-D (2/27/2027) 19-0436-002-99-D (3/27/2027) 19-0436-002-100-D (4/27/2027) 19-0436-002-101-D (5/27/2027) 19-0436-002-102-D (6/27/2027) 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19-0436-002-169-D (1/33/2033) 19-0436-002-170-D (2/33/2033) 19-0436-002-171-D (3/33/2033) 19-0436-002-172-D (4/33/2033) 19-0436-002-173-D (5/33/2033) 19-0436-002-174-D (6/33/2033) 19-0436-002-175-D (7/33/2033) 19-0436-002-176-D (8/33/2033) 19-0436-002-177-D (9/33/2033) 19-0436-002-178-D (10/33/2033) 19-0436-002-179-D (11/33/2033) 19-0436-002-180-D (12/33/2033) 19-0436-002-181-D (1/34/2034) 19-0436-002-182-D (2/34/2034) 19-0436-002-183-D (3/34/2034) 19-0436-002-184-D (4/34/2034) 19-0436-002-185-D (5/34/2034) 19-0436-002-186-D (6/34/2034) 19-0436-002-187-D (7/34/2034) 19-0436-002-188-D (8/34/2034) 19-0436-002-189-D (9/34/2034) 19-0436-002-190-D (10/34/2034) 19-0436-002-191-D (11/34/2034) 19-0436-002-192-D (12/34/2034) 19-0436-002-193-D (1/35/2035) 19-0436-002-194-D (2/35/2035) 19-0436-002-195-D (3/35/2035) 19-0436-002-196-D (4/35/2035) 19-0436-002-197-D (5/35/2035) 19-0436-002-198-D (6/35/2035) 19-0436-002-199-D (7/35/2035) 19-0436-002-200-D (8/35/2035) 19-0436-002-201-D (9/35/2035) 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Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Fixture	Light Loss Factor	Wattage
	A1	5	Sternberg Lighting	S640LEH-11402-MOLU-CSA	S640 Seville Series 4 sided style Lender, 17-MW CWV-1, Clear Seeded Acrylic	6589	0.95	58.7
	B2	1	Sternberg Lighting	S640LEH-11403-MOLU-CSA	S640 Seville Series 4 sided style Lender, Clear Seeded Acrylic, T4	4764	0.95	39.5
	C1	15	Sternberg Lighting	S640LEH-11404-MOLU-CSA	S640 Seville Series 4 sided style Lender, Clear Seeded Acrylic, T4	6740	0.95	58.8
	C2	24	Sternberg Lighting	S640LEH-11404-MOLU-CSA	S640 Seville Series 4 sided style Lender, Clear Seeded Acrylic, T4	4738	0.95	39.5
	D1	2	Sternberg Lighting	S640LEH-11405-MOLU-CSA	S640 Seville Series 4 sided style Lender, Clear Seeded Acrylic, T4	7085	0.95	59
	D2	1	Sternberg Lighting	S640LEH-11405-MOLU-CSA	S640 Seville Series 4 sided style Lender, Clear Seeded Acrylic, T4	4990	0.95	39.5
	E	26	Lithonia Lighting	OSK1 LED P6-40K-T3M-MVOLT-HS	OSK1 LED P6-40K-T3M-MVOLT with housings shield	14663	0.95	163
	F	3	Lithonia Lighting	OSK1 LED P6-40K-T3M-MVOLT	OSK1 LED P6-40K-T3M-MVOLT	19765	0.95	326

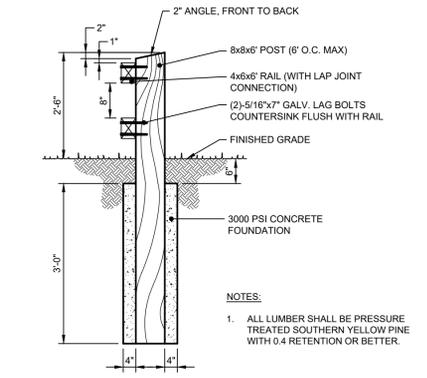
Statistics	
Description	Symbol
Apartments - All Parking	AP
Apartments - Middle Parking	MP
Apartments - Top Parking	TP
Site	S
Townhomes - Street A	TA
Townhomes - Street B	TB
Townhomes - Street C	TC
Townhomes - Street D	TD
Townhomes - Street E	TE
Townhomes - Street F	TF
Townhomes - Street G	TG
Townhomes - Street H	TH
Townhomes - Street I	TI
Townhomes - Street J	TJ
Townhomes - Street K	TK
Townhomes - Street L	TL
Townhomes - Street M	TM
Townhomes - Street N	TN
Townhomes - Street O	TO
Townhomes - Street P	TP
Townhomes - Street Q	TQ
Townhomes - Street R	TR
Townhomes - Street S	TS
Townhomes - Street T	TT
Townhomes - Street U	TU
Townhomes - Street V	TV
Townhomes - Street W	TW
Townhomes - Street X	TX
Townhomes - Street Y	TY
Townhomes - Street Z	TZ

Note
 1. Features Mounted as Noted
 2. Calculations Taken at Grade
 3. Calculations are estimations based on the information provided and may vary with actual conditions

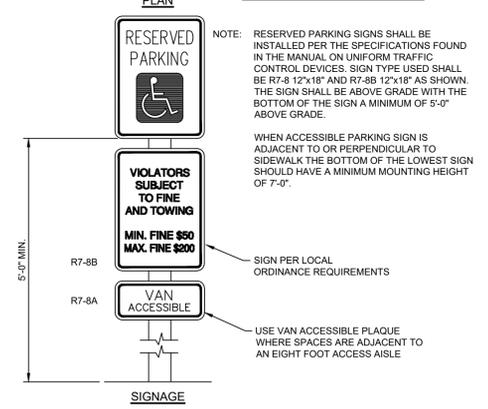
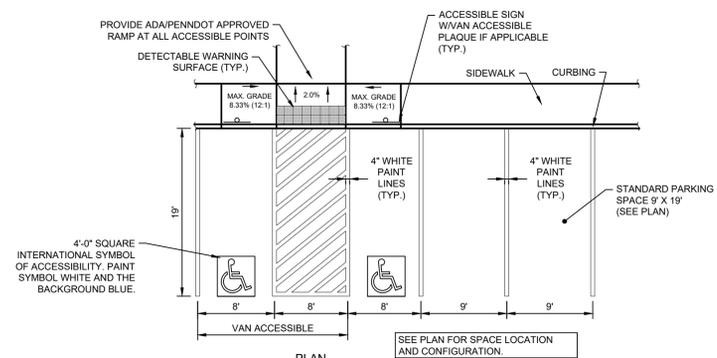


Valley Road Community 20-8006

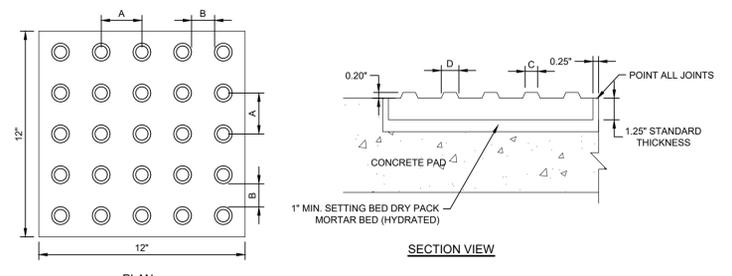
PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
DATE	
NO.	
REVISION	



