

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>North Middleton</u>	Surveyor/ Engineer:	<u>Alpha Consulting Engineers, Inc.</u>	Owner/ Developer:	<u>Fred Gettys LP</u>
Plat Title:	<u>Mountain View Estates Phase 3</u>				
Plat Status:	<u>Final</u>	Plat Type:	<u>S Subdivision</u>		
# of New Lots:	<u>25</u>	# of New Dwelling Units:	<u>24</u>	New Acreage Subdivided/Developed:	<u>10.4</u>
				Total Tract Acreage:	<u>84.67</u>
Zoning District:	<u>R-1</u>	Proposed Land Use:	<u>Single Family Residential</u>		
Date Received:	<u>1/3/2020</u>	County Review:	<u>1/27/2020</u>	Reviewed by:	<u>EG</u>
				Checked by:	<u>SH</u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The landscaping plan should reference the Street Tree Planting Detail on Sheet 12 of 18. The minimum caliper width of 1" should refer to a height above ground level.
2. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

FINAL SUBDIVISION PLAN FOR MOUNTAIN VIEW ESTATES - PHASE 3

NORTH MIDDLETON TOWNSHIP CUMBERLAND COUNTY, PENNSYLVANIA

GENERAL NOTES:

- The purpose of this plan is to record the Final Plan for phase 3.
- Blue Mountain Boulevard and South Mountain Drive within this phase shall be offered for dedication to North Middleton Township for public use. Proposed sanitary sewer mains shall be offered for dedication to the North Middleton Township Authority. No other lands or facilities are proposed for dedication to public use.
- All permanent drainage facilities located outside of the dedicated and accepted street rights-of-way shall be owned and maintained by a homeowners association. See also the Operation & Maintenance Program herein. All proposed drainage facilities within dedicated and accepted street rights-of-way shall be owned and maintained by North Middleton Township.
- Street name and traffic control signs shall be installed by the developer, and shall meet the specifications and installation standards established by the Township.
- Concrete monuments will be set where shown. All other unmarked lot corners shall be marked with iron pins. Monuments and markers shall be set after recording of this plan, after public improvements have been installed, and after final grading is complete.
- Each building lot shall have a minimum of two off-street parking spaces of a size 9 feet wide by 19 feet long, either in a driveway, carport or garage.
- Within clear sight triangles shown at street intersections, no obstructions to vision (wall, fence, hedge, tree, or other growth) exceeding 18" shall be permitted in a clear sight triangle of 100 feet measured along the center line from the point of intersection.
- Nothing shall be placed, planted, set or put within the area of an easement that would adversely affect the function of the easement or conflict with the easement agreement.
- The developer shall pay to North Middleton Township a fee-in-lieu of public recreation of \$1,000.00 per lot for 24 lots, payable at the time of recording of the Final Plan.
- Water system construction shall comply with the rules and regulations of the North Middleton Township Authority.
- AGRICULTURAL NUISANCE DISCLAIMER:** The lands depicted on this plan may be located adjacent to or involved in a normal agricultural operation as defined by Pennsylvania Act 133 of 1982, as amended, the "Right to Farm Law". If you purchase land that is depicted on this plan and said lands are located or involved as described above, you may be prohibited from filing a nuisance action against the operators of a normal agricultural operation. In addition you may be subjected to inconvenience, discomfort and the possibility of injury to property and health arising from normal and accepted agricultural practices and operations, including but not limited to noise, dust, odor, and the operation of machinery of any kind, including aircraft, the storage and disposal of manure, and the application of fertilizers, soil amendments, herbicides and pesticides.
- All sanitary sewer construction shall be in conformance with the standard specifications for construction of sanitary sewer and appurtenances for North Middleton Township Authority, latest edition.
- The property owner cannot change the grading and drainage pattern of the property, as depicted on the approved grading plan, without approval by North Middleton Township.
- An Erosion and Sedimentation Control Plan was previously approved by the Cumberland County Conservation District. NPDES permit #PAC 210077 is in effect for this site.
- All existing utility locations shown should be considered approximate, and shall be verified by the contractor.
- North Middleton Township personnel have the right to deposit snow from the adjacent streets on the residual lot.
- There are no wetlands in this phase.
- During construction, no construction vehicles may enter or exit the site through the existing Villages at North Ridge development. Construction vehicles may only enter the site from North Middleton or Comman Roads.
- There is no designated floodplain in phase 3.
- There is established by note a 10-foot wide drainage easement along all property lines to facilitate the resolution of drainage issues that may occur in the future; see a diagram on sheet #12.
- North Middleton Authority has determined that any building or structure within Mountain View Estates with finished floors at or greater than elevation 500 feet above mean sea level will experience lower water pressures, which may require individual water pressure boosting systems be designed, installed and maintained by the property owner.
- A lot owner will purchase, own and maintain any grinder pump necessary, (such as basement service) in accordance with Authority rules and regulations. Property owner shall also be responsible for operation and maintenance of the valve pit and the pressure lateral that serves the property. No grinder pumps are specifically proposed with this plan.
- Lots that include community or individual utilities, drainage structures, common swales, improvements or easements shall restrict all excavation, plantings, pools, fences, sheds or other improvements or obstructions over or near these facilities.
- Sewage facilities planning for the entire Mountain View Estates project was approved by PA DEP on March 5, 2010, DEP Code No. A3-21920-216-3.
- Driveway openings will be poured with the street curb. No cutting of the curb is permitted should the driveway location be moved.
- Proposed covenant for all building lots: all new houses built must provide a system to prevent leaves and debris from entering the roof gutter or a system to remove leaves and debris before the roof runoff enters the roof sump. (applies if a roof sump is installed)
- All single family dwellings shall have a minimum habitable floor area of 700 square feet per dwelling unit.
- The Final Subdivision Plan for Phase 3 of Mountain View Estates will be reviewed and approved using the Zoning Ordinance in effect at the time of submission of the Preliminary Plan for Mountain View Estates on June 10, 2007.
- All lots within Phase 3 are subject to the Phase 3 Homeowners Association Declaration, and the restrictions contained therein.
- Every building lot is required to install at the time of house construction, an underground roof drain sump to receive roof drains from the house on that lot, per the details on sheet #13 herein. Per the details on sheet #13, each house must provide and maintain downspout and gutter protection to prevent debris from entering the sump. The sump must be sized for the house roof area per the formula provided with the detail.
- Street and traffic control signs will follow PennDot specifications and match other signs along township streets.
- A licensed professional or their designee shall be present on the site for installation of the following BMPs:
--Slope pipe run OB 8-1 to CO 8-3 where there is an underground infiltration trench.
--Pond 7 outlet pipe and berm.

