

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Hampden/East Pennsboro</u>	Surveyor/ Engineer:	<u>Snyder, Secary & Associates, LLC</u>	Owner/ Developer:	<u>Burketine Builders</u>
Plat Title:	<u>Valley Road Community Project (PF/SD)</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Subdivision</u>		
# of New Lots:	<u>3</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>22.5</u>
				Total Tract Acreage:	<u>27.53</u>
Zoning District:	<u>A-O R-1</u>		Proposed Land Use:	<u>Lot Consolidation</u>	
Date Received:	<u>2/13/2020</u>	County Review:	<u>3/10/2020</u>	Reviewed by:	<u>SH, EG</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

The following comments refer to the East Pennsboro Township Zoning and SLD Ordinances on file at the Cumberland County Planning Department.

1. The slope table and Sheet EX 2.0 should show the steep slopes on the entire subdivision (Zoning 27-402). The Steep Slope Protection District requirements should be included in the Zoning Data (if applicable).
2. The Wetland Protection Overlay District requirements should be included in the Zoning Data Table (Zoning 27-403).
3. A signature block for the Cumberland County Planning Department should be included on the plan. The block will be signed by the Director of Planning (SLDO 22-307.1.A.13).

The following comments refer to the Hampden Township Zoning and SLD Ordinances on file at the Cumberland County Planning Department.

4. The minimum lot frontage requirement for residential use with public sewer and water should be 85 feet (Zoning 1006.B).
5. In the Zoning Data Table, information provided regarding minimum lot area corresponds to requirements for lots with 1&2 dwellings, and minimum building setbacks information corresponds to requirements for 3 dwellings. The plan information provided should be consistent (Zoning 1006.A & 1009.A).
6. A signature block for the Cumberland County Planning Department should be included on the plan. The block will be signed by the Director of Planning (SLDO 405).
7. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel

boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

PRELIMINARY / FINAL LOT CONSOLIDATION AND SUBDIVISION PLAN

FOR *VALLEY ROAD COMMUNITY PROJECT*

FOR BURKENTINE BUILDERS HAMPDEN & EAST PENNSBORO TOWNSHIPS, CUMBERLAND COUNTY, PENNSYLVANIA FEBRUARY 11, 2020

OWNER'S CERTIFICATION & DEDICATORY STATEMENT

INDIVIDUAL
STATE OF _____
COUNTY OF _____
ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED INDIVIDUAL, PERSONALLY APPEARED _____ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE _____ OF THE PROPERTY SHOWN ON THIS PLAN, THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THAT SAME TO HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO PUBLIC USE.

MY COMMISSION EXPIRES: _____, 20____

OWNER'S CERTIFICATION & DEDICATORY STATEMENT

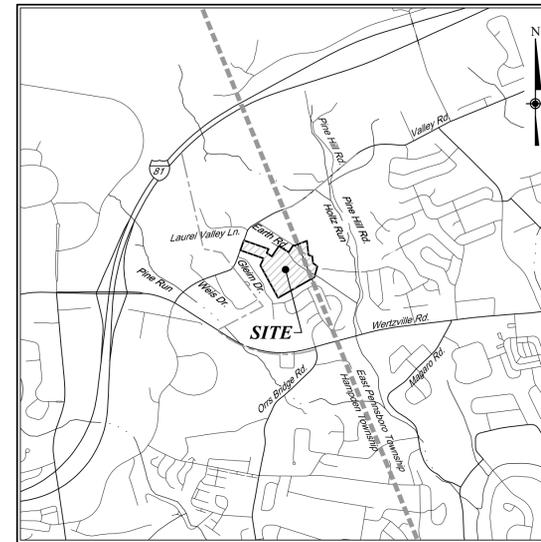
INDIVIDUAL
STATE OF _____
COUNTY OF _____
ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED INDIVIDUAL, PERSONALLY APPEARED _____ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE _____ OF THE PROPERTY SHOWN ON THIS PLAN, THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THAT SAME TO HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO PUBLIC USE.

MY COMMISSION EXPIRES: _____, 20____

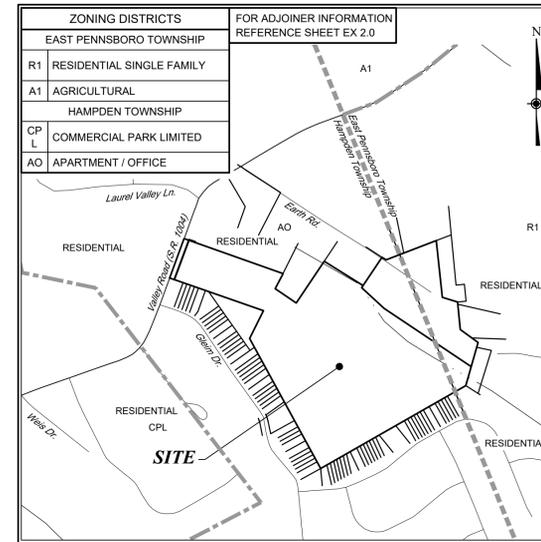
OWNER'S CERTIFICATION & DEDICATORY STATEMENT

CORPORATE
STATE OF _____
COUNTY OF _____
ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ BEING _____ OF _____, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES, THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO PUBLIC USE.

