

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>North Middleton</u>	Surveyor/ Engineer:	<u>Alpha Consulting Engineers, Inc.</u>	Owner/ Developer:	<u>Gettys Ventures</u>
Plat Title:	<u>Village at North Ridge - Phase 4</u>				
Plat Status:	<u>Final</u>	Plat Type:	<u>Subdivision</u>		
# of New Lots:	<u>22</u>	# of New Dwelling Units:	<u>20</u>	New Acreage Subdivided/Developed:	<u>5.7</u>
				Total Tract Acreage:	<u>5.7</u>
Zoning District:	<u>R-1</u>	Proposed Land Use:	<u>Residential Duplex</u>		
Date Received:	<u>1/3/2020</u>	County Review:	<u>1/23/2020</u>	Reviewed by:	<u>EG</u>
				Checked by:	<u>SH</u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. General Note #1 states that the Preliminary Plan approval was on March 28, 2008, and the zoning ordinance in effect during 2008 applies. However, record exists of prior phase plan submittals in 2006. The township should verify with the applicant which zoning ordinance applies.
2. A graphic scale should be included on the Phasing Diagram and the Location Map (SALDO 180-24.B.4).
3. A time schedule indicating when each phase is to be completed should be indicated on the plan (SALDO 180-24.B.10).
4. The Legend on Sheet 4 includes a reference to the street tree details. Recommend adding a note that the details are shown on Sheet 8 of the plan.
5. In the street tree planting detail (Sheet 8) the minimum caliper diameter of 1" should refer to a specified height above ground level. Is it possible to incorporate additional street trees in the plan? Will the homeowners' association be responsible for ongoing landscape maintenance?
6. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

FINAL SUBDIVISION PLAN FOR THE VILLAGE AT NORTH RIDGE - PHASE 4

NORTH MIDDLETON TOWNSHIP CUMBERLAND COUNTY, PENNSYLVANIA

GENERAL NOTES:

- The purpose of this plan is to record the Final Plan for phase 4, in accordance with the Preliminary Plan approved by North Middleton Township on March 28, 2008. The Final Subdivision Plan for Village at North Ridge Phase 4 will be reviewed and approved using the Zoning Ordinance in effect at the time of submission of the Preliminary Plan in 2008.
- Glenn View within this phase shall be offered for dedication to North Middleton Township for public use. Proposed sanitary sewer mains shall be offered for dedication to the North Middleton Township Authority. No other lands or facilities are proposed for dedication to public use.
- All permanent drainage facilities located outside of the dedicated and accepted street rights-of-way shall be owned and maintained by a homeowners association. See also the Operation & Maintenance Program herein. All proposed drainage facilities within dedicated and accepted street rights-of-way shall be owned and maintained by North Middleton Township.
- Street name and traffic control signs shall be installed by the developer.
- Concrete monuments will be set where shown. All other unmarked lot corners shall be marked with iron pins. Monuments and markers shall be set after recording of this plan, after public improvements have been installed, and after final grading is complete.
- Each building lot shall have a minimum of two off-street parking spaces of a size 9 feet wide by 19 feet long, either in a driveway, carport or garage.
- The developer shall pay to North Middleton Township a fee-in-lieu of public recreation of \$1,000.00 per building lot for 20 units, payable at the time of recording of this Final Plan.
- Nothing shall be placed, planted, set or put within the area of an easement that would adversely affect the function of the easement or conflict with the easement agreement.
- Lots Open Space 2 and Open Space 3 shall be permanent private common open space for all residents of the Village at North Ridge development. The lots will be owned and maintained by the developer until transferred to the homeowners association for this development. They shall generally be maintained in a natural or semi-natural (meadow) condition, until otherwise determined by the developer or homeowners association. The lots may also be used for common stormwater management and drainage facilities for the development.
- Water system construction shall comply with the rules and regulations of the North Middleton Township Authority.
- AGRICULTURAL NUISANCE DISCLAIMER:** The lands depicted on this plan may be located adjacent to or involved in a normal agricultural operation as defined by Pennsylvania Act 133 of 1982, as amended, the "Right to Farm Law". If you purchase land that is depicted on this plan and said lands are located or involved as described above, you may be prohibited from filing a nuisance action against the operators of a normal agricultural operation. In addition you may be subjected to inconvenience, discomfort and the possibility of injury to property and health arising from normal and accepted agricultural practices and operations, including but not limited to noise, dust, odor, and the operation of machinery of any kind, including aircraft, the storage and disposal of manure, and the application of fertilizers, soil amendments, herbicides and pesticides.
- All sanitary sewer construction shall be in conformance with the standard specifications for construction of sanitary sewer and appurtenances for North Middleton Township Authority, latest edition.
- The property owner cannot change the grading and drainage pattern of the property, as depicted on the approved grading plan, without approval by North Middleton Township.
- An Erosion and Sedimentation Control Plan was previously approved by the Cumberland County Conservation District. NPDES permit #PA0210101 is in effect for this site.
- All existing utility locations shown should be considered approximate, and shall be verified by the contractor.
- North Middleton Township personnel have the right to deposit snow from the adjacent street within the designated open space lots.
- Wetlands shown were delineated in July 2019 by Alpha Consulting Engineers, Inc. See a separate wetlands report.
- Every dwelling unit is required to install at the time of unit construction, an underground roof drain sump to receive all roof drains from the dwelling on the lot, per the details on this plan set. Per the details herein, each unit must provide and maintain downspout and gutter protection to prevent debris from entering the sump. This shall be a proposed covenant for each building lot.
- There is no designated floodplain in phase 4.
- North Middleton Township Authority has indicated that lots with finished floors at or greater than elevation 520 (MSL) may experience low water pressure which may require individual lot pressure boosting pumping systems be installed by the homeowner, especially with a multi-story building.
- Lots that include community or individual utilities, drainage structures, common areas, improvements or easements shall restrict all excavation, plantings, pools, fences, sheds or other improvements or obstructions over or near these facilities.
- Driveway openings will be poured with the street curb. No cutting of the curb is permitted should the driveway location be moved.
- All dwelling units shall have a minimum habitable floor area of 700 square feet per dwelling unit.
- All laterals connected to ductile iron sanitary sewer pipe shall remain ductile iron to the right-of-way line where a transition to PVC pipe material will be made using Romac Industries, Inc. MVSDR 35 transition gasket. No substitutions are permitted.
- A lot owner will purchase, own and maintain any grinder pump necessary, in accordance with Authority rules and regulations. Property owner shall also be responsible for operation and maintenance of the valve pit and the pressure lateral that serves the property.