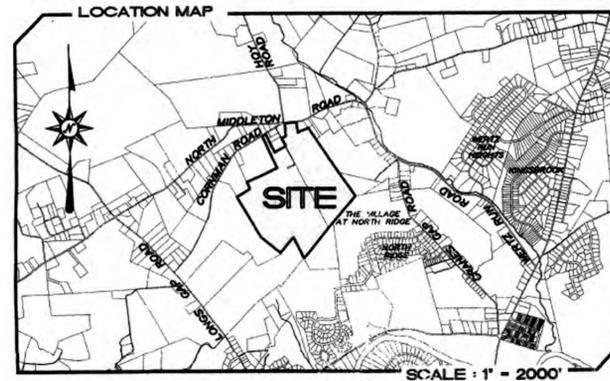
SITE DATA:

- Record Owner & Applicant:
Fred A Gettys LP
1540 McCormick Drive
Mechanicsburg, PA 17055
Phone: (717) 557-7222
Deed reference: Instrument Number 201240196 & Deed Book 274, Page 2080
- This site is identified by the Cumberland County Tax Assessment Office as parcels #29--05--0427--075.
- Total phase 3 subdivision legal area: 84.67 acres.
- This site is zoned Low / Medium Density Residential (R-1).
- Proposed number of lots in phase 3: 24
- Total number of new dwelling units: 24
- Proposed use: 24 single family detached dwellings on lots #25 to 31, 61 to 69 and 85 to 92 (one unit per lot).
- Minimum lot size proposed: 15,000.00 square feet (lot #61)
- Proposed water supply: public (North Middleton Township Authority)
- Proposed sewage disposal: public (North Middleton Township Authority)

ZONING REQUIREMENTS:

R-1, LOW/MEDIUM DENSITY RESIDENTIAL
(BOTH PUBLIC SEWER AND WATER)

MINIMUM LOT AREA: 15,000 S.F.
MINIMUM LOT WIDTH:
AT BLDG SETBACK: 80'
FRONTAGE: 70'
MAXIMUM LOT COVERAGE: 35%
MINIMUM YARD SETBACKS:
FRONT: 35'
SIDE: 10' (20' BOTH)
REAR: 35'
MAXIMUM PERMITTED BUILDING HEIGHT: 35'



INDEX OF DRAWINGS :

- COVER SHEET
- EXISTING FEATURES PLAN
- SUBDIVISION PLAN
- RESIDUAL AREA PLAN
- OVERALL PHASING PLAN
- GRADING/UTILITY/LANDSCAPE PLAN
- UTILITY DIAGRAM
- EROSION CONTROL PLAN
- BLUE MOUNTAIN BOULEVARD PROFILE
- SOUTH MOUNTAIN DRIVE PROFILE
- MISCELLANEOUS PROFILES
- STORMWATER DETAILS
- SANITARY SEWER DETAILS
- WATER SERVICE DETAILS
- MISCELLANEOUS NOTES
- EROSION CONTROL DETAILS AND NOTES

GENERAL NOTES:

- FOR STORM WATER, SANITARY SEWERS & WATER DISTRIBUTION:**
- OBSTRUCTIONS OF EASEMENTS AND RIGHT-OF-WAYS ARE PROHIBITED:
The erection, construction, placement, locating or planting of any improvement, fixture, fence, landscaping, vegetation, trees, shrubbery or other object, whether permanent or temporary, along or within any public water or public sewer easement, or North Middleton Township or North Middleton Authority right-of-way is prohibited.
 - All easements shall be graded so that vehicles may easily traverse the easement for maintenance.
 - No utility transformers or junction boxes are to be placed with-in North Middleton Authority easements or right-of-way's, even if the right-of-way or easement is located with-in the street right-of-way.
 - All construction in fill areas shall be conducted in strict accordance with guidelines as established by the North Middleton Authority, engineers and consultants. All fill greater than three feet below proposed final grade shall be compacted at least 97% of its maximum dry density as determined by ASTM D698 Test methods. All fill less than three feet from the proposed final grade shall be compacted to at least 100% of its maximum dry density. All tests shall be conducted by an engineering consultant approved by North Middleton Authority with experience in Geotechnical Services.
 - The contractor shall install air release valves as directed by the North Middleton Authority in the field. All materials and installation shall be in accordance with Authority specifications. This pertains to both water distribution and sewer force main or low-pressure systems.