MY COMMISSION EXPIRES: _____, 20____



LOCATION MAP
SCALE: 1" = 2000'



VICINITY MAP
SCALE: 1" = 500'

UNIFORM PARCEL IDENTIFIER

#10-13-0997-013
#10-13-0997-014
#10-13-0997-005
#10-13-0997-018

EQUITABLE OWNER/APPLICANT

BURKENTINE & SONS, INC.
ATTN: MR. BRYCE BURKENTINE
1454 BALTIMORE PIKE, SUITE A
HANOVER, PA 17331
(717) 633-5163

PROPERTY OWNERS

BARRY & DELORES J. DERICK
2265 EARTH ROAD
ENOLA, PA 17025
JAMES R. & KIMBERLY NOSS
4245 VALLEY ROAD
ENOLA, PA 17025

EAST PENNSBORO TOWNSHIP PLANNING COMMISSION

THIS PLAN WAS RECOMMENDED FOR APPROVAL BY THE EAST PENNSBORO TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____, 20____

CHAIRMAN _____

SECRETARY _____

EAST PENNSBORO TOWNSHIP BOARD OF COMMISSIONERS

THIS PLAN WAS APPROVED BY THE BOARD OF COMMISSIONERS OF EAST PENNSBORO TOWNSHIP THIS _____ DAY OF _____, 20____

PRESIDENT _____

SECRETARY _____

EAST PENNSBORO TOWNSHIP ENGINEER

THIS PLAN REVIEWED BY THE EAST PENNSBORO TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____

TOWNSHIP ENGINEER _____

RECORDER OF DEEDS CERTIFICATE

THIS PLAN WAS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND COUNTY THIS DAY _____ OF _____, 20____

INSTRUMENT NUMBER _____

HAMPDEN TOWNSHIP OWNER STATEMENT

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED HAS LEGAL OR EQUITABLE TITLE TO THE LAND SHOWN AND THAT THE PLAN AS PRESENTED HEREIN IS THEIR ACT AND DEED. ALL ROADS AND STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY OFFERED FOR PUBLIC USE.

NAME _____ SIGNATURE _____ TITLE _____
NAME _____ SIGNATURE _____ TITLE _____
NAME _____ SIGNATURE _____ TITLE _____

INSTRUMENT NUMBER _____

HAMPDEN TOWNSHIP PLANNING COMMISSION

RECOMMENDED FOR APPROVAL BY THE HAMPDEN TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____, 20____

CHAIRMAN _____

SECRETARY _____

HAMPDEN TOWNSHIP BOARD OF COMMISSIONERS

APPROVED BY THE HAMPDEN TOWNSHIP BOARD OF COMMISSIONERS AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS _____ DAY OF _____, 20____

PRESIDENT _____

SECRETARY _____

HAMPDEN TOWNSHIP ENGINEER

REVIEWED THIS _____ DAY OF _____, 20____

TOWNSHIP ENGINEER _____

INDEX OF DRAWINGS	
SHEET NO.	TITLE
CS 1.0	COVER SHEET
CS 1.1	GENERAL NOTES AND EASEMENT PLAN
EX 2.0	OVERALL EXISTING CONDITIONS PLAN
SD 3.0	OVERALL LOT CONSOLIDATION / SUBDIVISION PLAN
4 SHEETS IN SET	

WETLAND CERTIFICATION

THE SITE HAS BEEN INVESTIGATED FOR WETLAND AREAS AND TO THE BEST OF MY KNOWLEDGE, ALL WETLAND AREAS ARE SHOWN ON THIS PLAN.

DATE _____ ENGINEER _____

SURVEYOR'S CERTIFICATION

I, JAMES C. HOCKENBERRY, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE HAMPDEN & EAST PENNSBORO TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE ERROR OF CLOSURE IS NO GREATER THAN ONE FOOT (1') IN TEN THOUSAND FEET (10,000').

DATE _____ JAMES C. HOCKENBERRY, P.L.S. REG. NO. 044553-E

HAMPDEN TOWNSHIP REQUESTED WAIVERS / MODIFICATIONS

AT THEIR _____, 20____ MEETING OF THE HAMPDEN TOWNSHIP BOARD OF COMMISSIONERS, THE FOLLOWING WAIVERS / MODIFICATIONS WERE APPROVED FROM THE HAMPDEN TOWNSHIP SUBDIVISION / LAND DEVELOPMENT ORDINANCE:

WAIVERS:

- 1. CHAPTER 22, PART 3, 304.2.(A&B) PRELIMINARY SUBMISSION

MODIFICATIONS:

- 1. CHAPTER 22, PART 4, 402.2(A) PLAN SCALE
- 2. CHAPTER 22, PART 4, 403.0.2(A) 18" x 24" SHEET SIZE

APPROVED VARIANCES (EAST PENNSBORO TOWNSHIP)

AT THEIR JANUARY 19, 2020 MEETING OF THE EAST PENNSBORO TOWNSHIP ZONING HEARING BOARD, THE FOLLOWING VARIANCE WAS APPROVED FROM THE EAST PENNSBORO TOWNSHIP ZONING ORDINANCE:

VARIANCE:

- 1. CHAPTER 27, ARTICLE 9, SECTION 913 PRINCIPAL USES-TO ALLOW TWO (2) PRINCIPAL USES ON ONE (1) LOT.