SITE DATA:

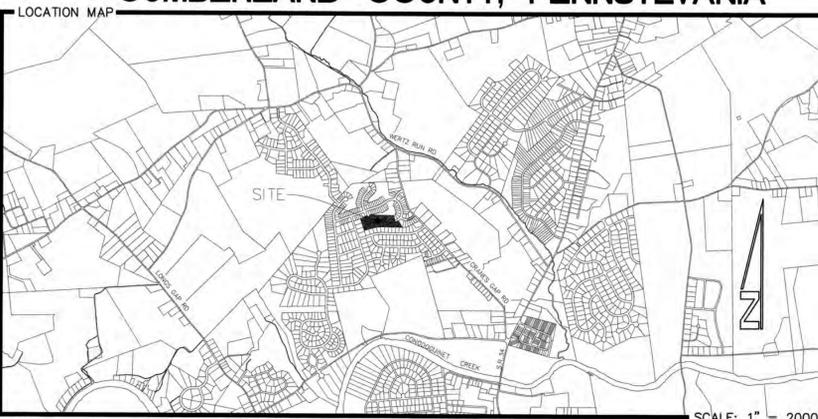
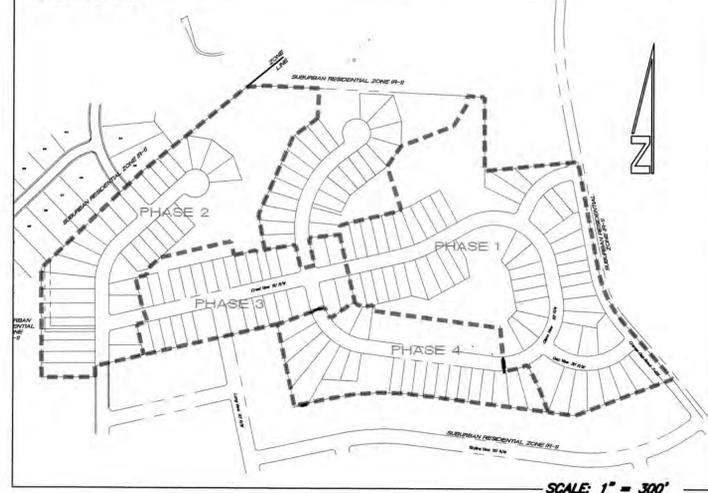
- Record Owner & Applicant: Gettys Ventures Family Limited Partnership
Attn: Steve Johnson
1950 Chestnut Court
Camp Hill, Pa 17011
Phone: (717) 761-7282
Deed reference/instrument Number 200740894
- This site is identified by the Cumberland County Tax Assessment Office as parcels #29-06-0019-140 & 29-06-0019-001A.
- Total phase 4 subdivision legal area: 5.70 acres.
- This site is zoned Low / Medium Density Residential (R-1).
- Proposed number of lots in phase 4: 22
- Total number of new dwelling units: 20
- Proposed use: 20 duplex dwellings and 2 private common open space lots.
- Minimum lot size proposed: 4,800.02 square feet (lot #139)
- Proposed water supply: public (North Middleton Township Authority)
- Proposed sewage disposal: public (North Middleton Township Authority)

ZONING REQUIREMENTS:

(PER THE APPROVED PRELIMINARY PLAN)
(BOTH PUBLIC SEWER AND WATER)
(FOR DUPLEX USE)

MINIMUM LOT AREA: 3,500 S.F.
MINIMUM LOT WIDTH: 40'
MAXIMUM LOT COVERAGE: 60%
MINIMUM YARD SETBACKS:
FRONT: 25'
SIDE: 10'
REAR: 25'
MAXIMUM PERMITTED BUILDING HEIGHT: 35'

PHASING DIAGRAM



INDEX OF DRAWINGS :

- 1 • COVER SHEET
- 2 • EXISTING FEATURES PLAN
- 3 • SUBDIVISION PLAN
- 4 • GRADING/UTILITY/LANDSCAPE PLAN
- 5 • UTILITY DIAGRAM
- 6 • EROSION CONTROL PLAN
- 7 • STREET PROFILE
- 8-11 • MISCELLANEOUS DETAILS
- 12-13 • EROSION CONTROL NOTES/DETAILS

DATE :
JANUARY 2, 2020

OWNER CERTIFICATION AND DEDICATORY STATEMENT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____
ON THIS THE ____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED

OWNER (S) _____
OWNER (S) _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAT AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY RENDERED FOR DEDICATION TO PUBLIC USE.

OWNER (S) _____
OWNER (S) _____

CERTIFICATION OF WETLANDS

THE SITE HAS BEEN INVESTIGATED FOR WETLAND AREAS IN THE VICINITY OF PHASE 4, AND TO THE BEST OF MY KNOWLEDGE ALL WETLAND AREAS ARE SHOWN ON THIS PLAN.

_____, 20____ JOHN K. MURPHY, P.E., P.L.S.

CERTIFICATION OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREIN AND ALL ASSOCIATED CALCULATIONS ARE ACCURATE AND CORRECT AS INDICATED.

_____, 20____ JOHN K. MURPHY, P.E., P.L.S.

CERTIFICATION OF SURVEY ACCURACY

I HEREBY CERTIFY THAT I HAVE BEEN TO THE SITE AND OBSERVED ITS PRESENT CONDITION, AND THAT THE PLAN INDICATES THE ACTUAL CONDITION OF THE SITE, AND TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREIN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE NORTH MIDDLETON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND THE ERROR OF CLOSURE IS NOT MORE THAN ONE PART IN 5,000.