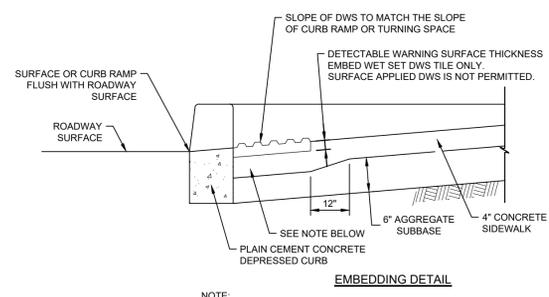
WOOD MOUNTED GUIDERAIL DETAIL
NOT TO SCALE



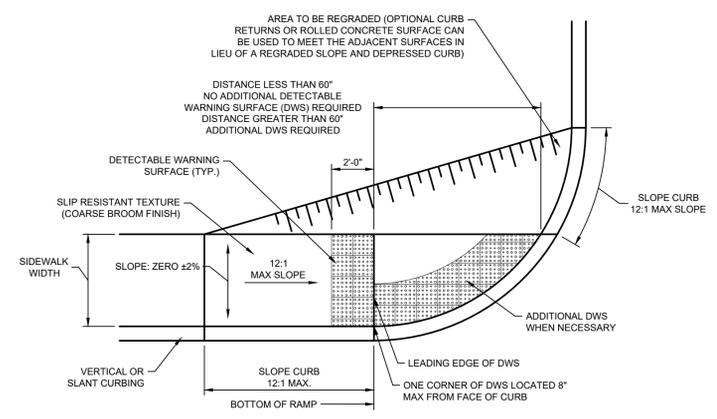
HANDICAP ACCESSIBLE PARKING SPACE
NOT TO SCALE



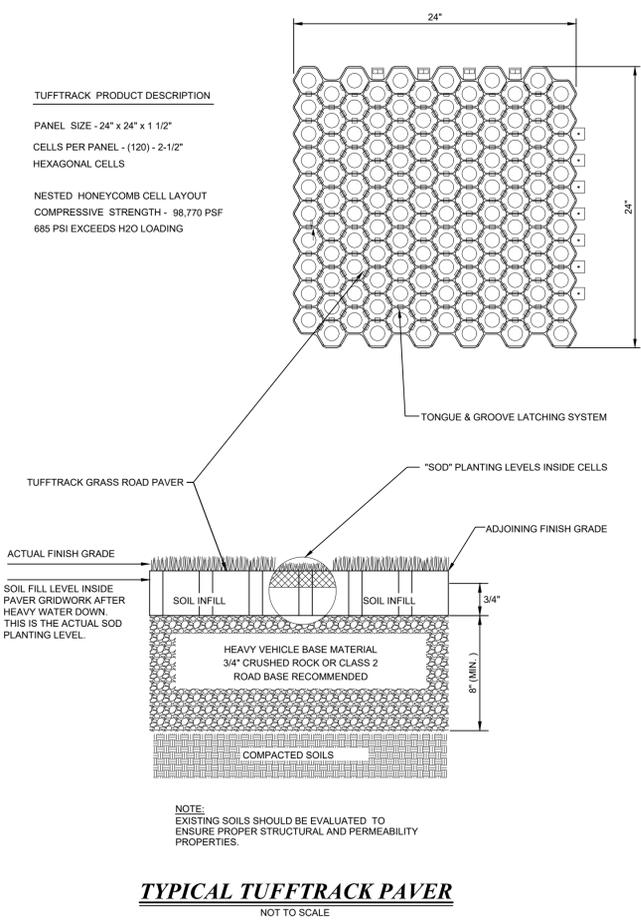
DIM	MIN (IN)	MAX (IN)
A	1.60"	2.40"
B	0.65"	1.50"
C	0.45"	0.91"
D	0.90"	1.40"



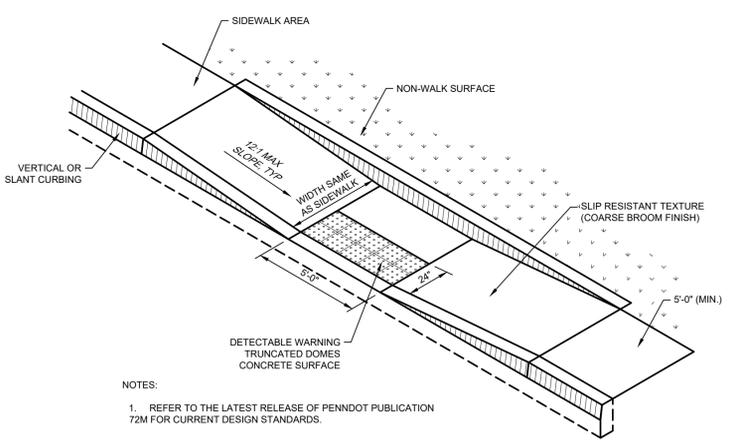
DETECTABLE WARNING SURFACE
NOT TO SCALE



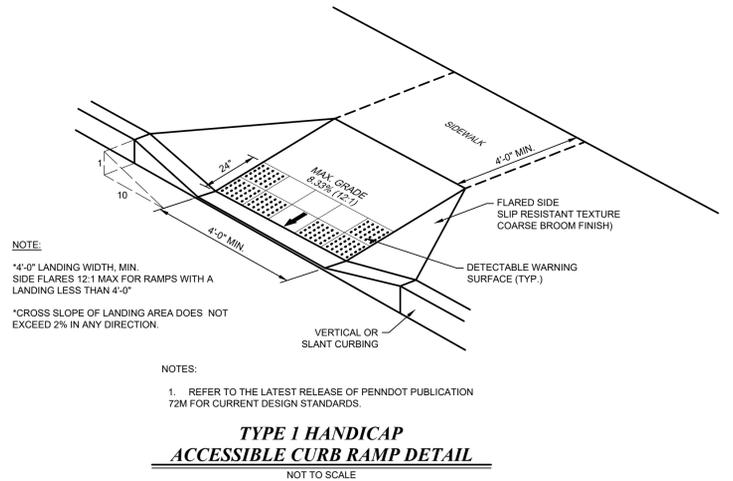
TYPE 1A HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE



TYPICAL TUFFTRACK PAVER
NOT TO SCALE



TYPE 2 HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE



TYPE 1 HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE

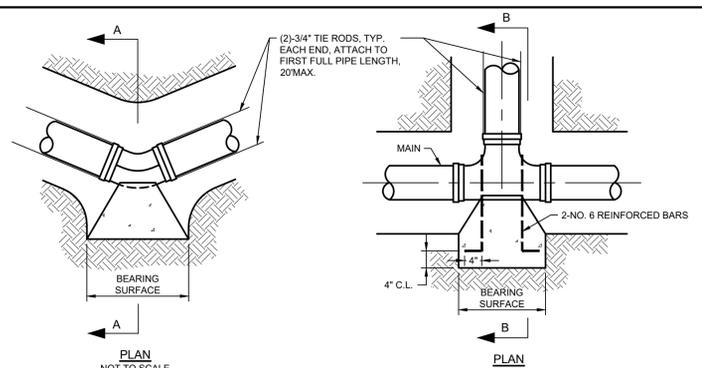
CONSTRUCTION DETAILS
FOR
VALLEY ROAD COMMUNITY
FOR
BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

Snyder Secary & Associates, LLC
ENGINEERS • PLANNERS • DEVELOPMENT CONSULTANTS
YORK OFFICE
2000 LINGLESTOWN ROAD
HARRISBURG, PA 17110
717.651.1010
www.snydersecary.com

PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: AS SHOWN
SHEET
CD 12.2

DRAWING REFERENCE: Y1919-0436-002-CD12.2.dwg
DATE: 02/18/20
SCALE: AS SHOWN
SHEET: CD 12.2

PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
DATE	
REVISION	
NO.	