REQUESTED WAIVERS (EAST PENNSBORO TOWNSHIP)

AT THEIR _____, 20____ MEETING OF THE EAST PENNSBORO TOWNSHIP BOARD OF COMMISSIONERS, THE FOLLOWING WAIVERS WERE APPROVED FROM THE EAST PENNSBORO TOWNSHIP SUBDIVISION / LAND DEVELOPMENT ORDINANCE:

WAIVERS:

- 1. CHAPTER 22, PART 3, §22-306 PRELIMINARY PLAN SUBMISSION
- 2. CHAPTER 22, PART 3, §22-308.3 18" X 24" SHEET SIZE (FINAL PLAN)



HARRISBURG OFFICE 2000 LINGLESTOWN ROAD SUITE 304 HARRISBURG, PA 17110
YORK OFFICE 227 W. MARKET STREET SUITE 104 YORK, PA 17401
717.651.1010 www.snydersecary.com 717.781.2929

PROJECT NO.
19-0436-002

SHEET
CS 1.0

ZONING DATA

HAMPDEN TOWNSHIP		EAST PENNSBORO TOWNSHIP	
ZONING DISTRICT:	HAMPDEN OFFICE (AO)	RESIDENTIAL SINGLE FAMILY (R-1)	
EXISTING USE:	SINGLE FAMILY RESIDENTIAL / AGRICULTURAL	SINGLE FAMILY RESIDENTIAL / AGRICULTURAL	
PROPOSED LOT AREA (NET):	22.50 ACRES (LOT #1)	5.02 ACRES (LOT #2)	
MINIMUM LOT AREA:	11,550 SQ. FT.	1 ACRE	
MINIMUM LOT FRONTAGE:	100'		
PROPOSED LOT FRONTAGE:	250.86 FEET AT RIGHT OF WAY	0 FEET (PRIVATE ROAD) - EXISTING NON-CONFORMITY	
MINIMUM BUILDING SETBACKS:	RESIDENTIAL USE: FRONT: 30 FT. SIDE: 15 FT. (EA) REAR: 30 FT.	RESIDENTIAL USE: FRONT: 25 FEET SIDE: 15 FEET (EA) REAR: 25 FEET	
MAX. BUILDING HEIGHT:	40 FEET	35 FEET	
MAX. IMPERVIOUS COVERAGE:	60%	40%	
PROP. IMPERVIOUS COVERAGE:	LOT 1: 0.98% LOT 2: 8.15%	LOT 1: 0% LOT 2: 7.55%	
WATER:	PUBLIC (PENNSYLVANIA AMERICAN WATER)		
SEWER:	PUBLIC (HAMPDEN TOWNSHIP SEWER AUTHORITY)		

LOT COVERAGE

NOSS TAX ID: 10-13-0997-018 HAMPDEN TOWNSHIP				
	EXISTING SQ. FT. / AC	EXISTING PERCENT	PROPOSED SQ. FT. / AC	PROPOSED PERCENT
TOTAL LOT AREA:	60,241.62 SQ. FT. / 1.36 AC	100.00%	60,081.83 SQ. FT. / 1.38 AC	100.00%
TOTAL BUILDING FOOTPRINT AREA:	2301.49 SQ. FT. / 0.05 AC	3.82%	2301.49 SQ. FT. / 0.05 AC	3.83%
TOTAL PAVED / CONC. AREA:	2837 SQ. FT. / 0.06 AC	4.70%	2837 SQ. FT. / 0.06 AC	4.73%
TOTAL IMPERVIOUS COVERAGE:	5138.49 SQ. FT. / 0.12 AC	8.52%	5139.49 SQ. FT. / 0.12 AC	8.56%
MAX. PERMITTED IMPERVIOUS COVERAGE:	36,144.97 SQ. FT. / 0.82 AC	60.00%	36,048.97 SQ. FT. / 0.82 AC	60.00%
VEGETATIVE COVER / GREEN AREA:	55,103.13 SQ. FT. / 1.26 AC	91.47%	54,943.14 SQ. FT. / 1.26 AC	91.44%

DERICK TAX ID: 10-13-0997-014 HAMPDEN TOWNSHIP		
	EXISTING SQ. FT. / AC	EXISTING PERCENT
TOTAL LOT AREA:	58,884.41 SQ. FT. / 1.35 AC	100.00%
TOTAL BUILDING FOOTPRINT AREA:	1720.20 SQ. FT. / 0.03 AC	2.92%
TOTAL PAVED / CONC. AREA:	2458.13 SQ. FT. / 0.05 AC	4.17%
TOTAL IMPERVIOUS COVERAGE:	4178.33 SQ. FT. / 0.09 AC	7.09%
MAX. PERMITTED IMPERVIOUS COVERAGE:	35,330.64 SQ. FT. / 0.81 AC	60.00%
VEGETATIVE COVER / GREEN AREA:	54,706.08 SQ. FT. / 1.26 AC	92.91%

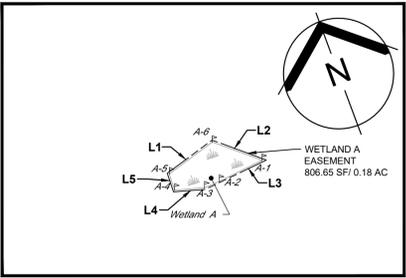
SHUTT TAX ID: 10-13-0997-13 HAMPDEN TOWNSHIP		
	EXISTING SQ. FT. / AC	EXISTING PERCENT
TOTAL LOT AREA:	88,862.40 SQ. FT. / 2.04 AC	100.00%
TOTAL BUILDING FOOTPRINT AREA:	1992.60 SQ. FT. / 0.04 AC	2.25%
TOTAL PAVED / CONC. AREA:	3459.44 SQ. FT. / 0.07 AC	3.89%
TOTAL IMPERVIOUS COVERAGE:	5452.04 SQ. FT. / 0.13 AC	6.14%
MAX. PERMITTED IMPERVIOUS COVERAGE:	53,317.44 SQ. FT. / 1.22 AC	60.00%
VEGETATIVE COVER / GREEN AREA:	83,416.36 SQ. FT. / 1.91 AC	93.86%