_____, 20____ JOHN K. MURPHY, P.E., P.L.S.



GENERAL NOTES FOR STORM WATER, SANITARY SEWERS, AND WATER DISTRIBUTION:

- OBSTRUCTIONS OF EASEMENTS AND RIGHT-OF-WAYS ARE PROHIBITED:
The erection, construction, placement, locating or planting of any improvement, fixture, fence, landscaping, vegetation, trees, shrubbery or other object, whether permanent or temporary, along or within any public water or public sewer easement, or North Middleton Township or North Middleton Authority right-of-way is prohibited.
- All easements shall be graded so that vehicles may easily traverse the easement for maintenance.
- No utility transformers or junction boxes are to be placed with-in North Middleton Authority easements or right-of-ways, even if the right-of-way or easement is located with-in the street right-of-way.
- All construction in fill areas shall be conducted in strict accordance with guidelines as established by the North Middleton Authority, engineers and consultants. All fill greater than three feet below proposed final grade shall be compacted at least 97% of its maximum dry density as determined by ASTM D698 Test methods. All fill less than three feet from the proposed final grade shall be compacted to at least 100% of its maximum dry density. All tests shall be conducted by an engineering consultant approved by North Middleton Authority with experience in Geotechnical Services.
- The contractor shall install air release valves as directed by the North Middleton Authority in the field. All materials and installation shall be in accordance with Authority specifications. This pertains to both water distribution and sewer force main or low-pressure systems.

Gravity Sewer Mains and Laterals:

- All sanitary sewer pipe lengths and slope are measured centerline manhole to centerline manhole.
- All Sanitary sewer mains are to be SDR 35 PVC unless otherwise noted.
- All manhole rims elevation located in unimproved areas must be installed a minimum of one foot above finished grade.
- Where required, ductile iron sanitary sewer is to be lined class 50 ductile iron pipe.
- At the end of each lateral pipe, the contractor or developer shall place a 2 x 4 wooden stake at the end of the lateral and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted green in color. The contractor shall provide to the developer and the authority written as-built information about each lateral, as follows:
---Station of the Lateral to the downstream manhole.
---Depth of the lateral at its end.
---Length of the lateral from centerline of main.

STORM SEWER NOTES:

- There shall be an 18" vertical separation distance between storm sewer and all other utilities. Concrete encasement 18 inches beyond the storm sewer is required on the water and sanitary sewer lines when this separation cannot be maintained.
- All street storm sewer inlets are Penn Dot RC-46M with vertical 10" Type 'C' hood (grate is in a 2' sump in street pavement) unless otherwise noted.
- SLPP= Smooth interior corrugated plastic pipe.
- Storm inlets and manhole over 5 feet in depth shall have PennDOT RC-39M Manhole steps.
- All inlets shall have bicycle safe grates.

WATER MAINS AND SERVICE LATERALS NOTES:

- Water main is to be Class 52 cement lined.
- Water service laterals must be installed in separate trenches.
- Water meter pits, when required, must be installed a minimum of five feet away from driveways.
- Dig test pits to verify the location, type and size of existing water main prior to installing new mains.
- Field lock gaskets are required: Two (2) joints on either side of any bends or fittings.
- At the end of each water service, the contractor or developer shall place a 2 x 4 wooden stake at the end of the service line and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted blue in color. The contractor shall provide to the developer and the authority written as-built information about each service line.

DESIGN CONTACT INFORMATION FOR UTILITIES

PA ONE CALL SERIAL # 20192730285

CARLISLE AREA SCHOOL DISTRICT
623 W PENN STREET
CARLISLE, PA 17013
CONTACT: LEFT FRIEND
EMAIL: friendl@carlisle-schools.org

BUCKEYE PARTNERS
FIVE TEK PARK
9999 HAMILTON BLVD
BREINIGSVILLE, PA 18031
CONTACT: DAVE JONES
EMAIL: djones@buckeye.com

NORTH MIDDLETON TOWNSHIP
1 LARCH STREET
CARLISLE, PA 17013
CONTACT: ZACHARY ZOOK
EMAIL: zzook@nmiddleton.com

PPL ELECTRIC UTILITIES
1 LARCH STREET
SCRANTON, PA 18509
CONTACT: MICHELLE GERRY-DRUTHER
EMAIL: mgerry-druther@pplweb.com

COMCAST CABLE COMMUNICATIONS INC
C/O USIC LOCATING SERVICES INC
13085 HAMILTON CROSSING BLVD STE 200
CARMEL, IN 46032
CONTACT: USIC OFFICE PERSONNEL

NORTH MIDDLETON AUTHORITY
240 CLEARWATER DRIVE
CARLISLE, PA 17013
CONTACT: E LEE KOCH
EMAIL: esoles@pa.net

CENTURYLINK
122 BALTIMORE STREET
PO BOX 596
HANOVER, PA 17331
CONTACT: LEO HILBERT
EMAIL: leo.c.hilbert@centurylink.com

UGI UTILITIES INC.
1301 A I P DR
MIDDLETON, PA 17057
CONTACT: JOANNE ARCHFIELD
EMAIL: jarchfield@ugl.com



PA ONE-CALL SERIAL NUMBER:
20192730285

THIS PLAN RECOMMENDED FOR APPROVAL BY THE NORTH MIDDLETON TOWNSHIP PLANNING COMMISSION THIS ____ DAY OF _____, 20____.

CHAIRMAN _____
SECRETARY _____

APPROVED BY NORTH MIDDLETON TOWNSHIP BOARD OF SUPERVISORS AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS ____ DAY OF, 20____.

CHAIRMAN _____
SECRETARY _____

REVIEW/APPROVALS

THIS PLAN REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT THIS ____ DAY OF _____, 20____.