Gravity Sewer Mains and Laterals:

- All sanitary sewer pipe lengths and slope are measured centerline manhole to centerline manhole.
- All Sanitary sewer mains are to be SDR 35 PVC unless otherwise noted.
- All manhole rims elevation located in ungraded areas must be installed a minimum of one foot above finished grade.
- Where required, ductile iron sanitary sewer is to be lined class 50 ductile iron pipe.
- At the end of each lateral pipe, the contractor or developer shall place a 2 x 4 wooden stake at the invert of the lateral and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted green in color. The contractor shall provide to the developer and the authority written as-built information about each lateral, as follows:
--Station of the lateral to the downstream manhole.
--Depth of the lateral at its end.
--Length of the lateral from centerline of main.

STORM SEWER NOTES:

- There shall be an 18" vertical separation distance between storm sewer and all other utilities. Concrete encasement 18 inches beyond the storm sewer is required on the water and sanitary sewer lines when this separation cannot be maintained.
- All storm sewer inlets are Penn Dot RC-46M with vertical 10" Type 'C' hood (grade is in a 2" sump in street pavement) unless otherwise noted.
- SLPP: Smooth interior corrugated plastic pipe.
- Storm inlets and manhole over 5 feet in depth shall have PennDOT RC-39M Manhole steps.
- All curved storm pipe shall be marked with buried location tape detectable to a nonferrous locator.
- All inlets shall have bicycle safe grates.

WATER MAINS AND SERVICE LATERALS NOTES:

- Water main is to be Class 52 cement lined.
- Water service laterals must be installed in separate trenches.
- Water meter pits, when required, must be installed a minimum of five feet away from driveways.
- Dig test pits to verify the location, type and size of existing water main prior to installing new mains.
- Field log gaskets are required: Two (2) joints on either side of any bends or fittings.
- At the end of each water service, the contractor or developer shall place a 2 x 4 wooden stake at the end of the service line and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted blue in color. The contractor shall provide to the developer and the authority written as-built information about each service line.

WAIVER SECTION	DESCRIPTION	DATE OF WAIVER REQUEST	DATE OF WAIVER APPROVAL
180-13.C	PERTAINING TO THE NUMBER OF LOTS IN A PHASE	1/2/2020	
180-34.0(4)	PERTAINING TO STREET INTERSECTION HORIZONTAL AND VERTICAL ALIGNMENT	1/2/2020	

DESIGN CONTACT INFORMATION

PA ONE CALL SERIAL # 20163062520

CARLISLE AREA SCHOOL DISTRICT
623 W PENN STREET
CARLISLE, PA 17013
CONTACT: JEFF FRIEND
EMAIL: friendj@carliseschools.org

BUCKEYE PARTNERS
FIVE TEK PARK
9999 HAMILTON BLVD
BREININGVILLE, PA 18031
CONTACT: DAVE JONES
EMAIL: dojones@buckeye.com

NORTH MIDDLETON TOWNSHIP
2051 SPRING RD
CARLISLE, PA 17013
CONTACT: ZACHARY ZOOK
EMAIL: zzook@northmiddleton.com

PPL ELECTRIC UTILITIES
1 LARCH STREET
SCRANTON, PA 18509
CONTACT: MICHELLE GERRY--DRUTHER
EMAIL: mgerry--drutherpplweb.com

COMCAST CABLE COMMUNICATIONS INC
C/O USIC LOCATING SERVICES INC
15085 HAMILTON CROSSING BLVD STE 200
CARMEL, IN 46032
CONTACT: USIC OFFICE PERSONNEL

NORTH MIDDLETON AUTHORITY
240 CLEARWATER DRIVE
CARLISLE, PA 17013
CONTACT: E LEE KOCH
EMAIL: esales@pa.net

CENTURYLINK
122 BALTIMORE STREET
PO BOX 896
HANOVER, PA 17331
CONTACT: LEO HILBERT
EMAIL: leo.hilbert@centurylink.com

UGI UTILITIES INC.
1301 A I P DR
MIDDLETOWN, PA 17057
CONTACT: JOANNE ARCHFIELD
EMAIL: jrarchfield@ugi.com



PA ONE--CALL SERIAL NUMBER:
20163062520

OWNER CERTIFICATION AND DEDICATORY STATEMENT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____
ON THIS THE ____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED

OWNER (S) _____

OWNER (S) _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC MY COMMISSION EXPIRES _____

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAT AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

OWNER (S) _____

OWNER (S) _____

CERTIFICATION OF WETLANDS

THE SITE HAS BEEN INVESTIGATED FOR WETLAND AREAS IN THE VICINITY OF PHASE 3, AND TO THE BEST OF MY KNOWLEDGE ALL WETLAND AREAS ARE SHOWN ON THIS PLAN.

CERTIFICATION OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREIN AND ALL ASSOCIATED CALCULATIONS ARE ACCURATE AND CORRECT AS INDICATED.