DERICK TAX ID: 10-13-0997-005 HAMPDEN TOWNSHIP		
	EXISTING SQ. FT. / AC	EXISTING PERCENT
TOTAL LOT AREA:	904,802.37 SQ. FT. / 20.77 AC	100.00%
TOTAL BUILDING FOOTPRINT AREA:	4383.7 SQ. FT. / 0.10 AC	0.48%
TOTAL PAVED / CONC. AREA:	2918.81 SQ. FT. / 0.06 AC	0.33%
TOTAL IMPERVIOUS COVERAGE:	7302.51 SQ. FT. / 0.17 AC	0.81%
MAX. PERMITTED IMPERVIOUS COVERAGE:	542,881.42 SQ. FT. / 12.46 AC	60.00%
VEGETATIVE COVER / GREEN AREA:	897,499.86 SQ. FT. / 20.60 AC	99.19%

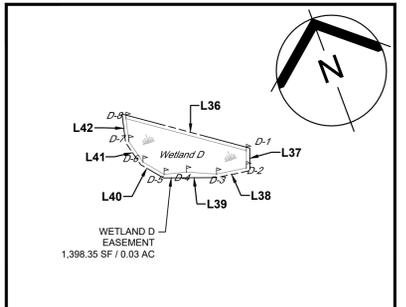
DERICK TAX ID: 10-13-0997-005 EAST PENNSBORO TOWNSHIP		
	EXISTING SQ. FT. / AC	EXISTING PERCENT
TOTAL LOT AREA:	153,750.82 SQ. FT. / 3.53 AC	100.00%
TOTAL BUILDING FOOTPRINT AREA:	1732.48 SQ. FT. / 0.09 AC	1.13%
TOTAL PAVED / CONC. AREA:	6327.86 SQ. FT. / 0.14 AC	4.12%
TOTAL IMPERVIOUS COVERAGE:	8060.34 SQ. FT. / 0.19 AC	5.25%
MAX. PERMITTED IMPERVIOUS COVERAGE:	61,500.32 SQ. FT. / 1.41 AC	40.00%
VEGETATIVE COVER / GREEN AREA:	145,690.48 SQ. FT. / 3.34 AC	94.75%

GENERAL NOTES

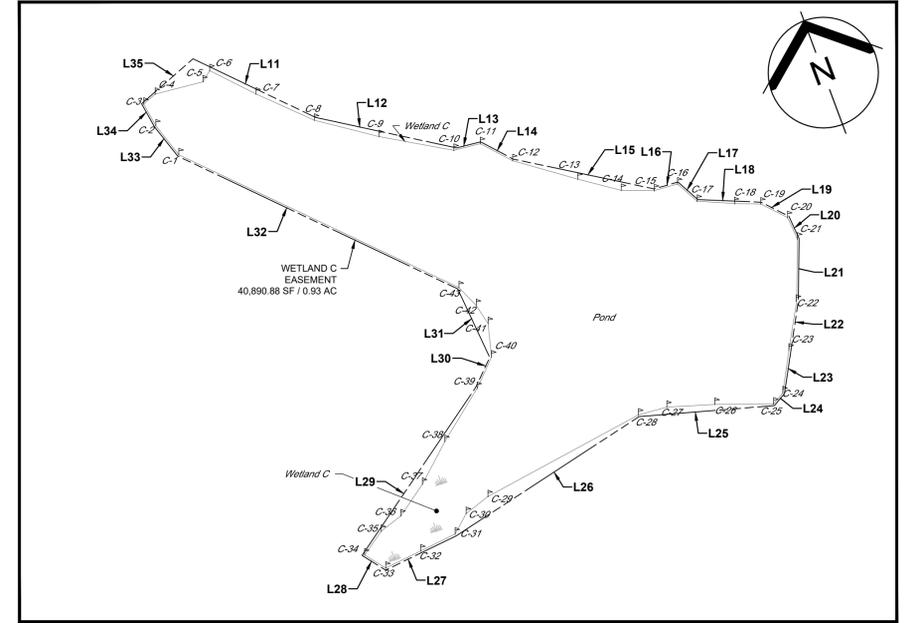
- THE PROPERTY BOUNDARY AND TOPOGRAPHY SHOWN HEREON WERE OBTAINED THROUGH A FIELD SURVEY CONDUCTED BY JAMES C. HOCKENBERRY ON SEPTEMBER 12, 2019.
- CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD 88).
- BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY, PA ONE-CALL SERIAL NOS. 20192463438, 20192463462, 20192463487 WERE ASSIGNED ON SEPTEMBER 18, 2019.
- EXISTING UTILITIES, ROADS, DRIVEWAYS, AND STRUCTURES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITY SERVICES AND MAINS.
- IN COMPLIANCE WITH PENNSYLVANIA ACT 172, ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE A COMPILED LIST OF ACTUAL SURVEYED FIELD LOCATIONS AND INFORMATION SUPPLIED BY OTHERS. SNYDER, SECARY & ASSOCIATES, LLC ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION AS DEPICTED HEREON. ANY REQUEST FOR ADDITIONAL UNDERGROUND UTILITY INFORMATION SHOULD BE DIRECTED TO THAT RESPECTIVE UTILITY COMPANY.
- PRIOR TO ANY EARTHMOVING ACTIVITIES ON THE PROPERTY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 287 TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES.
- ONLY THOSE PROPERTY CORNERS THAT WERE FOUND OR SET AS PART OF THIS SURVEY ARE NOTED AS SUCH ON THE SURVEY PLAN.
- THE PLAN WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND, AS SUCH, MAY BE SUBJECT TO UNKNOWN EASEMENTS, RIGHTS-OF-WAY, COVENANTS, AND OTHER ENCUMBRANCES EITHER RECORDED OR UNRECORDED.
- ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP FOR HAMPDEN TOWNSHIP, COMMUNITY PANEL NO. 42041C0115E, DATED MARCH 16, 2019, THE OVERALL PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOODPLAIN.
- THE WETLAND BOUNDARIES SHOWN HEREON WERE DELINEATED BY VORTEX ENVIRONMENTAL, INC. IN AUGUST, 2019.
- ALL UNMARKED PROPERTY CORNERS FOR LOTS 1&2 SHALL BE MARKED WITH IRON PINS PRIOR TO APPLICATION FOR THE HAMPDEN TOWNSHIP BUILDING PERMIT.
- THE POSTED SPEED LIMIT ALONG VALLEY ROAD IN THE VICINITY OF THE PROJECT IS 35 MILES PER HOUR.
- ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO SNYDER & SECARY ASSOCIATES, LLC. PRIOR TO CONSTRUCTION.