DIRECTOR _____

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND COUNTY THIS ____ DAY OF _____, 20____
PLAN INSTRUMENT NO. _____

ALPHA
ALPHA CONSULTING ENGINEERS, INC.
PLANNING • ENGINEERING • SURVEYING
115 LIMEKILN RD, P.O. BOX 'G'
NEW CUMBERLAND, PA 17070
PHONE: (717) 770 - 2500
FAX: (717) 770 - 2400
WWW.ALPHACEI.COM

LEGEND	
	Property Line
	Adjoiner Property Line
	Existing Right-of-way
	Easement Line
	Existing Edge of Pavement
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED SIDEWALK

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.00'	N77°04'28"E
L2	55.90'	S12°55'32"E
L3	8.45'	S12°55'32"E
L4	33.03'	S89°05'00"E
L5	33.81'	N77°04'28"E
L6	15.57'	S07°29'18"W
L7	11.90'	N77°04'28"E

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	67.17'	175.00'	S23°55'16"E	66.78'
C2	80.12'	225.00'	N74°32'03"E	79.69'
C3	28.56'	225.00'	N16°33'44"W	28.54'

LINE TABLE		
LINE	LENGTH	BEARING
L141	30.00'	N82°30'41"W
L133	40.00'	N82°30'41"W
L134	40.00'	N82°30'41"W
L135	40.00'	N82°30'41"W
L136	40.00'	N82°30'41"W
L137	40.00'	N82°30'41"W
L138	40.00'	N82°30'41"W
L139	40.00'	N82°30'41"W
L140	40.00'	N82°30'41"W
L112	15.00'	N82°30'41"W
L130B	11.09'	S78°11'52"W
L130A	82.00'	N11°48'12"W
L127	67.39'	N11°48'13"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C111	88.58'	175.00'	S49°25'00"E	87.63'
C112	56.79'	175.00'	S73°12'51"E	56.55'
C127	40.06'	225.00'	S25°17'57"E	40.01'
C128	40.05'	225.00'	S35°30'00"E	40.00'
C129	40.06'	225.00'	S45°42'00"E	40.00'
C130	40.06'	225.00'	S55°54'00"E	40.00'
C131	40.06'	225.00'	S66°06'00"E	40.00'
C132	40.05'	225.00'	S76°18'00"E	40.00'
C141	10.03'	225.00'	S83°47'21"E	10.03'
C142	40.05'	225.00'	N89°50'03"E	40.00'
C143	40.05'	225.00'	N79°38'00"E	40.00'
C144	40.06'	225.00'	N69°28'01"E	40.00'
OS3C1	4.36'	225.00'	S81°57'21"E	4.36'
OS2AC1	38.95'	175.00'	S88°53'17"E	38.67'

NO.	DATE	DESCRIPTION	BY

DESIGN : T.C.S.
 DRAWN : G.D.G.
 CHECKED : J.K.M.
 DATE : 1-2-2020
 REV :



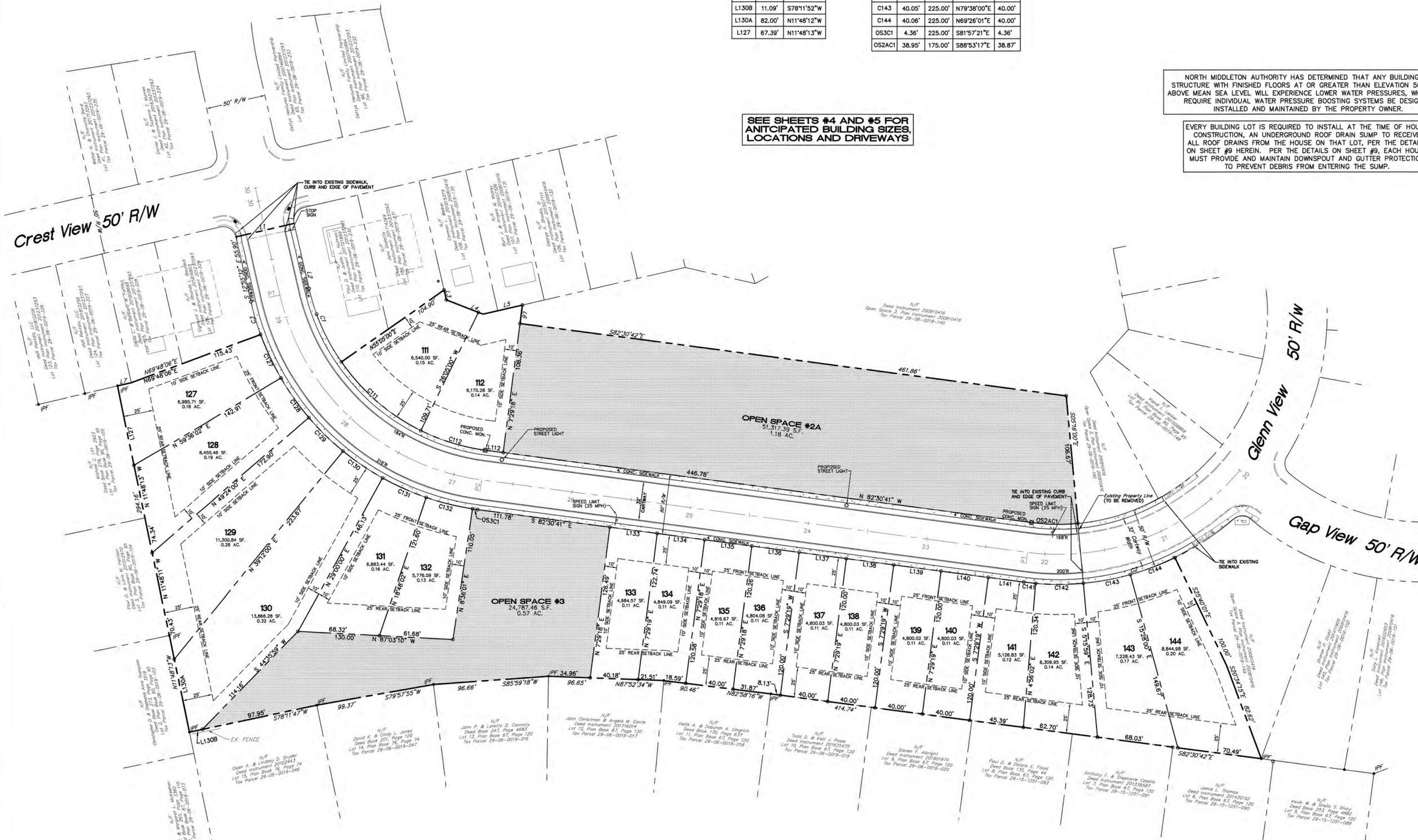
PLANNING ENGINEERING & SURVEYING
 15 LIMEKILN RD., P.O. BOX 67
 NEW CUMBERLAND, PA 17070
 PHONE: 717.770.2500
 FAX: 717.770.2400
 WWW.ALPHACON.COM

ALPHA
 ALPHA CONSULTING ENGINEERS, INC.