BEARING AREA REQUIRED, SQUARE FEET

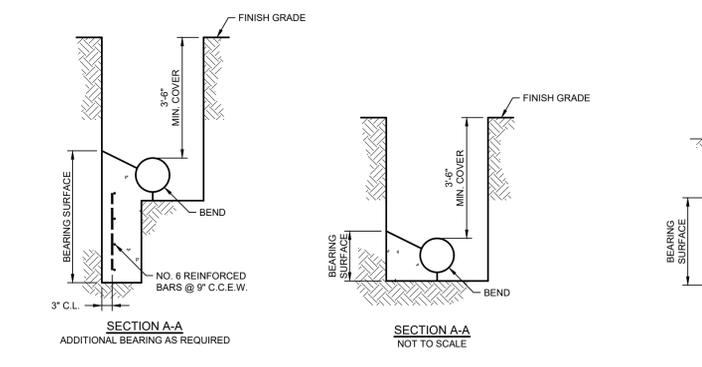
TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, PSF	4" AND LESS DEGREE BEND				6" AND 8" DEGREE BEND				10" AND 12" DEGREE BEND			
	11 1/4"	22 1/2"	45"	90"	11 1/4"	22 1/2"	45"	90"	11 1/4"	22 1/2"	45"	90"
LOOSE SAND OR MEDIUM CLAY - 2,000	1.0	2.0	2.7	4.0	1.5	3.0	6.0	10.0	3.0	6.2	12.0	22.0
PACKED GRAVEL AND SAND - 4,000	1.0	1.0	1.5	2.0	1.0	1.5	3.0	5.0	1.5	3.1	6.0	11.0
ROCK - 10,000	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0	1.0	1.3	2.4	4.4

BEARING AREA REQUIRED, SQUARE FEET

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, PSF	14" AND 16" DEGREE BEND OR DEFLECTION				18" AND 20" DEGREE BEND OR DEFLECTION			
	11 1/4"	22 1/2"	45"	90"	11 1/4"	22 1/2"	45"	90"
LOOSE SAND OR MEDIUM CLAY - 2,000	6.0	12.0	22.5	40.0	9.5	19.0	37.0	67.0
PACKED GRAVEL AND SAND - 4,000	3.0	6.0	11.3	20.0	4.8	9.5	18.5	33.5
ROCK - 10,000	1.2	2.4	4.5	8.0	2.0	3.8	7.4	13.5

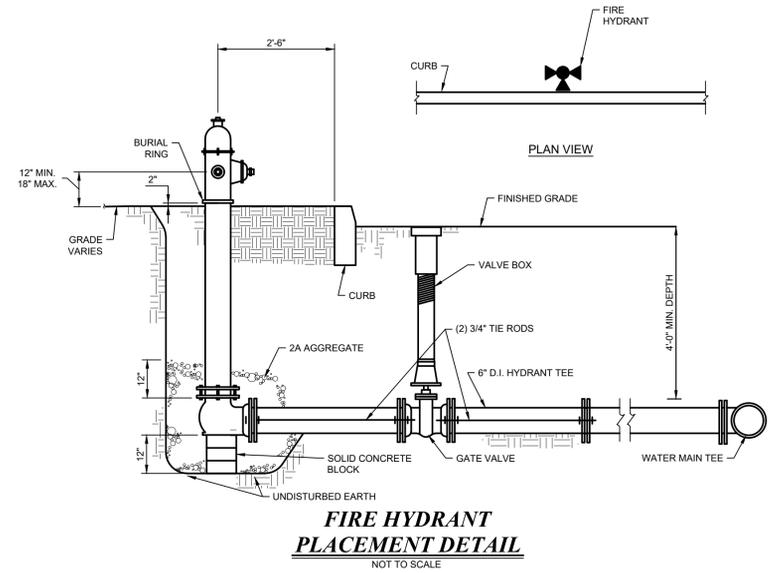
NOTE: THRUST BLOCKING FOR TEES SHALL HAVE THE SAME BEARING AREA AS 90° BENDS OF THE PIPE SIZE OF THE OUTLET. DEAD ENDS SHALL HAVE THE SAME BEARING AS 90° BENDS

- NOTES:
- NO COUPLING OR JOINTS SHALL BE COVERED WITH CONCRETE.
 - REINFORCING BAR STRAPS TO BE SHAPED TO PIPE CURVATURE.
 - ALL EXPOSED STEEL TO BE PAINTED WITH TWO COATS ASPHALTIC PAINT.



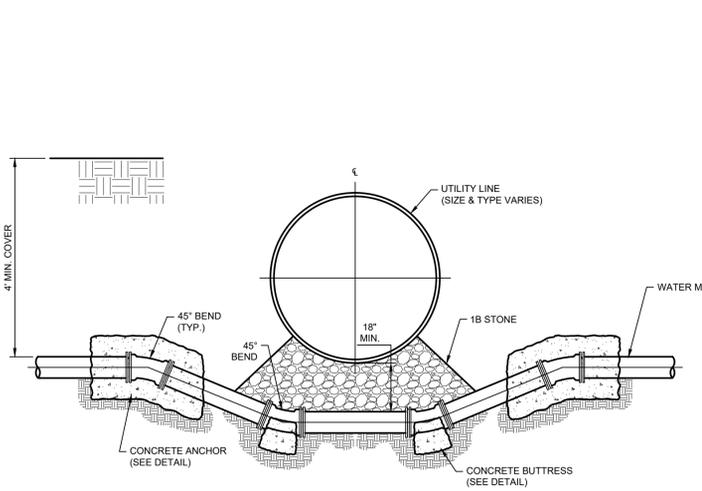
STANDARD THRUST BLOCKING DETAIL
(HOR. & VERT. DOWNWARD THRUST UP TO 150 PSI)

NOT TO SCALE



FIRE HYDRANT PLACEMENT DETAIL

NOT TO SCALE

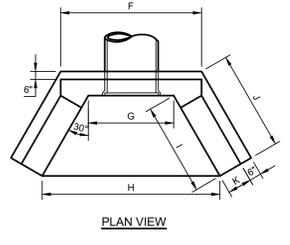


UTILITY/WATER MAIN CROSSING

NOT TO SCALE

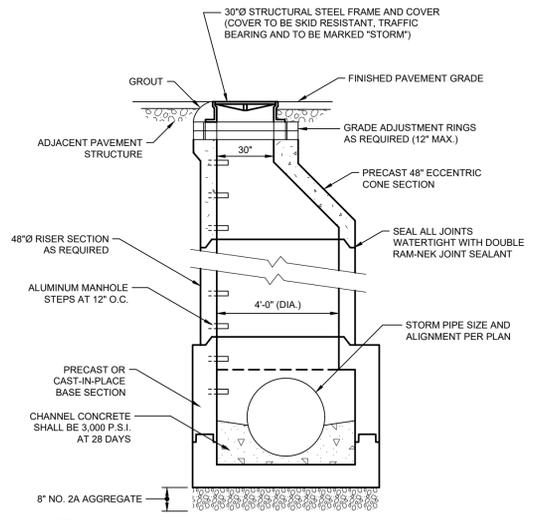
DIMENSIONS

PIPE DIAMETER	21" MAX.	36" MAX.	48" MAX.
A	8"	8"	9"
B	8"	8"	8"
C	26"	39"	52"
D	12"	21"	23"
E	6"	6"	8"
F	43"	55"	73"
G	26"	40"	52"
H	52"	80"	104"
I	26"	40"	52"
J	33"	55"	60"
K	8"	8"	9"