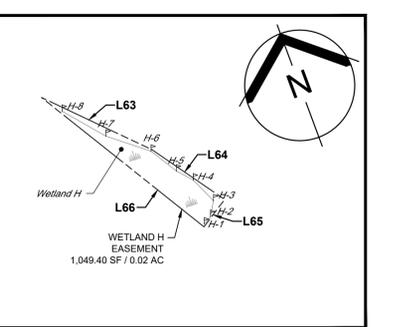
WETLAND A EASEMENT PLAN VIEW
SCALE: 1"=50'



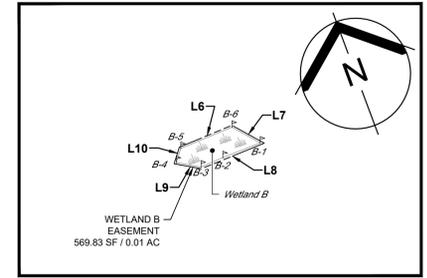
WETLAND D EASEMENT PLAN VIEW
SCALE: 1"=50'



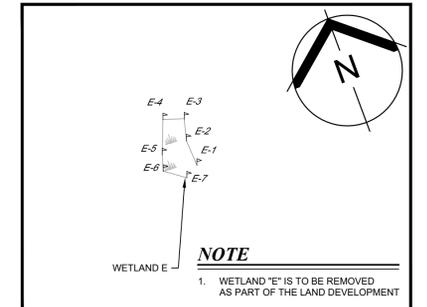
WETLAND C EASEMENT PLAN VIEW
SCALE: 1"=50'



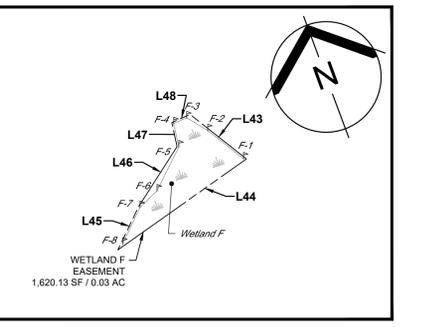
WETLAND H EASEMENT PLAN VIEW
SCALE: 1"=50'



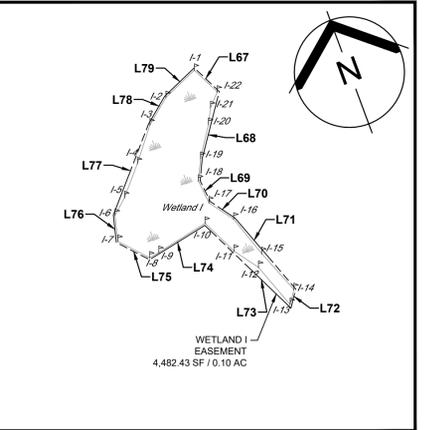
WETLAND B EASEMENT PLAN VIEW
SCALE: 1"=50'



WETLAND E EASEMENT PLAN VIEW
SCALE: 1"=50'



WETLAND F EASEMENT PLAN VIEW
SCALE: 1"=50'



WETLAND I EASEMENT PLAN VIEW
SCALE: 1"=50'

ACT 287

SNYDER SECARY & ASSOCIATES, LLC HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT 287 OF 1974, OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS (REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THESE DRAWINGS):

- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, SNYDER, SECARY & ASSOCIATES, LLC REQUESTED FROM EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (90) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, SNYDER, SECARY & ASSOCIATES, LLC HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SERVING THE LOCATION WHERE EXCAVATION IS TO BE PERFORMED.
- PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, SNYDER, SECARY & ASSOCIATES, LLC HAS SHOWN UPON THESE DRAWINGS THE POSITION AND TYPE OF EACH LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2), THE SERIAL NUMBER PROVIDED BY THE ONE CALL SYSTEM, THE TOLL-FREE ONE CALL SYSTEM PHONE NUMBER, AND THE NAME OF THE USER, THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER AS SHOWN ON THE LIST REFERRED TO IN SECTION 4, CLAUSE (5) OF SAID ACT.