_____, 20____ JOHN K. MURPHY, P.E., P.L.S.

CERTIFICATION OF SURVEY ACCURACY

I HEREBY CERTIFY THAT I HAVE BEEN TO THE SITE AND OBSERVED ITS PRESENT CONDITION, AND THAT THE PLAN INDICATES THE ACTUAL CONDITION OF THE SITE, AND TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREIN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE NORTH MIDDLETON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND THE ERROR OF CLOSURE IS NOT MORE THAN ONE PART IN 5,000.

_____, 20____ JOHN K. MURPHY, P.E., P.L.S.



DATE :
JANUARY 2, 2020

REVISED :

REVIEW/APPROVALS

THIS PLAN REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT
THIS ____ DAY OF _____, 20 ____.

DIRECTOR _____

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND COUNTY
THIS ____ DAY OF _____, 20 ____
PLAN INSTRUMENT NO. _____

THIS PLAN RECOMMENDED FOR APPROVAL BY THE NORTH MIDDLETON TOWNSHIP PLANNING COMMISSION THIS ____ DAY OF _____, 20 ____.

CHAIRMAN _____

SECRETARY _____

APPROVED BY NORTH MIDDLETON TOWNSHIP BOARD OF SUPERVISORS AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS ____ DAY OF _____, 20 ____.

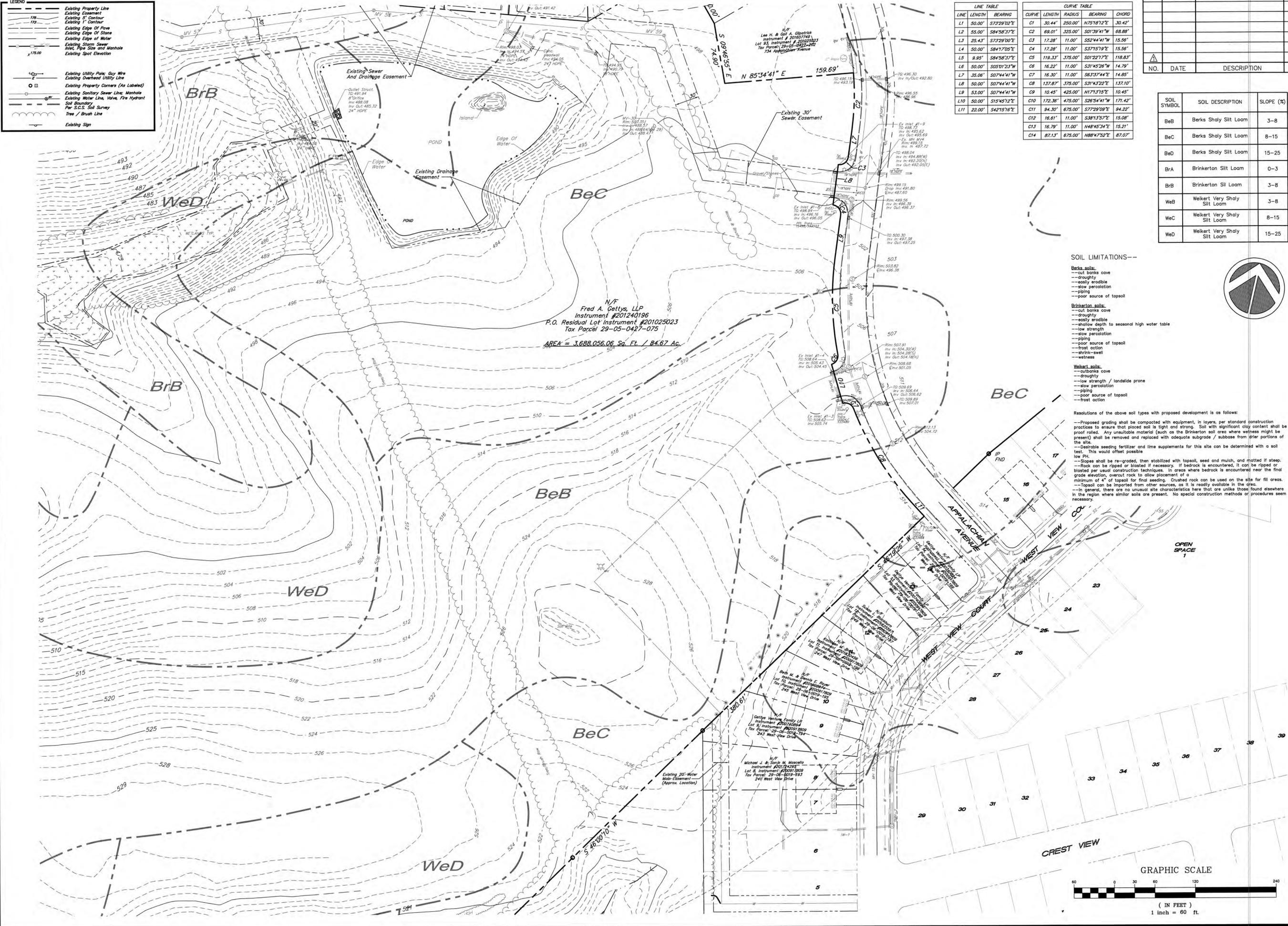
CHAIRMAN _____

SECRETARY _____

ALPHA
ALPHA CONSULTING ENGINEERS, INC.
PLANNING • ENGINEERING • SURVEYING
115 LIMEKILN RD., P.O. BOX 'G'
NEW CUMBERLAND, PA 17070
PHONE: (717) 770-2500
FAX: (717) 770-2400
WWW.ALPHACEI.COM