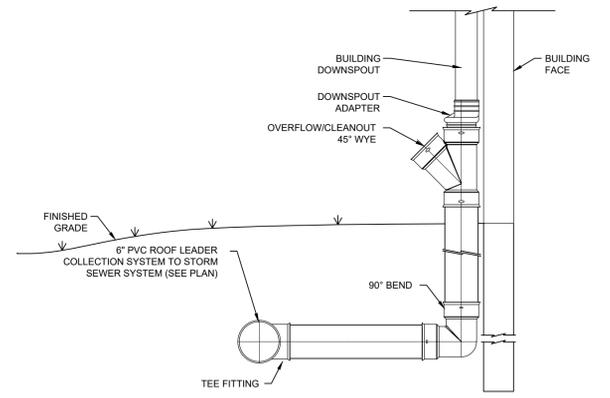
TYPE D-W HEADWALL/ENDWALL

NOT TO SCALE



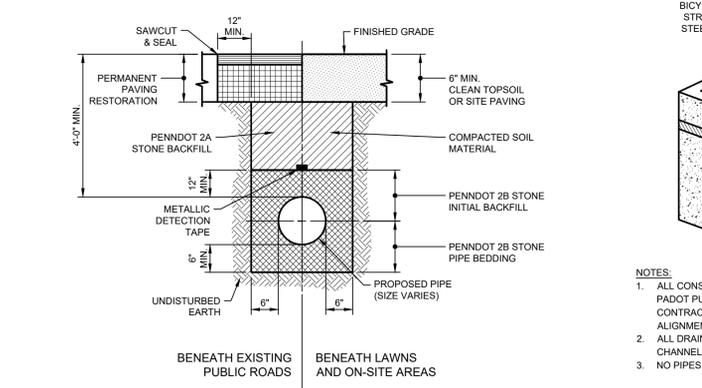
STORM SEWER MANHOLE

NOT TO SCALE



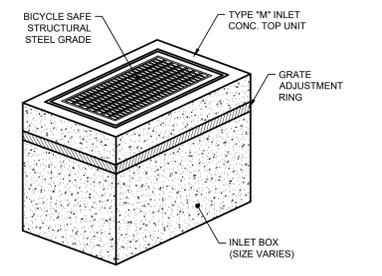
ROOF DRAIN WITH CLEANOUT & OVERFLOW

NOT TO SCALE



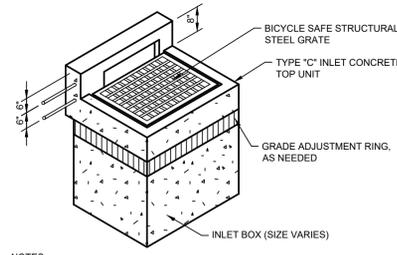
WATERLINE TRENCH

NOT TO SCALE



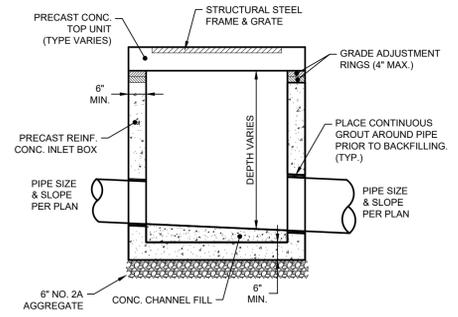
TYPE 'M' INLET

NOT TO SCALE



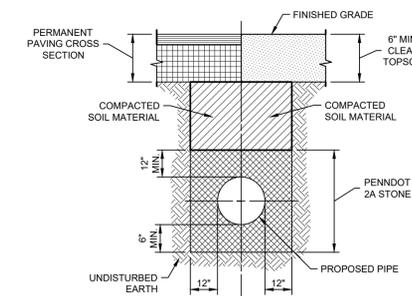
TYPE 'C' INLET

NOT TO SCALE



PRE-CAST INLET BOX

NOT TO SCALE



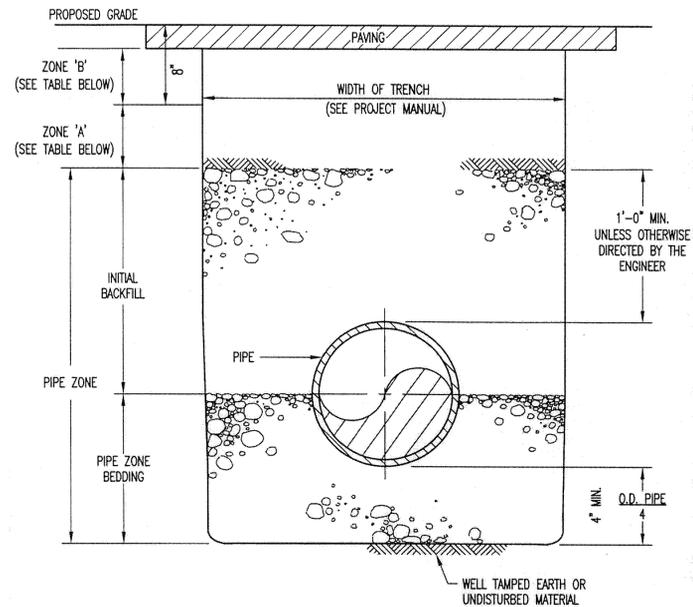
STORM SEWER TRENCH

NOT TO SCALE

CONSTRUCTION DETAILS
FOR
VALLEY ROAD COMMUNITY
FOR
BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

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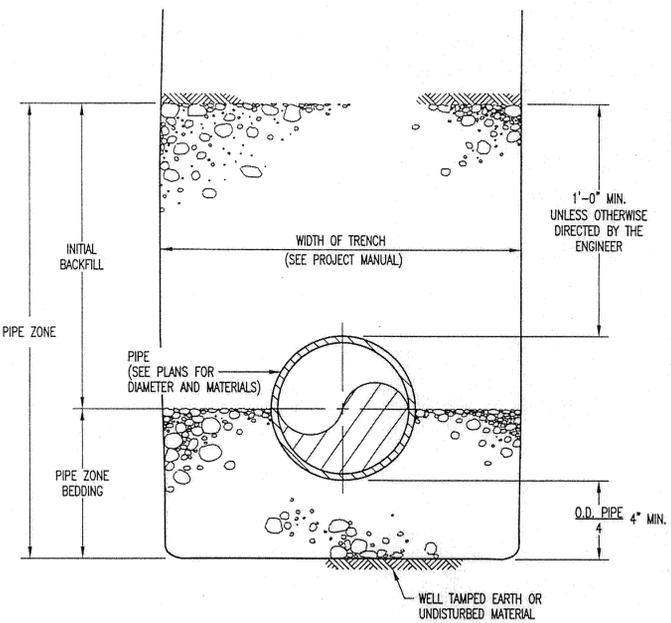
PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: AS SHOWN
SHEET
CD 12.3