SEE SHEETS #4 AND #5 FOR ANTICIPATED BUILDING SIZES, LOCATIONS AND DRIVEWAYS

NORTH MIDDLETON HAS DETERMINED THAT ANY BUILDING OR STRUCTURE WITH FINISHED FLOORS AT OR GREATER THAN ELEVATION 500 FEET ABOVE MEAN SEA LEVEL WILL EXPERIENCE LOWER WATER PRESSURES, WHICH MAY REQUIRE INDIVIDUAL WATER PRESSURE BOOSTING SYSTEMS BE DESIGNED, INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

EVERY BUILDING LOT IS REQUIRED TO INSTALL AT THE TIME OF HOUSE CONSTRUCTION, AN UNDERGROUND ROOF DRAIN SUMP TO RECEIVE ALL ROOF DRAINS FROM THE HOUSE ON THAT LOT, PER THE DETAILS ON SHEET #9 HEREIN. PER THE DETAILS ON SHEET #9, EACH HOUSE MUST PROVIDE AND MAINTAIN DOWNSPOUT AND GUTTER PROTECTION TO PREVENT DEBRIS FROM ENTERING THE SUMP.

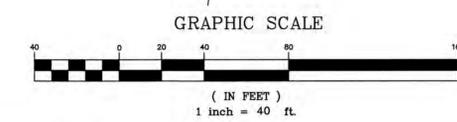


SEAL

SEAL

SUBDIVISION PLAN
 FINAL SUBDIVISION PLAN
 FOR PHASE 4

THE VILLAGE AT NORTH RIDGE
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA



PROJECT NO.
315589

SURVEY BOOK :

SCALE : 1" = 40'

DWG : 315589-15589-01-15589-01
 FILE : 315589-Phase 4

SHEET **3** of **13**

STORM INLET NOTES--
 1. ALL STREET STORM SEWER INLETS ARE PENN DOT RC-46M WITH VERTICAL 10" TYPE 'C' HOOD (GRATE IS IN A 2" SUMP IN STREET PAVEMENT) UNLESS OTHERWISE NOTED.
 2. SLPP= SMOOTH INTERIOR CORRUGATED PLASTIC PIPE.
 3. STORM INLETS AND MANHOLE OVER 5 FEET IN DEPTH SHALL HAVE PENNDOT RC-39M MANHOLE STEPS.
 4. ALL INLETS SHALL HAVE BICYCLE SAFE GRATES.

ROOF DRAIN SUMP PIT LOCATION	STONE PIT LENGTH (FT.)	STONE PIT WIDTH (FT.)	STONE PIT DEPTH (FT.)	TOP OF STONE ELEV.	LENGTH OF 24" DIA. PERFORATED PIPE (FT.)	4" DIA. OVERFLOW DISCHARGE PIPE ELEV. AT PIT
LOT 111 FRONT	18	14	3	513.0	18	512.6
LOT 111 REAR	21	7.3	3	509.0	20	508.6
LOT 112 FRONT	14	11	3	513.0	14	512.6
LOT 112 REAR	22	11	3	509.0	20	508.6
LOT 127	20	16	3	524.0	20	523.6
LOT 128	20	16	3	524.5	20	524.1
LOT 129	20	16	3	526.0	20	525.6
LOT 130	20	16	3	526.5	20	526.1
LOT 131	20	16	3	525.0	20	524.6
LOT 132	20	16	3	522.5	20	522.1
LOT 133	20	14	3	523.0	20	522.6
LOT 134	20	14	3	525.0	20	524.6
LOT 135	20	14	3	525.5	20	525.1
LOT 136	20	14	3	526.0	20	525.6
LOT 137	20	14	3	528.5	20	528.1
LOT 138	20	14	3	526.5	20	526.1
LOT 139	20	14	3	527.0	20	526.6
LOT 140	20	14	3	526.5	20	526.1
LOT 141	20	14	3	526.5	20	526.1
LOT 142	20	14	3	525.0	20	524.6
LOT 143	25	15	3	524.5	20	524.1
LOT 144	25	15	3	524.5	20	524.1

* ADJUST ELEVATION ACCORDINGLY IF ACTUAL LOT GRADING ELEVATIONS ARE DIFFERENT THAN WHAT IS SHOWN ON THE GRADING PLAN.