LEGEND

	Existing Property Line
	Existing Easement
	Existing 5' Contour
	Existing 1' Contour
	Existing Edge of Pave
	Existing Edge of Stone
	Existing Edge of Water
	Existing Storm Sewer Inlet, Pipe Size and Manhole
	Existing Spot Elevation
	Existing Utility Pole, Guy Wire
	Existing Overhead Utility Line
	Existing Property Corners (As Labeled)
	Existing Sanitary Sewer Line, Manhole
	Existing Water Line, Valve, Fire Hydrant
	Soil Boundary
	Pave S.C.S. Soil Survey
	Tree / Brush Line
	Existing Sign



LINE TABLE

LINE	LENGTH	BEARING
L1	50.00'	S73°29'02"E
L2	55.00'	S84°38'37"E
L3	25.43'	S73°29'00"E
L4	50.00'	S84°38'37"E
L5	8.85'	S84°38'37"E
L6	50.00'	S05°01'33"W
L7	35.06'	S07°44'41"W
L8	50.00'	S07°44'41"W
L9	53.00'	S07°44'41"W
L10	50.00'	S15°45'12"E
L11	22.00'	S42°15'16"E

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	30.44'	250.00'	N75°18'12"E	30.42'
C2	68.01'	325.00'	S01°39'41"W	68.88'
C3	17.28'	11.00'	S52°44'41"W	15.56'
C4	17.28'	11.00'	S37°15'19"E	15.56'
C5	118.33'	375.00'	S01°22'17"E	118.83'
C6	16.22'	11.00'	S31°45'26"W	14.79'
C7	16.30'	11.00'	S63°37'44"E	14.85'
C8	137.87'	375.00'	S31°43'22"E	137.10'
C9	10.45'	425.00'	N17°31'15"E	10.45'
C10	172.36'	475.00'	S26°54'41"W	171.42'
C11	94.30'	675.00'	S77°29'09"E	94.22'
C12	16.61'	11.00'	S39°13'57"E	15.08'
C13	16.79'	11.00'	N48°45'34"E	15.21'
C14	87.13'	675.00'	N88°47'52"E	87.07'

NO.	DATE	DESCRIPTION	BY

SOIL LIMITATIONS

SOIL SYMBOL	SOIL DESCRIPTION	SLOPE (%)
BeB	Berks Shaly Silt Loam	3-8
BeC	Berks Shaly Silt Loam	8-15
BeD	Berks Shaly Silt Loam	15-25
BrA	Brinkerton Silt Loam	0-3
BrB	Brinkerton Silt Loam	3-8
WeB	Welkert Very Shaly Silt Loam	3-8
WeC	Welkert Very Shaly Silt Loam	8-15
WeD	Welkert Very Shaly Silt Loam	15-25

SOIL LIMITATIONS

Berks soils:

- cut banks cave
- droughty
- easily erodible
- slow percolation
- poor source of topsoil

Brinkerton soils:

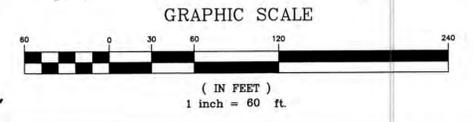
- cut banks cave
- droughty
- easily erodible
- shallow depth to seasonal high water table
- low strength
- slow percolation
- poor source of topsoil
- shrink-swell
- wetness

Welkert soils:

- cut banks cave
- droughty
- low strength / landslide prone
- slow percolation
- poor source of topsoil
- shrink-swell
- wetness

Resolutions of the above soil types with proposed development is as follows:

- Proposed grading shall be compacted with equipment, in layers, per standard construction practices to ensure that placed soil is light and strong. Soil with significant clay content shall be proof rolled. Any unsuitable material (such as the Brinkerton soil area where wetness might be present) shall be removed and replaced with adequate subgrade / subbase from drier portions of the site.
- Effective seeding fertilizer and lime supplements for this site can be determined with a soil test. This would offset possible low pH.
- Slopes shall be re-graded, then stabilized with topsoil, seed and mulch, and matted if steep.
- Rock can be ripped or blasted if necessary. If bedrock is encountered, it can be ripped or blasted per usual construction techniques. In areas where bedrock is encountered near the final grade elevation, overcut rock to allow placement of a minimum of 4" of topsoil for final seeding. Crushed rock can be used on the site for fill areas.
- Topsoil can be imported from other sources, as it is readily available in the area.
- In general, there are no unusual site characteristics here that are unlike those found elsewhere in the region where similar soils are present. No special construction methods or procedures seem necessary.



DESIGN : J.K.M.
 DRAWN : G.D.G.
 CHECKED : J.K.M.
 DATE : 1 / 02 / 2019
 REV :

PLANNING ENGINEERING SURVEYING
 115 LIMEKILN RD. P.O. BOX 'G'
 NEW CUMBERLAND, PA 17070
 PHONE: 717.770.2500
 FAX: 717.770.2500
 WWW.ALPHAENGINE.COM



SEAL

PHASE 3 AREA EXISTING FEATURES PLAN
 FINAL SUBMISSION PLAN
 FOR PHASE 3
MOUNTAIN VIEW ESTATES
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
 316030
 SURVEY BOOK :
 SCALE : 1" = 60'
 DWG : 316030.dwg
 FILE : P3-EXISTING.rvt
 SHEET **2** of **18**

DESIGN : J.K.M.
 DRAWN : G.D.G.
 CHECKED : J.K.M.
 DATE : 1 /02/2020
 REV :