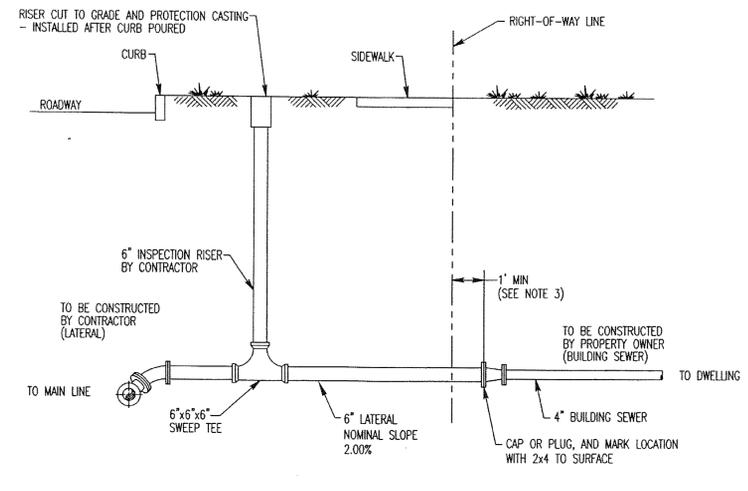
SCHEDULE OF BACKFILLING REQUIREMENTS FOR ZONES 'A' AND 'B'

DESCRIPTION OF PAVED AREA	ZONE 'A'	ZONE 'B'
PAVED AREAS WITHIN THE R/W LIMITS OF STATE HIGHWAYS	CONFORMING TO THE REQUIREMENTS OF THE PaDOT	
PAVED ROADWAYS AND SHOULDERS OF PROPOSED AND EXISTING STREETS OTHER THAN STATE HIGHWAYS	AGGREGATE BACKFILL COMPACTED IN 6 INCH LAYERS	
BITUMINOUS DRIVEWAYS AND SIDEWALKS	ON-SITE BACKFILL COMPACTED IN 6 INCH LAYERS	COMPACTED AGGREGATE BACKFILL

BACKFILLING IN PAVED AREAS
NOT TO SCALE

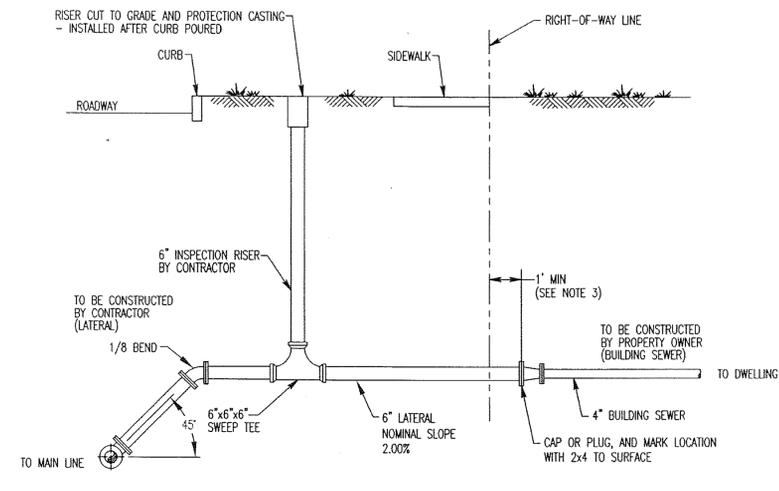


SECTIONAL ELEVATION
PIPE ZONE BEDDING AND INITIAL BACKFILL
NOT TO SCALE



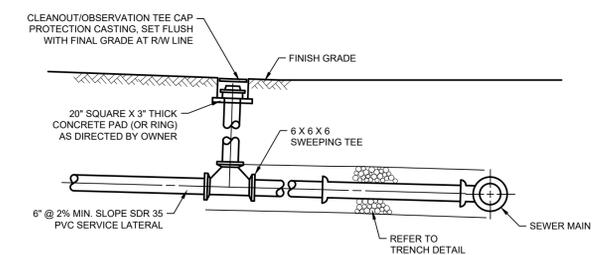
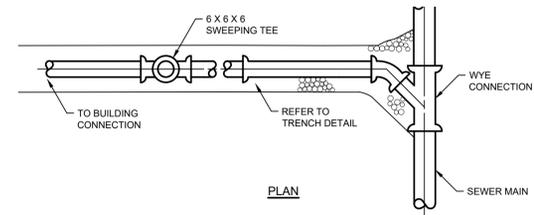
INSPECTION RISER FOR SHALLOW SEWER
NOT TO SCALE

- NOTES:
1. INSTALL RISER DURING CONSTRUCTION OF LATERAL.
 2. CONTRACTOR RESPONSIBLE FOR PROPERLY LOCATING RIGHT-OF-WAY AND SIDEWALK.
 3. LIMIT OF AIR TEST.

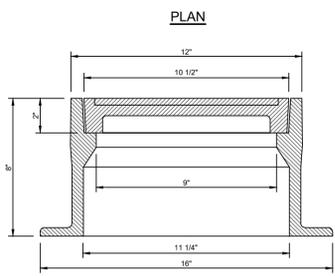
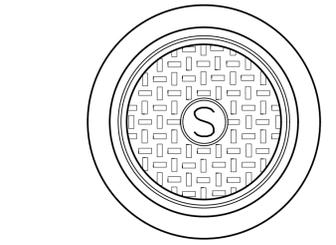


INSPECTION RISER FOR DEEP SEWER
NOT TO SCALE

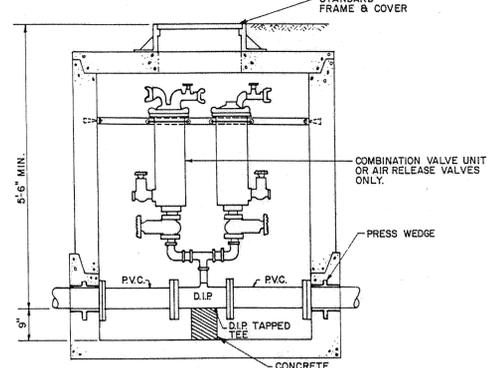
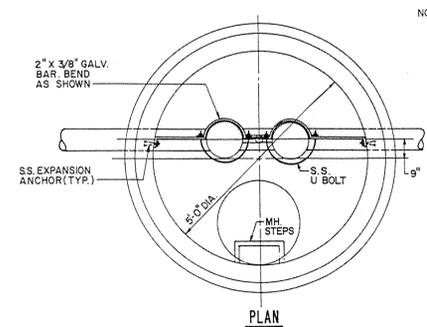
- NOTES:
1. INSTALL RISER DURING CONSTRUCTION OF LATERAL.
 2. CONTRACTOR RESPONSIBLE FOR PROPERLY LOCATING RIGHT-OF-WAY AND SIDEWALK.
 3. LIMIT OF AIR TEST.



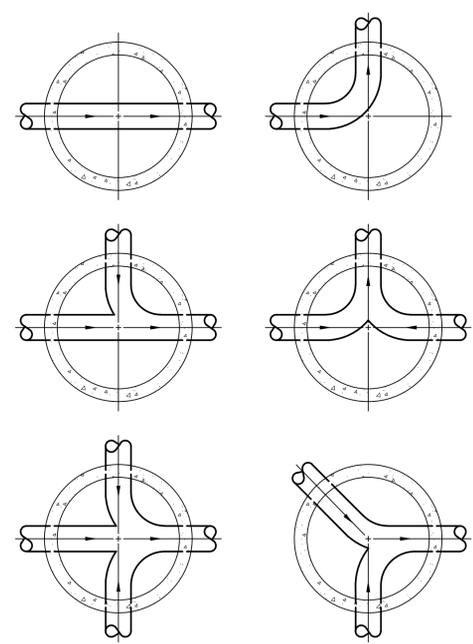
SERVICE LATERAL - NORMAL DEPTH
NOT TO SCALE



CLEANOUT / OBSERVATION TEE CAP PROTECTION CASTING
NOT TO SCALE



AIR RELEASE CHAMBER PRESSURE WASTEWATER SEWER
NOT TO SCALE



- NOTES:
1. KEEP CURVE TO A MINIMUM TO FACILITATE INSERTION AND REMOVAL OF TEST PLUGS AND INTERNAL INSPECTION EQUIPMENT.