NORTH MIDDLETON AUTHORITY HAS DETERMINED THAT ANY BUILDING OR STRUCTURE WITH FINISHED FLOORS AT OR GREATER THAN ELEVATION 500 FEET ABOVE MEAN SEA LEVEL WILL EXPERIENCE LOWER WATER PRESSURES, WHICH MAY REQUIRE INDIVIDUAL WATER PRESSURE BOOSTING SYSTEMS BE DESIGNED, INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

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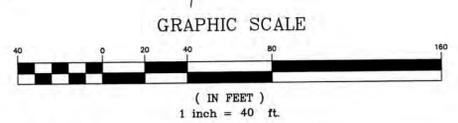


LEGEND

- Property Line
- Existing Contour
- Existing Curb
- Existing Edge Of Pav
- Existing Gas Line/Valve
- Existing Water Line/Valve
- Existing Storm Sewer Inlet, Pipe Size And Manhole
- Existing Sanitary Sewer Line Cleanout And Manhole
- Existing Sign
- Existing Electric Line And Utility Pole/A.D. #
- Existing Spot Elevation
- PROPOSED 1' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED STORM SEWER LINE AND INLET
- PROPOSED RIP RAP APRON
- PROPOSED SANITARY SEWER MAIN, MANHOLE AND LATERAL
- PROPOSED 8" WATER LINE: HYDRANT, LATERAL
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION H.P.=HIGH POINT L.P.=LOW POINT
- PROPOSED SIDEWALK
- POSSIBLE DWELLING LOCATION
- POSSIBLE GARAGE FLOOR/LOWER LEVEL ELEV.
- POSSIBLE FIRST FLOOR ELEV.
- POSSIBLE EXPOSED BASEMENT ELEV.
- DRIVEWAY LOCATION
- PROPOSED STREET TREE (SEE DETAIL)
- PROPOSED DRAINAGE EASEMENT (TYP.)



Crest View 50' R/W
 Glenn View 50' R/W
 Gap View 50' R/W



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ALPHA
 ALPHA CONSULTING ENGINEERS, INC.

GRADING / UTILITY / LANDSCAPE PLAN
 FINAL SUBDIVISION PLAN
 FOR PHASE 4
THE VILLAGE AT NORTH RIDGE
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

STORM INLET NOTES--

1. ALL STREET STORM SEWER INLETS ARE PENN DOT RC-46M WITH VERTICAL 10" TYPE 'C' HOOD (GRATE IS IN A 2" SUMP IN STREET PAVEMENT) UNLESS OTHERWISE NOTED.
2. SLP-- SMOOTH INTERIOR CORRUGATED PLASTIC PIPE.
3. STORM INLETS AND MANHOLE OVER 6 FEET IN DEPTH SHALL HAVE PENNDOT RC-39M MANHOLE STEPS.
4. ALL INLETS SHALL HAVE BICYCLE SAFE GRATES.

NORTH MIDDLETON AUTHORITY HAS DETERMINED THAT ANY BUILDING OR STRUCTURE WITHIN MOUNTAIN VIEW ESTATES WITH FINISHED FLOORS AT OR GREATER THAN ELEVATION 500 FEET ABOVE MEAN SEA LEVEL WILL EXPERIENCE LOWER WATER PRESSURES, WHICH MAY REQUIRE INDIVIDUAL WATER PRESSURE BOOSTING SYSTEMS BE DESIGNED, INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

EVERY BUILDING LOT IS REQUIRED TO INSTALL AT THE TIME OF HOUSE CONSTRUCTION, AN UNDERGROUND ROOF DRAIN SUMP TO RECEIVE ALL ROOF DRAINS FROM THE HOUSE ON THAT LOT, PER THE DETAILS ON SHEET #9 HEREIN. PER THE DETAILS ON SHEET #9, EACH HOUSE MUST PROVIDE AND MAINTAIN DOWNSPOUT AND GUTTER PROTECTION TO PREVENT DEBRIS FROM ENTERING THE SUMP. THE SUMP MUST BE SIZED FOR THE HOUSE ROOF AREA PER THE FORMULA PROVIDED WITH THE DETAIL.

GENERAL NOTES

- FOR STORM WATER, SANITARY SEWERS, & WATER DISTRIBUTION:
1. OBSTRUCTIONS OF EASEMENTS AND RIGHT-OF-WAYS ARE PROHIBITED. The erection, construction, placement, locating or planting of any improvement, fixture, fence, landscaping, vegetation, trees, shrubbery or other object, whether permanent or temporary, along or within any public water or public sewer easement, or North Middleton Township or North Middleton Authority right-of-way is prohibited.
 2. All easements shall be graded so that vehicles may easily traverse the easement for maintenance.
 3. No utility transformers or junction boxes are to be placed with-in North Middleton Authority easements or right-of-ways, even if the right-of-way or easement is located with-in the street right-of-way.
 4. All construction in fill areas shall be conducted in strict accordance with guidelines as established by the North Middleton Authority, engineers and consultants. All fill greater than three feet below proposed final grade shall be compacted at least 97% of its maximum dry density as determined by ASTM D698 Test methods. All fill less than three feet from the proposed final grade shall be compacted to at least 100% of its maximum dry density. All tests shall be conducted by an engineering consultant approved by North Middleton Authority with experience in Geotechnical Services.
 5. The contractor shall install air release valves as directed by the North Middleton Authority in the field. All materials and installation shall be in accordance with Authority specifications. This pertains to both water distribution and sewer force main or low-pressure systems.

SANITARY SEWER NOTES:

Gravity Sewer Mains and Laterals:

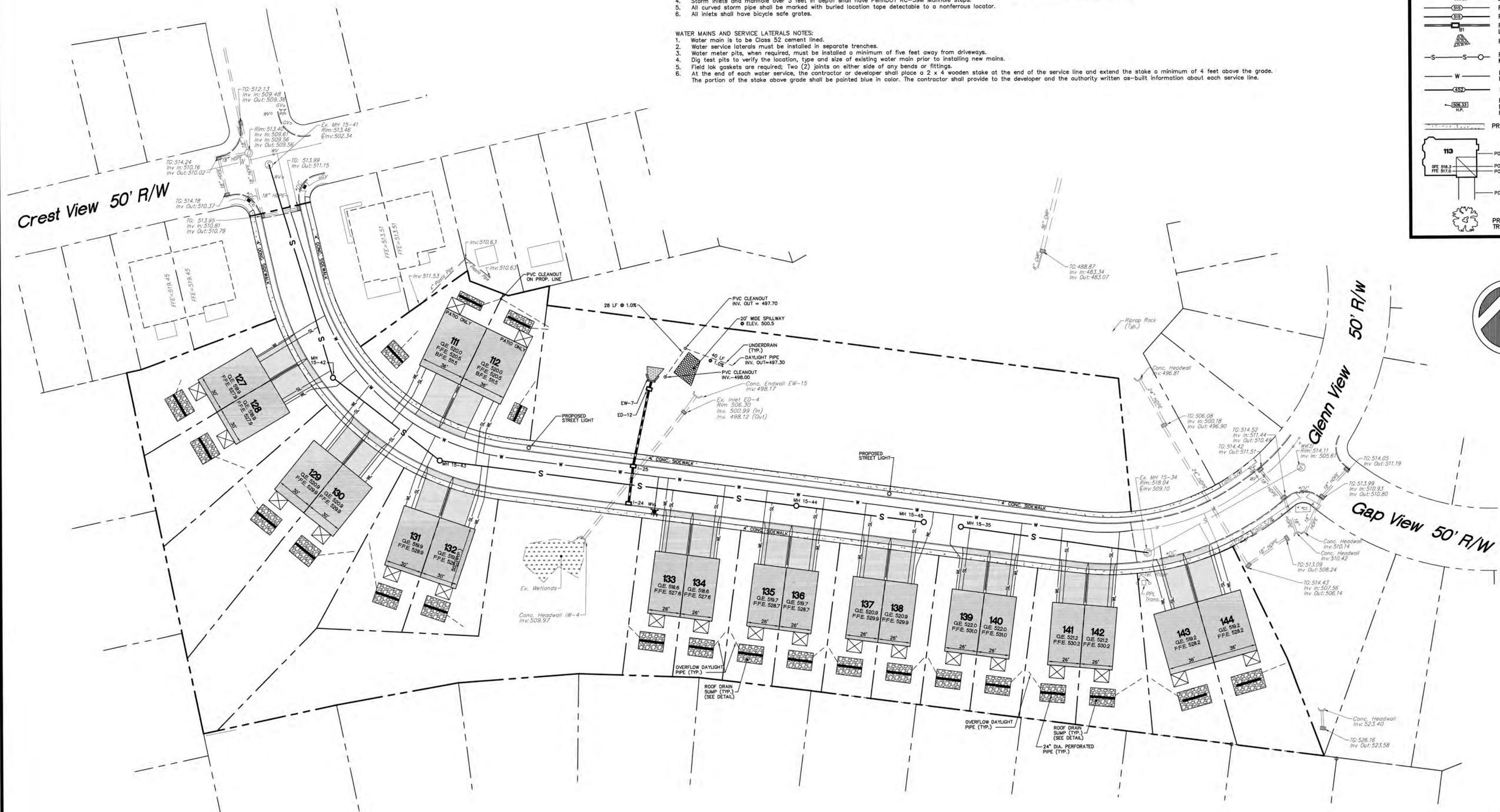
1. All sanitary sewer pipe lengths and slope are measured centerline manhole to centerline manhole.
2. All Sanitary sewer mains are to be SDR 35 PVC unless otherwise noted.
3. All manhole rims elevation located in unpaved areas must be installed a minimum of one foot above finished grade.
4. Where required, ductile iron sanitary sewer is to be lined class 50 ductile iron pipe.
5. At the end of each lateral pipe, the contractor or developer shall place a 2 x 4 wooden stake at the invert of the lateral and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted green in color. The contractor shall provide to the developer and the authority written as-built information about each lateral, as follows:
 - Station of the Lateral to the downstream manhole.
 - Depth of the lateral at its end.
 - Length of the lateral from centerline of main.

STORM SEWER NOTES:

1. There shall be an 18" vertical separation distance between storm sewer and all other utilities. Concrete encasement 18 inches beyond the storm sewer is required on the water and sanitary sewer lines when this separation cannot be maintained.
2. All street storm sewer inlets are Penn Dot RC-46M with vertical 10" Type 'C' hood (grate is in a 2" sump in street pavement) unless otherwise noted.
3. SLP-- Smooth interior corrugated plastic pipe.
4. Storm inlets and manhole over 5 feet in depth shall have PennDOT RC-39M Manhole steps.
5. All curved storm pipe shall be marked with buried location tape detectable to a nonferrous locator.
6. All inlets shall have bicycle safe grates.

WATER MAINS AND SERVICE LATERALS NOTES:

1. Water main is to be Class 52 cement lined.
2. Water service laterals must be installed in separate trenches.
3. Water meter pits, when required, must be installed a minimum of five feet away from driveways.
4. Dig test pits to verify the location, type and size of existing water main prior to installing new mains.
5. Field lock gaskets are required; two (2) joints on either side of any bends or fittings.
6. At the end of each water service, the contractor or developer shall place a 2 x 4 wooden stake at the end of the service line and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted blue in color. The contractor shall provide to the developer and the authority written as-built information about each service line.



LEGEND

- Property Line
- Existing Contour
- Existing Curb
- Existing Edge Of Pavement
- Existing Gas Line/Valve
- Existing Water Line/Valve
- Existing Storm Sewer Inlet, Pipe Size And Manhole
- Existing Sanitary Sewer Line Cleanout And Manhole
- Existing Sign
- Existing Electric Line And Utility Pole/U.D. #
- Existing Spot Elevation
- PROPOSED 1' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED STORM SEWER LINE AND INLET
- PROPOSED RIP RAP APRON
- PROPOSED SANITARY SEWER MAIN AND MANHOLE
- PROPOSED 6" WATER LINE HYDRANT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION B.C.=BOTTOM OF CURB H.P.=HIGH POINT
- PROPOSED SIDEWALK
- POSSIBLE DWELLING LOCATION
- POSSIBLE GARAGE FLOOR ELEV. POSSIBLE FIRST FLOOR ELEV.
- POSSIBLE DRIVEWAY LOCATION
- PROPOSED STREET TREE (SEE DETAIL)

DESIGN :	T.C.S.
DRAWN :	G.D.G.
CHECKED :	J.K.M.
DATE :	1-2-2020
REV :	

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SEAL

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UTILITY DIAGRAM
 FINAL SUBMISSION PLAN
 FOR PHASE 4
THE VILLAGE AT NORTH RIDGE
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