LINE TABLE			CURVE TABLE				
LINE	LENGTH	BEARING	CURVE	LENGTH	RADIUS	BEARING	CHORD
L1	50.00'	S73°29'02"E	C1	30.44'	250.00'	N75°18'12"E	30.42'
L2	53.00'	S84°58'37"E	C2	68.01'	325.00'	S01°59'41"W	68.88'
L3	25.43'	S73°29'00"E	C3	17.28'	11.00'	S52°44'41"W	15.58'
L4	50.00'	S84°58'37"E	C4	17.28'	11.00'	S37°15'19"E	15.58'
L5	8.95'	S84°58'37"E	C5	118.33'	375.00'	S01°22'17"E	118.83'
L6	50.00'	S05°01'23"W	C6	16.22'	11.00'	S31°45'26"W	14.79'
L7	35.06'	S07°44'41"W	C7	16.30'	11.00'	S63°37'44"E	14.85'
L8	50.00'	S07°44'41"W	C8	137.87'	375.00'	S31°43'22"E	137.10'
L9	53.00'	S07°44'41"W	C9	10.45'	425.00'	N17°37'15"E	10.45'
L10	50.00'	S15°45'12"E	C10	172.36'	475.00'	S26°54'41"W	171.42'
L11	22.00'	S42°15'16"E	C11	94.30'	675.00'	S77°29'09"E	94.22'
			C12	16.81'	11.00'	S38°37'57"E	15.08'
			C13	16.79'	11.00'	N48°45'34"E	15.21'
			C14	87.13'	675.00'	N88°47'52"E	87.07'

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C25	84.32'	175.00'	S60°07'40"W	83.51'
C31	12.52'	755.00'	N46°47'56"E	12.52'
C62	27.00'	325.00'	N62°46'38"E	26.99'
C63	111.48'	325.00'	N50°34'15"E	110.93'
C64	75.79'	375.00'	S4°41'49"E	75.67'
C64A	88.66'	225.00'	S62°42'46"W	88.09'
C65	20.03'	225.00'	S48°52'26"W	20.02'
C86	7.47'	375.00'	N64°35'11"E	7.47'
C87	90.00'	375.00'	N57°08'25"E	89.78'
C88	62.31'	375.00'	N45°30'16"E	62.24'
C89	66.79'	275.00'	S47°42'09"W	66.63'
C90	150.00'	275.00'	S70°17'12"W	148.15'
C91	56.79'	275.00'	N88°10'17"W	56.69'
C91A	43.53'	375.00'	S4°25'08"W	43.51'
C92	42.51'	325.00'	N86°00'10"W	42.48'
OS-4B	280.81'	325.00'	S65°29'50"W	272.16'

EVERY BUILDING LOT IS REQUIRED TO INSTALL AT THE TIME OF HOUSE CONSTRUCTION, AN UNDERGROUND ROOF DRAIN SUMP TO RECEIVE ROOF DRAINS FROM THE HOUSE ON THAT LOT, PER THE DETAILS ON SHEET #12 HEREIN. PER THE DETAILS ON SHEET #12, EACH HOUSE MUST PROVIDE AND MAINTAIN DOWNSPOUT AND GUTTER PROTECTION TO PREVENT DEBRIS FROM ENTERING THE SUMP. THE SUMP MUST BE SIZED FOR THE HOUSE ROOF AREA PER THE FORMULA PROVIDED WITH THE DETAIL.

NORTH MIDDLETON AUTHORITY HAS DETERMINED THAT ANY BUILDING OR STRUCTURE WITHIN MOUNTAIN VIEW ESTATES WITH FINISHED FLOORS AT OR GREATER THAN ELEVATION 500 FEET ABOVE MEAN SEA LEVEL WILL EXPERIENCE LOWER WATER PRESSURES, WHICH MAY REQUIRE INDIVIDUAL WATER PRESSURE BOOSTING SYSTEMS BE DESIGNED, INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