MANHOLE CHANNELS
NOT TO SCALE

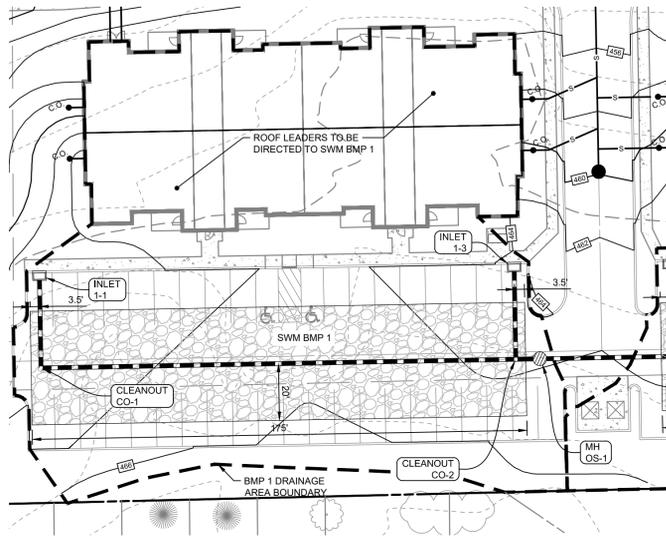
PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
NO	
DATE	
REVISION	

CONSTRUCTION DETAILS
FOR
VALLEY ROAD COMMUNITY
FOR
BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

Snyder Secary & Associates, LLC
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HARRISBURG OFFICE
2000 LINGLESTOWN ROAD
HARRISBURG, PA 17110
717.651.1010 www.snydersecary.com

PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: AS SHOWN
SHEET
CD 12.4

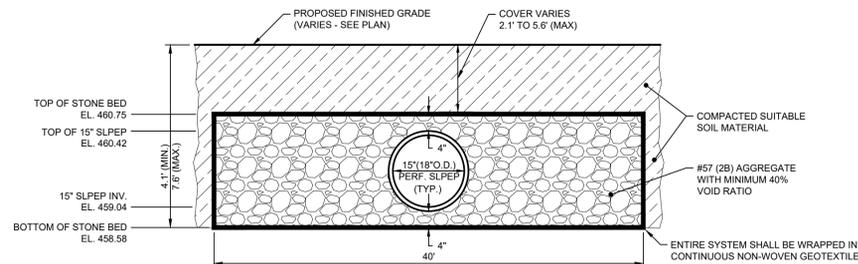
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 PLOTTER: HP DesignJet T1100e
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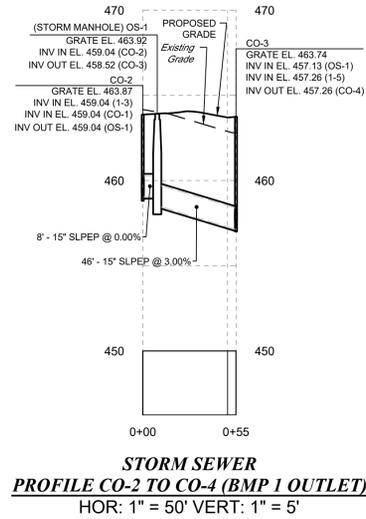
SWM BMP #1 PLAN
SCALE: 1" = 30'

GENERAL NOTES:

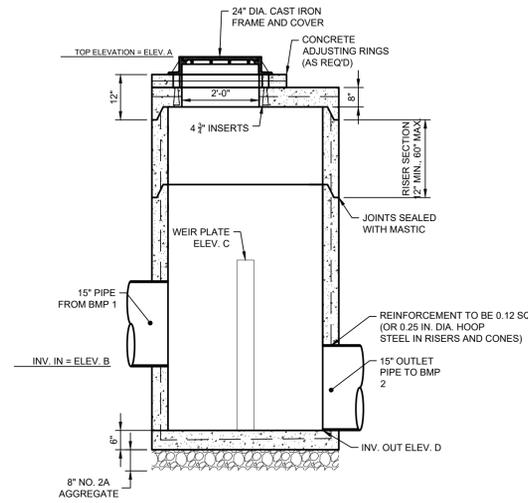
1. THE PROPOSED SUBSURFACE FACILITY WAS DESIGNED UTILIZING PERFORATED 15" SLPEP. ALTERNATE DESIGNS ARE ACCEPTABLE, SUBJECT TO ENGINEER'S APPROVAL.
2. FINAL DESIGN OF THE SUBSURFACE FACILITY, OUTLET STRUCTURE AND ANY OTHER ASSOCIATED STRUCTURE MUST BE SUBMITTED TO ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS DIRECTLY FROM THE MANUFACTURER.
3. PRIOR TO CONSTRUCTION OF THE SUBSURFACE FACILITY, THE SUBGRADE SOILS SHALL BE UNIFORMLY GRADED. CONSTRUCT THE SUBSURFACE FACILITY AT A FLAT LONGITUDINAL SLOPE.
4. DURING CONSTRUCTION OF THE FACILITY, ALL UPSTREAM INLETS SHALL BE PROVIDED WITH TEMPORARY INLET PROTECTION IN ORDER TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE FACILITY. ONCE UPSTREAM AREAS BECOME STABILIZED, REMOVE TEMPORARY INLET PROTECTION.
5. SYSTEM SHALL BE FLUSHED AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY ACCUMULATION OF SEDIMENT AND DEBRIS.
6. THE EXISTING SUBGRADE UNDER THE BED AREA SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE AND STONE BED PLACEMENT.
7. IN AREAS WHERE THE FACILITY IS RECEIVING VEHICULAR TRAFFIC, THE SUBSURFACE SYSTEM SHALL BE DESIGNED TO CARRY THE APPROPRIATE DEAD AND LIVE LOADS FOR VEHICULAR TRAFFIC. THE PIPE MANUFACTURER'S DETAILS FOR APPROPRIATE BEDDING, BACKFILL AND COVER SHOULD BE FOLLOWED FOR THE PROPOSED INSTALLATION.
8. PIPE SHALL BE PER ASTM F2648 SPECIFICATION.
9. PIPE CONNECTIONS WITHIN THE FACILITY SHALL BE MADE WITH THE APPROPRIATE FITTING AS RECOMMENDED BY THE MANUFACTURER, WITH CLEANOUTS PROVIDED OVER THE FITTING WHERE INDICATED ON THE PLAN.



SWM/BMP #1 TYPICAL SECTION
NOT TO SCALE



STORM SEWER PROFILE CO-2 TO CO-4 (BMP 1 OUTLET)
HOR: 1" = 50' VERT: 1" = 5'



A	B	C	D
463.92	459.04	460.70	458.52

NOTES:

1. CONSTRUCT MANHOLE IN ACCORDANCE WITH PENNDOT PUBLICATION 72, RC-39 FOR PRECAST CONCRETE MANHOLES.
2. ALL MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PENNDOT PUBLICATION 408.
3. WEIR PLATE TO BE MADE OF A MINIMUM 3" THICK STAINLESS STEEL PLATE AND BE SECURELY ATTACHED TO THE WALLS OF THE MANHOLE. CAULK AROUND ALL SIDES OF THE PLATE. ALTERNATIVES ARE ACCEPTABLE WITH DESIGN ENGINEER APPROVAL.