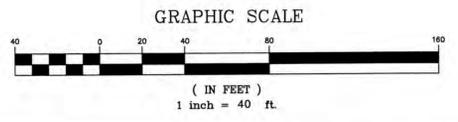
PROJECT NO.
315589

SURVEY BOOK :

SCALE : 1" = 40'

DWG. No. 315589.dwg (315589)
 Date: 01/02/2020 10:00 AM
 FILE : 07-21717.rvt

SHEET **5** of **13**



NORTH MIDDLETON AUTHORITY HAS DETERMINED THAT ANY BUILDING OR STRUCTURE WITH FINISHED FLOORS AT OR GREATER THAN ELEVATION 500 FEET ABOVE MEAN SEA LEVEL WILL EXPERIENCE LOWER WATER PRESSURES, WHICH MAY REQUIRE INDIVIDUAL WATER PRESSURE BOOSTING SYSTEMS BE DESIGNED, INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

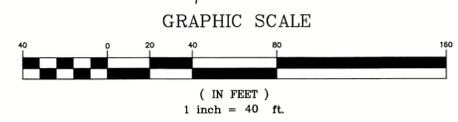
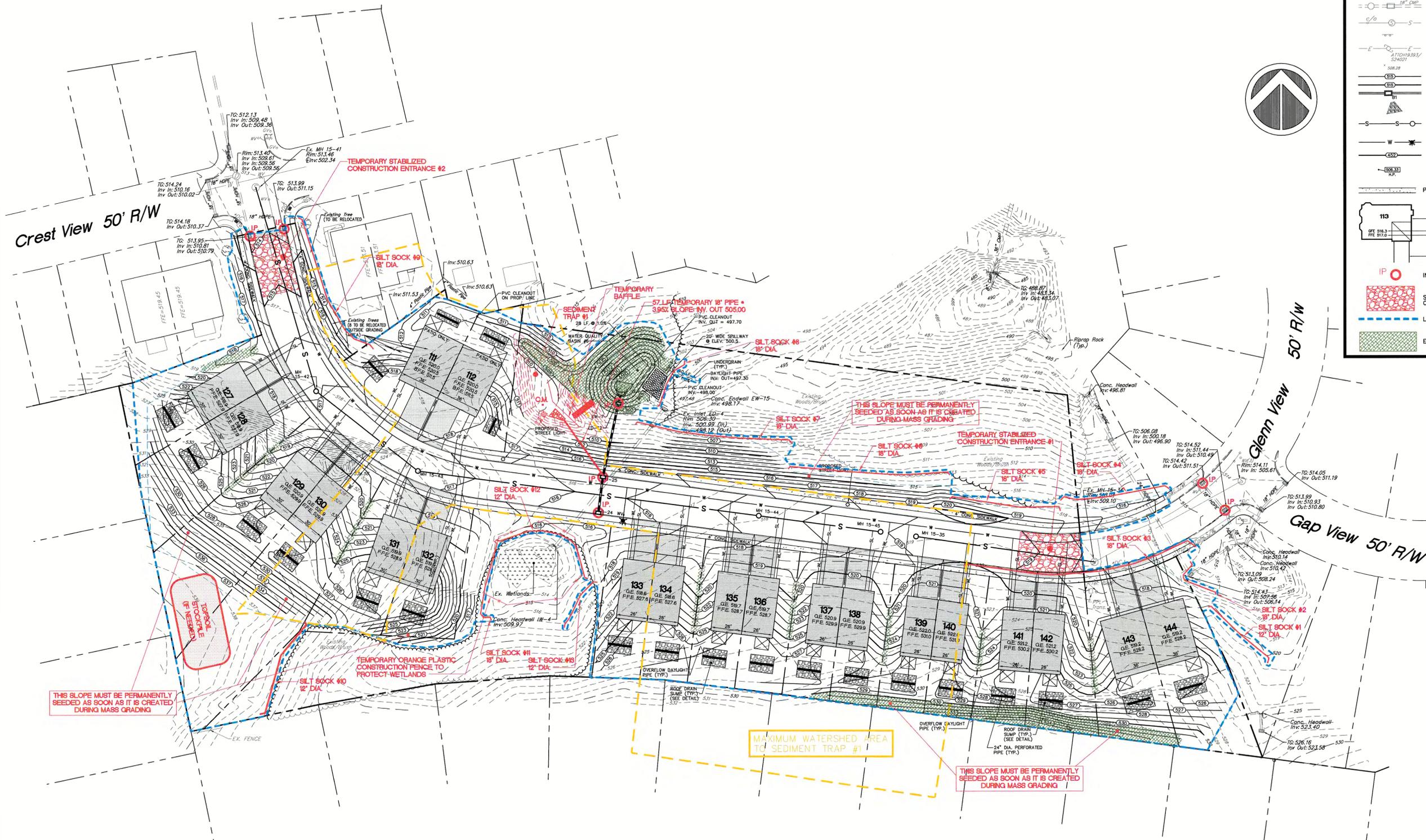
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LEGEND

- Property Line
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- Existing Curb
- Existing Edge of Flow
- Existing Gas Line/Wave
- Existing Water Line/Wave
- Existing Storm Sewer Inlet, Pipe Size And Manhole
- Existing Sanitary Sewer Line Cleanout And Manhole
- Existing Sign
- Existing Electric Line And Utility Pole/A.D. #
- Existing Spot Elevation
- PROPOSED 1' CONTOUR
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- POSSIBLE GARAGE FLOOR ELEV.
- POSSIBLE FIRST FLOOR ELEV.
- POSSIBLE DRIVEWAY LOCATION
- INLET PROTECTION
- STABILIZED ROCK CONSTRUCTION ENTRANCE
- LIMITS OF DISTURBANCE
- EROSION CONTROL MATTING

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EROSION CONTROL PLAN
 FINAL SUBDIVISION PLAN
 FOR PHASE 4

THE VILLAGE AT NORTH RIDGE
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	315589
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DWG. FILE :	Y:\2015\315589.dwg
DATE :	01-02-2020
SHEET	6 of 13