AND SNYDER, SECARY & ASSOCIATES, LLC DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT SNYDER, SECARY & ASSOCIATES, LLC IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO. 181 OF 2006.

DATE: 09/18/2019
ONE CALL SYSTEM SERIAL NUMBER: 20192463438, 20192463462, 20192463486, 2192463487

LIST OF UTILITIES

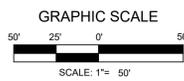
PENNSYLVANIA AMERICAN WATER 852 WESLEY DRIVE MECHANICSBURG, PA 17055 MICHAEL GENNONE MICHAEL.GENNONE@AMWATER.COM	COMCAST 4601 SMITH STREET HARRISBURG, PA 17109 MICHAEL SWEGARD MIKE_SWEGARD@CABLE.COMCAST.COM
VERIZON PENNSYLVANIA LLC 1026 HAY STREET PITTSBURGH, PA 15221 DEBORAH BARUM DEBORAH.D.DELIA@VERIZON.COM	UGI UTILITIES, INC. 1301 AIP DRIVE MIDDLETOWN, PA 17057 CHESTER WENTZ CWENTZ@UGI.COM
HAMPDEN TOWNSHIP HAMPDEN TOWNSHIP SEWER AUTHORITY 230 S SPORTING HILL ROAD MECHANICSBURG, PA 17050 JEREMY S. MILLER JMILLER@HAMPDENTOWNSHIP.US	CENTURYLINK FORMERLY EMBARO 5905 RITTER ROAD MECHANICSBURG, PA 17055
PPL ELECTRIC UTILITIES CORPORATION 503 NEW MARKET STREET WILKES BARRE, PA 18702 MARK SANTAYANA MCSANTAYANA@PPLWEB.COM	

CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES
(1) WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND (10) WORKING
DAYS IN DESIGN STAGE - STOP CALL.



WETLAND EASEMENTS LINE TABLE

LINE	BEARING	LENGTH
L1	N 74°10'40" E	32.83'
L2	S 49°29'52" E	34.04'
L3	S 84°57'09" W	40.05'
L4	N 73°53'08" W	18.68'
L5	N 01°50'26" E	11.550'
L6	N 88°05'40" E	33.61'
L7	S 40°28'52" E	21.65'
L8	S 88°29'41" W	40.00'
L9	N 59°12'07" W	16.27'
L10	N 38°04'27" E	10.25'
L11	S 44°02'46" E	80.05'
L12	S 57°21'54" E	85.01'
L13	S 83°41'06" E	14.61'
L14	S 41°45'39" E	21.78'
L15	S 57°35'48" E	84.89'
L16	S 85°33'39" E	14.65'
L17	S 28°15'05" E	15.57'
L18	S 67°04'07" E	37.38'
L19	S 42°47'07" E	18.28'
L20	S 04°16'17" E	14.48'
L21	S 21°11'39" W	36.64'
L22	S 29°05'02" W	54.87'
L23	S 29°05'02" W	54.87'
L24	S 60°08'35" W	9.27'
L25	N 74°08'26" W	80.11'
L26	S 77°29'11" W	128.70'
L27	S 84°47'22" W	46.01'
L28	N 37°59'20" W	16.32'
L29	N 54°40'17" E	119.26'
L30	N 45°38'45" E	19.46'
L31	N 04°39'19" W	44.41'
L32	N 44°13'24" W	182.59'
L33	N 18°05'17" W	22.04'
L34	N 08°48'31" W	15.49'
L35	N 69°28'59" E	40.19'
L36	S 54°37'05" E	77.88'
L37	S 20°14'25" W	13.25'
L38	N 81°11'55" W	19.90'
L39	N 69°52'07" W	31.49'
L40	N 39°20'47" W	15.52'
L41	N 13°52'50" W	15.66'
L42	N 13°22'45" E	16.90'
L43	S 31°23'11" E	42.30'
L44	S 75°17'40" W	92.72'
L45	N 46°06'10" E	28.36'
L46	N 53°18'37" E	41.72'
L47	N 08°01'44" E	14.48'
L48	N 86°29'35" E	11.76'
L49	S 32°36'56" E	14.23'
L50	S 78°03'26" W	64.76'
L51	N 74°38'56" W	18.78'
L52	N 15°52'52" W	13.58'
L53	S 64°21'14" W	32.22'
L54	N 88°36'25" W	47.74'
L55	N 10°11'35" W	13.71'
L56	N 83°48'11" E	35.87'
L57	N 47°10'44" E	15.74'
L58	N 78°49'15" E	22.78'
L59	N 87°15'16" E	42.60'
L60	S 55°19'10" E	13.83'
L61	S 00°53'55" E	22.75'
L62	N 81°22'11" E	36.32'
L63	S 44°19'09" E	71.90'
L64	S 35°15'32" E	51.93'
L65	S 57°43'07" W	20.15'
L66	N 31°07'52" W	122.20'
L67	S 26°07'40" E	20.25'
L68	S 34°45'31" W	40.58'
L69	S 05°23'41" E	13.58'
L70	S 36°11'05" E	17.36'
L71	S 20°11'08" E	55.16'
L72	S 34°49'44" W	11.53'
L73	N 25°47'02" W	70.28'
L74	S 78°42'34" W	38.24'
L75	N 42°15'57" W	22.09'
L76	N 14°13'12" E	16.19'
L77	N 41°42'26" E	57.14'
L78	N 50°43'40" E	18.87'
L79	N 66°42'29" E	24.28'



PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
	BY
	REVISION
	DATE
	NO

GENERAL NOTES AND EASEMENT PLAN FOR
VALLEY ROAD COMMUNITY PROJECT
FOR
BURKENTINE BUILDERS
HAMPDEN & E. PENNSBORO TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

Snyder Secary & Associates, LLC
ENGINEERS • PLANNERS • DEVELOPMENT CONSULTANTS
HARRISBURG OFFICE
2000 INGLETSBORO ROAD
HARRISBURG, PA 17110
717.651.1010 www.snydersecary.com

PROJECT NO.
19-0436-002
DATE: 02/11/20
SCALE: AS SHOWN
SHEET
CS 1.1



PROJ. MGR. -	AMN
DESIGN -	AMN
CADD -	TSG
CHECKED -	JCG
BY	
REVISION	
DATE	
NO.	

LEGEND

EXISTING BOUNDARY LINE	---
EXISTING ADJOINER BOUNDARY LINE	- - - -
PROPOSED LOT LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING CURB	---
EXISTING PAVEMENT	---
EXISTING VEGETATION	---
EXISTING TREELINE	---
EXISTING UTILITY POLE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING WATER LINE	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING SANITARY SEWER LINE	---
EXISTING GAS LINE	---
EXISTING STORM INLET	---
EXISTING STORM PIPE	---
PROPOSED IRON PIN	○
PROPOSED CONCRETE MONUMENT	□

OVERALL LOT CONSOLIDATION / SUBDIVISION PLAN
FOR
VALLEY ROAD COMMUNITY PROJECT
FOR
BURKENTINE BUILDERS
HAMPDEN & E. PENNSBORO TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

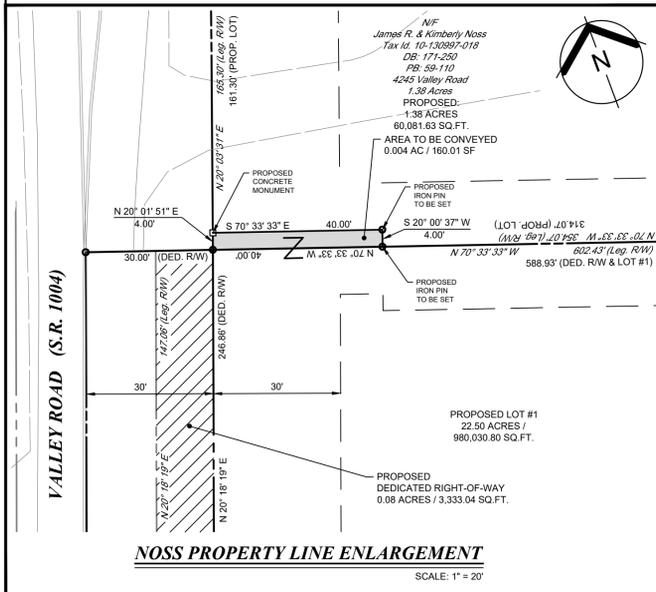
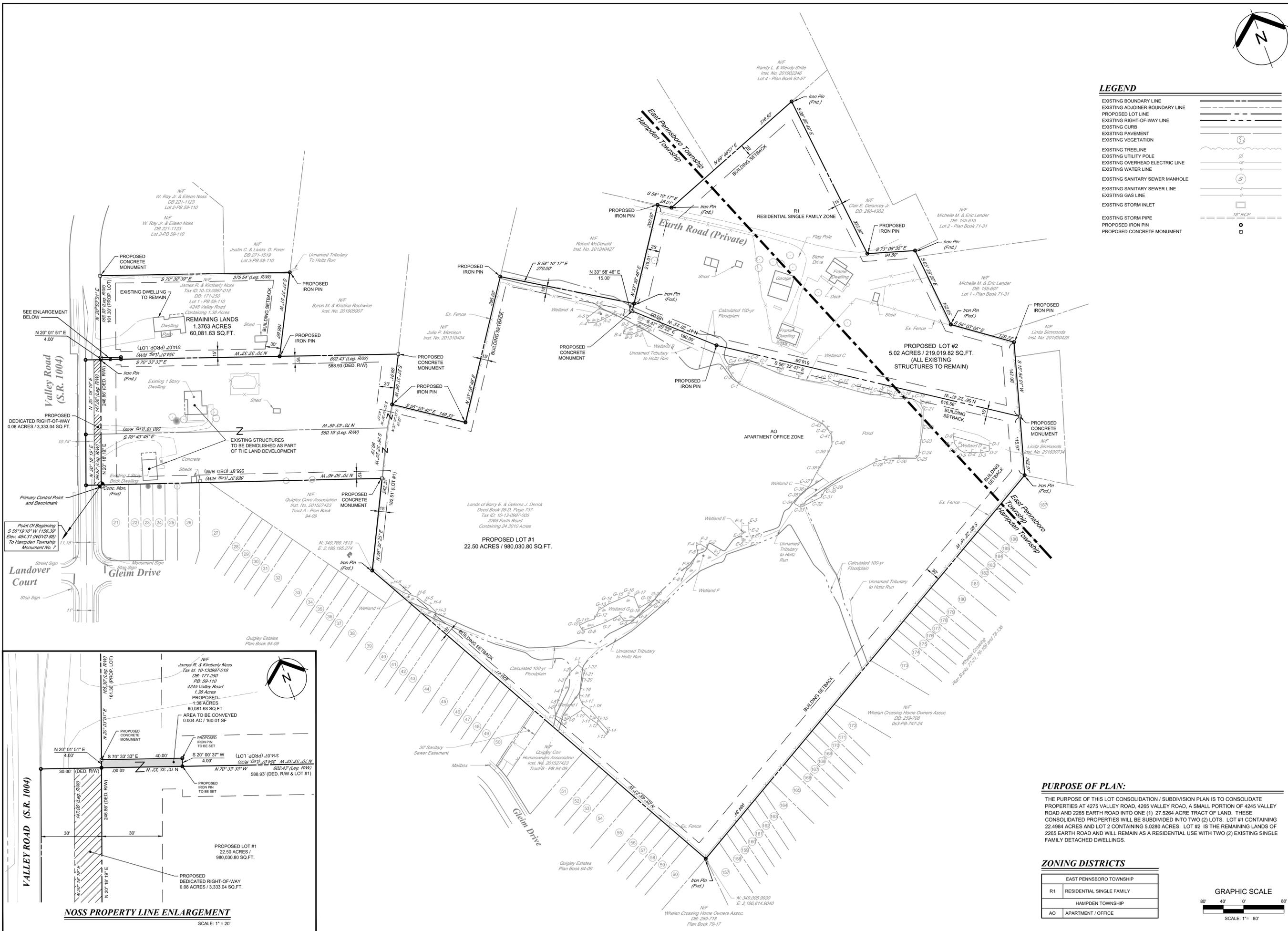
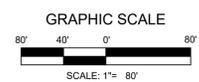
Snyder Secary & Associates, LLC
ENGINEERS • PLANNERS • DEVELOPMENT CONSULTANTS
HARRISBURG OFFICE
2000 LINGLESTOWN ROAD
HARRISBURG, PA 17110
717.651.1010 www.snydersecary.com