SWM/BMP #1 OUTLET STRUCTURE
NOT TO SCALE



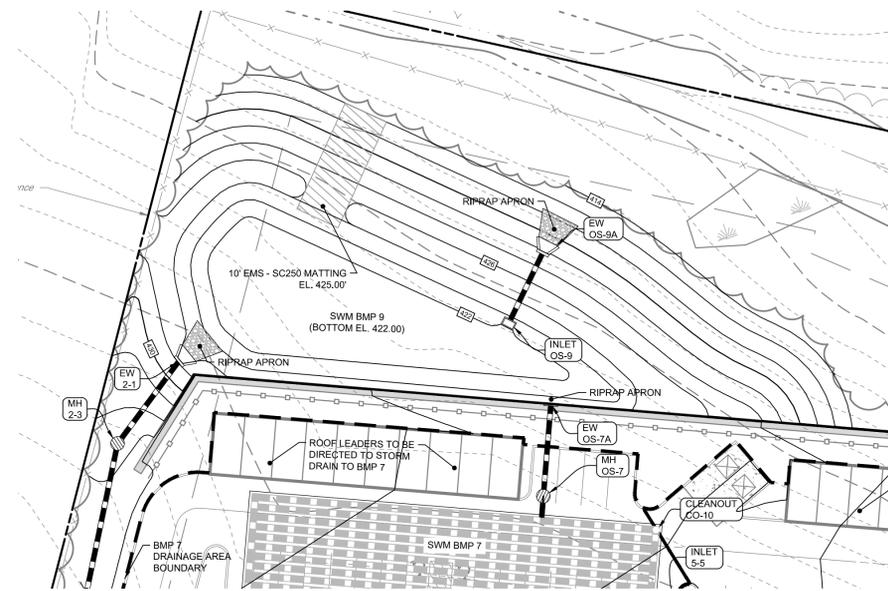
PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
REVISION	
DATE	
NO.	

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
AND DETAILS - BMP 1
FOR
VALLEY ROAD COMMUNITY
FOR
BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

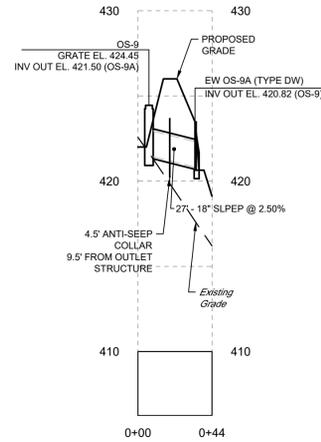
Snyder Secary & Associates, LLC
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HARRISBURG, PA 17110
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PROJECT NO.
19-0436-002
DATE: 02/18/20
SCALE: AS SHOWN
SHEET
SW 13.1

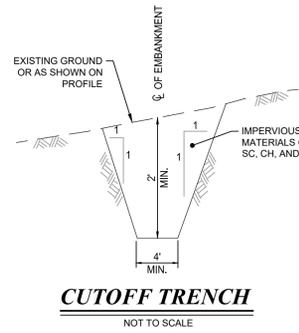
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 19-0436-002-99-D (1/19/19) 19-0436-002-CADD\DWG\19-0436-002-99-D.dwg
 19-0436-002-100-D (1/19/19) 19-0436-002-CADD\DWG\19-0436-002-100-D.dwg



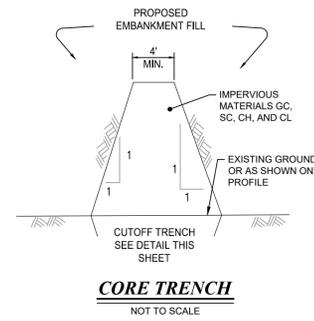
SWM BMP #9 PLAN
SCALE: 1" = 30'



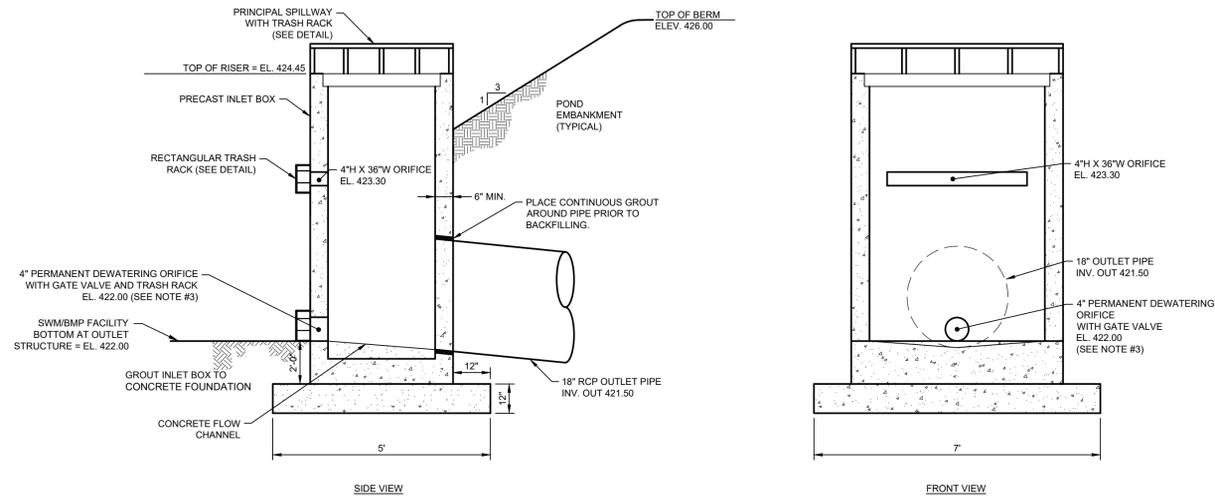
STORM SEWER PROFILE OS-9 TO OS-9A
HOR: 1" = 50' VERT: 1" = 5'



CUTOFF TRENCH
NOT TO SCALE



CORE TRENCH
NOT TO SCALE



NOTES:

1. PROVIDE FIELD PLACED CONCRETE FILL IN THE BOTTOM OF ALL OUTLET STRUCTURES. PROVIDE AN ADEQUATE FLOW CHANNEL FOR THE TRANSITION TO THE OUTLET PIPE. SHAPE BOX BOTTOM FOR POSITIVE DRAINAGE.
2. CONSTRUCT THE REINFORCED CONCRETE FOUNDATION TO A DIMENSION 24 INCHES LARGER THAN THE OUTSIDE DIMENSIONS OF THE OUTLET STRUCTURE.
3. PROVIDE A PERMANENT 4" GATE VALVE WITH STAINLESS STEEL PADDLES MANUFACTURED BY VALTERRA, OR APPROVED EQUAL, AT THE OUTLET STRUCTURE PERMANENT DEWATERING ORIFICE. THE HANDLE FOR THE GATE VALVE SHALL BE ACCESSIBLE FROM INSIDE THE STRUCTURE. THE VALVE SHALL REMAIN CLOSED AT ALL TIMES UNLESS THE FACILITY NEEDS TO BE DEWATERED FOR MAINTENANCE PURPOSES.

SWM/BMP #9 OUTLET STRUCTURE
NOT TO SCALE

PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
REVISION	
DATE	
NO.	