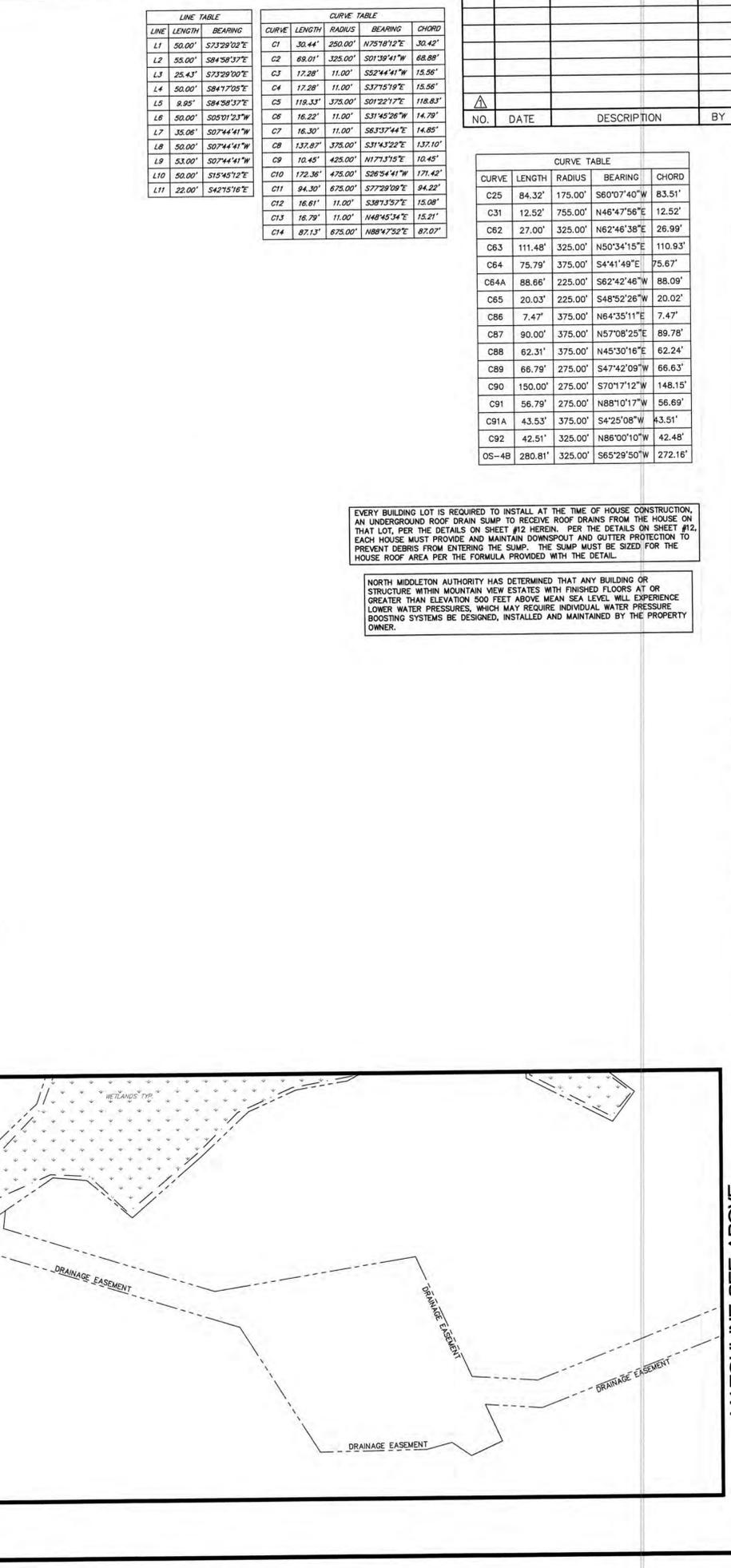
PLANNING & ENGINEERING & SURVEYING
 115 LIMEKILN RD., P.O. BOX G
 NEW CUMBERLAND, PA 17070
 PHONE: 717.770.2600
 WWW.ALPHAELCOM
ALPHA
 ALPHA CONSULTING ENGINEERS, INC.

SEAL

SEAL

SUBDIVISION PLAN
 FINAL SUBDIVISION PLAN
 FOR PHASE 3
MOUNTAIN VIEW ESTATES
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
 316030
 SURVEY BOOK :
 SCALE : 1" = 50'
 DWG : 316030.dwg
 FILE : Dwg\Phase 2 Revised
 SHEET **3** of **18**

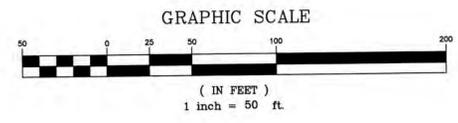


LEGEND
 - - - Existing Property Line
 - - - Existing Easement
 - - - Existing Edge Of Pavement
 - - - Existing Sign