PROJECT NO.
19-0436-002
DATE: 02/11/20
SCALE: 1" = 80'
SHEET
SD 3.0

PURPOSE OF PLAN:
THE PURPOSE OF THIS LOT CONSOLIDATION / SUBDIVISION PLAN IS TO CONSOLIDATE PROPERTIES AT 4275 VALLEY ROAD, 4265 VALLEY ROAD, A SMALL PORTION OF 4245 VALLEY ROAD AND 2265 EARTH ROAD, 4265 VALLEY ROAD, A SMALL PORTION OF 4245 VALLEY ROAD AND 2265 EARTH ROAD, 4265 VALLEY ROAD, A SMALL PORTION OF 4245 VALLEY ROAD AND 2265 EARTH ROAD. THESE CONSOLIDATED PROPERTIES WILL BE SUBDIVIDED INTO TWO (2) LOTS. LOT #1 CONTAINING 22.4984 ACRES AND LOT 2 CONTAINING 5.0280 ACRES. LOT #2 IS THE REMAINING LANDS OF 2265 EARTH ROAD AND WILL REMAIN AS A RESIDENTIAL USE WITH TWO (2) EXISTING SINGLE FAMILY DETACHED DWELLINGS.

ZONING DISTRICTS

EAST PENNSBORO TOWNSHIP
R1 RESIDENTIAL SINGLE FAMILY
HAMPDEN TOWNSHIP
AO APARTMENT / OFFICE



REFERENCES: Y1919-0436-002-001-001; Y1919-0436-002-001-002; Y1919-0436-002-001-003; Y1919-0436-002-001-004; Y1919-0436-002-001-005; Y1919-0436-002-001-006; Y1919-0436-002-001-007; Y1919-0436-002-001-008; Y1919-0436-002-001-009; Y1919-0436-002-001-010; Y1919-0436-002-001-011; Y1919-0436-002-001-012; Y1919-0436-002-001-013; Y1919-0436-002-001-014; Y1919-0436-002-001-015; Y1919-0436-002-001-016; Y1919-0436-002-001-017; Y1919-0436-002-001-018; Y1919-0436-002-001-019; Y1919-0436-002-001-020; Y1919-0436-002-001-021; Y1919-0436-002-001-022; Y1919-0436-002-001-023; Y1919-0436-002-001-024; Y1919-0436-002-001-025; Y1919-0436-002-001-026; Y1919-0436-002-001-027; Y1919-0436-002-001-028; Y1919-0436-002-001-029; Y1919-0436-002-001-030; Y1919-0436-002-001-031; Y1919-0436-002-001-032; Y1919-0436-002-001-033; Y1919-0436-002-001-034; Y1919-0436-002-001-035; Y1919-0436-002-001-036; Y1919-0436-002-001-037; Y1919-0436-002-001-038; Y1919-0436-002-001-039; Y1919-0436-002-001-040; Y1919-0436-002-001-041; Y1919-0436-002-001-042; 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