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND DETAILS - BMP 9

FOR VALLEY ROAD COMMUNITY

BURKENTINE & SONS BUILDERS, INC.
HAMPTON & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA

Snyder Secary & Associates, LLC
ENGINEERS • PLANNERS • DEVELOPMENT CONSULTANTS
YORK OFFICE
227 W. MARKET STREET
YORK, PA 17401
717.651.1010 www.snydersecary.com

PROJECT NO.
19-0436-002

DATE: 02/18/20
SCALE: AS SHOWN

SHEET
SW 13.9

DRAWING REFERENCE: Y:\1919\0436\002\DWG\19-0436-002-SWM-BMP-Plan & Details.dwg
 PRINTED: 2/18/20 12:45 PM
 PLOTTED: 2/18/20 12:45 PM
 REFERENCE: 19-0436-002-01-DWG (1/18/20 10:00 AM) 19-0436-002-02-DWG (1/18/20 10:00 AM) 19-0436-002-03-DWG (1/18/20 10:00 AM) 19-0436-002-04-DWG (1/18/20 10:00 AM) 19-0436-002-05-DWG (1/18/20 10:00 AM) 19-0436-002-06-DWG (1/18/20 10:00 AM) 19-0436-002-07-DWG (1/18/20 10:00 AM) 19-0436-002-08-DWG (1/18/20 10:00 AM) 19-0436-002-09-DWG (1/18/20 10:00 AM) 19-0436-002-10-DWG (1/18/20 10:00 AM) 19-0436-002-11-DWG (1/18/20 10:00 AM) 19-0436-002-12-DWG (1/18/20 10:00 AM) 19-0436-002-13-DWG (1/18/20 10:00 AM) 19-0436-002-14-DWG (1/18/20 10:00 AM) 19-0436-002-15-DWG (1/18/20 10:00 AM) 19-0436-002-16-DWG (1/18/20 10:00 AM) 19-0436-002-17-DWG (1/18/20 10:00 AM) 19-0436-002-18-DWG (1/18/20 10:00 AM) 19-0436-002-19-DWG (1/18/20 10:00 AM) 19-0436-002-20-DWG (1/18/20 10:00 AM) 19-0436-002-21-DWG (1/18/20 10:00 AM) 19-0436-002-22-DWG (1/18/20 10:00 AM) 19-0436-002-23-DWG (1/18/20 10:00 AM) 19-0436-002-24-DWG (1/18/20 10:00 AM) 19-0436-002-25-DWG (1/18/20 10:00 AM) 19-0436-002-26-DWG (1/18/20 10:00 AM) 19-0436-002-27-DWG (1/18/20 10:00 AM) 19-0436-002-28-DWG (1/18/20 10:00 AM) 19-0436-002-29-DWG (1/18/20 10:00 AM) 19-0436-002-30-DWG (1/18/20 10:00 AM) 19-0436-002-31-DWG (1/18/20 10:00 AM) 19-0436-002-32-DWG (1/18/20 10:00 AM) 19-0436-002-33-DWG (1/18/20 10:00 AM) 19-0436-002-34-DWG (1/18/20 10:00 AM) 19-0436-002-35-DWG (1/18/20 10:00 AM) 19-0436-002-36-DWG (1/18/20 10:00 AM) 19-0436-002-37-DWG (1/18/20 10:00 AM) 19-0436-002-38-DWG (1/18/20 10:00 AM) 19-0436-002-39-DWG (1/18/20 10:00 AM) 19-0436-002-40-DWG (1/18/20 10:00 AM) 19-0436-002-41-DWG (1/18/20 10:00 AM) 19-0436-002-42-DWG (1/18/20 10:00 AM) 19-0436-002-43-DWG (1/18/20 10:00 AM) 19-0436-002-44-DWG (1/18/20 10:00 AM) 19-0436-002-45-DWG (1/18/20 10:00 AM) 19-0436-002-46-DWG (1/18/20 10:00 AM) 19-0436-002-47-DWG (1/18/20 10:00 AM) 19-0436-002-48-DWG (1/18/20 10:00 AM) 19-0436-002-49-DWG (1/18/20 10:00 AM) 19-0436-002-50-DWG (1/18/20 10:00 AM) 19-0436-002-51-DWG (1/18/20 10:00 AM) 19-0436-002-52-DWG (1/18/20 10:00 AM) 19-0436-002-53-DWG (1/18/20 10:00 AM) 19-0436-002-54-DWG (1/18/20 10:00 AM) 19-0436-002-55-DWG (1/18/20 10:00 AM) 19-0436-002-56-DWG (1/18/20 10:00 AM) 19-0436-002-57-DWG (1/18/20 10:00 AM) 19-0436-002-58-DWG (1/18/20 10:00 AM) 19-0436-002-59-DWG (1/18/20 10:00 AM) 19-0436-002-60-DWG (1/18/20 10:00 AM) 19-0436-002-61-DWG (1/18/20 10:00 AM) 19-0436-002-62-DWG (1/18/20 10:00 AM) 19-0436-002-63-DWG (1/18/20 10:00 AM) 19-0436-002-64-DWG (1/18/20 10:00 AM) 19-0436-002-65-DWG (1/18/20 10:00 AM) 19-0436-002-66-DWG (1/18/20 10:00 AM) 19-0436-002-67-DWG (1/18/20 10:00 AM) 19-0436-002-68-DWG (1/18/20 10:00 AM) 19-0436-002-69-DWG (1/18/20 10:00 AM) 19-0436-002-70-DWG (1/18/20 10:00 AM) 19-0436-002-71-DWG (1/18/20 10:00 AM) 19-0436-002-72-DWG (1/18/20 10:00 AM) 19-0436-002-73-DWG (1/18/20 10:00 AM) 19-0436-002-74-DWG (1/18/20 10:00 AM) 19-0436-002-75-DWG (1/18/20 10:00 AM) 19-0436-002-76-DWG (1/18/20 10:00 AM) 19-0436-002-77-DWG (1/18/20 10:00 AM) 19-0436-002-78-DWG (1/18/20 10:00 AM) 19-0436-002-79-DWG (1/18/20 10:00 AM) 19-0436-002-80-DWG (1/18/20 10:00 AM) 19-0436-002-81-DWG (1/18/20 10:00 AM) 19-0436-002-82-DWG (1/18/20 10:00 AM) 19-0436-002-83-DWG (1/18/20 10:00 AM) 19-0436-002-84-DWG (1/18/20 10:00 AM) 19-0436-002-85-DWG (1/18/20 10:00 AM) 19-0436-002-86-DWG (1/18/20 10:00 AM) 19-0436-002-87-DWG (1/18/20 10:00 AM) 19-0436-002-88-DWG (1/18/20 10:00 AM) 19-0436-002-89-DWG (1/18/20 10:00 AM) 19-0436-002-90-DWG (1/18/20 10:00 AM) 19-0436-002-91-DWG (1/18/20 10:00 AM) 19-0436-002-92-DWG (1/18/20 10:00 AM) 19-0436-002-93-DWG (1/18/20 10:00 AM) 19-0436-002-94-DWG (1/18/20 10:00 AM) 19-0436-002-95-DWG (1/18/20 10:00 AM) 19-0436-002-96-DWG (1/18/20 10:00 AM) 19-0436-002-97-DWG (1/18/20 10:00 AM) 19-0436-002-98-DWG (1/18/20 10:00 AM) 19-0436-002-99-DWG (1/18/20 10:00 AM) 19-0436-002-100-DWG (1/18/20 10:00 AM)