MATCHLINE SEE BELOW

MATCHLINE SEE ABOVE

SEE SHEET #4 FOR RESIDUAL LAND PLAN

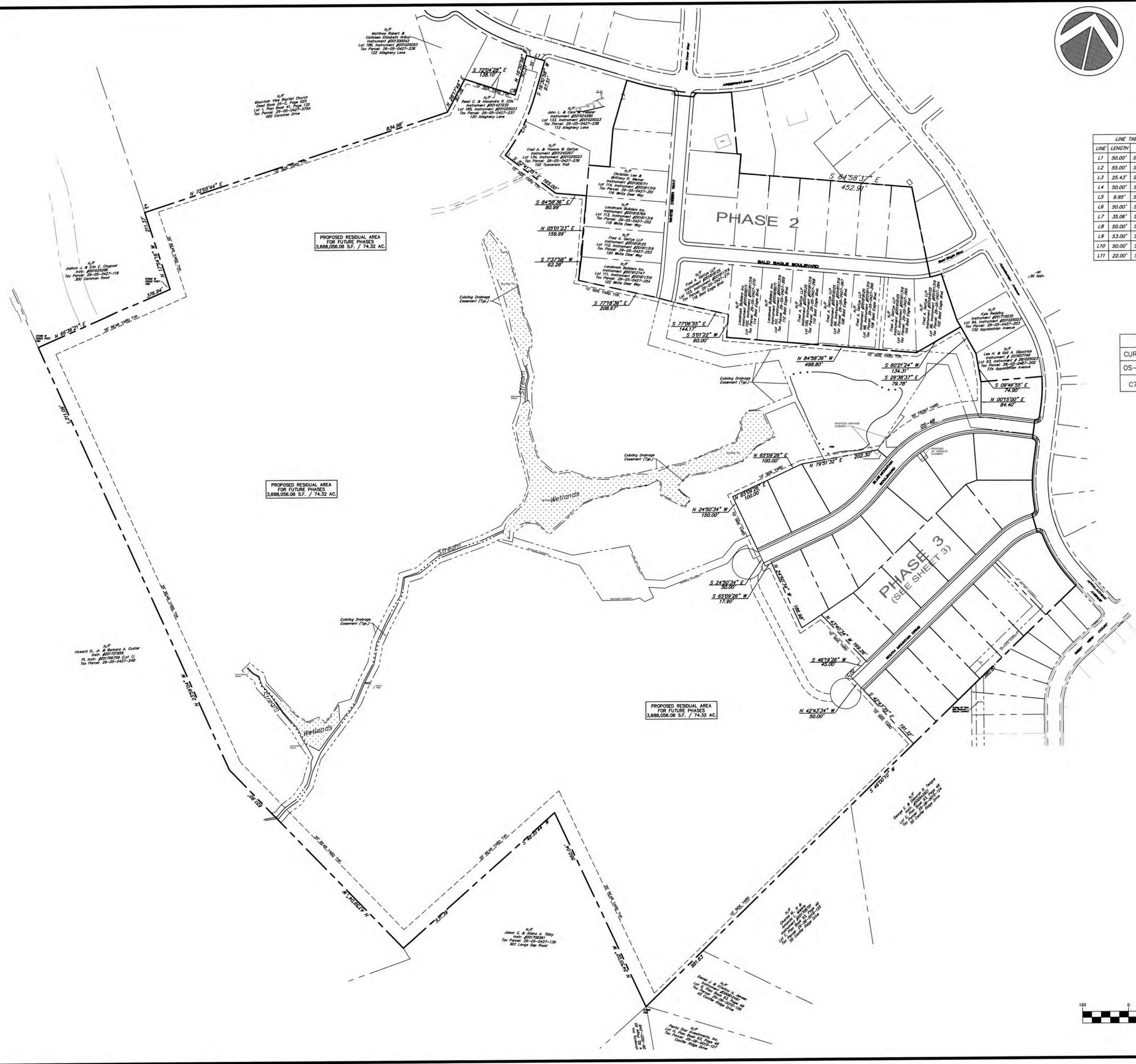


LEGEND
 - - - Existing Property Line
 - - - Existing Easement
 - - - Existing Edge Of Pavement



NO.	DATE	DESCRIPTION	BY

DESIGN : J.K.M.
 DRAWN : G.D.G.
 CHECKED : J.K.M.
 DATE : 1 /02/2020
 REV :



PROPOSED RESIDUAL AREA FOR FUTURE PHASES
 3,888,056.06 S.F. / 74.32 AC.

PROPOSED RESIDUAL AREA FOR FUTURE PHASES
 3,888,056.06 S.F. / 74.32 AC.

PROPOSED RESIDUAL AREA FOR FUTURE PHASES
 3,888,056.06 S.F. / 74.32 AC.

LINE TABLE			CURVE TABLE				
LINE	LENGTH	BEARING	CURVE	LENGTH	RADIUS	BEARING	CHORD
L1	30.00'	S73°29'02"E	C1	30.44'	250.00'	N75°16'12"E	30.42'
L2	55.00'	S84°58'37"E	C2	69.01'	325.00'	S01°39'41"W	68.88'
L3	25.43'	S73°29'00"E	C3	17.28'	11.00'	S52°44'41"W	15.56'
L4	50.00'	S84°17'03"E	C4	17.28'	11.00'	S37°15'19"E	15.56'
L5	8.85'	S84°58'37"E	C5	119.33'	375.00'	S01°22'17"E	118.83'
L6	50.00'	S05°01'23"W	C6	16.22'	11.00'	S31°45'06"W	14.79'
L7	35.06'	S07°44'41"W	C7	16.30'	11.00'	S63°37'44"E	14.85'
L8	50.00'	S07°44'41"W	C8	137.87'	375.00'	S31°45'22"E	137.10'
L9	50.00'	S07°44'41"W	C9	10.45'	425.00'	N177°31'5"E	10.45'
L10	30.00'	S15°45'12"E	C10	173.36'	475.00'	S26°34'41"W	171.42'
L11	22.00'	S42°15'16"E	C11	94.30'	675.00'	S77°29'09"E	94.22'
			C12	16.61'	11.00'	S38°13'07"E	15.08'
			C13	16.79'	11.00'	N48°45'34"E	15.21'
			C14	87.13'	675.00'	N88°47'52"E	87.07'

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
OS-4B	280.81'	325.00'	S65°29'50"W	272.16'
C70	11.69'	705.00'	N46°47'56"E	11.69'

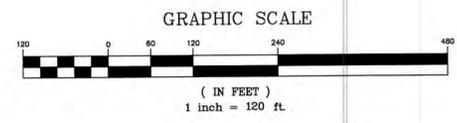
PLANNING & ENGINEERING & SURVEYING
 1000 W. FOXGLOVE RD. SUITE 100
 MOUNTAIN VIEW, PA 19063
 PHONE: 610-377-1700
 FAX: 610-377-2400
 WWW.ALPHACON.COM

ALPHA CONSULTING ENGINEERS, INC.

SEAL

RESIDUAL AREA PLAN
 FINAL SUBMISSION PLAN
 FOR PHASE 3
MOUNTAIN VIEW ESTATES
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO. 316030
 SURVEY BOOK :
 SCALE : 1" = 120'
 DWG : 161316030.dwg
 FILE : 161316030.dwg
 SHEET 4 of 18



DWELLING UNIT TABULATION

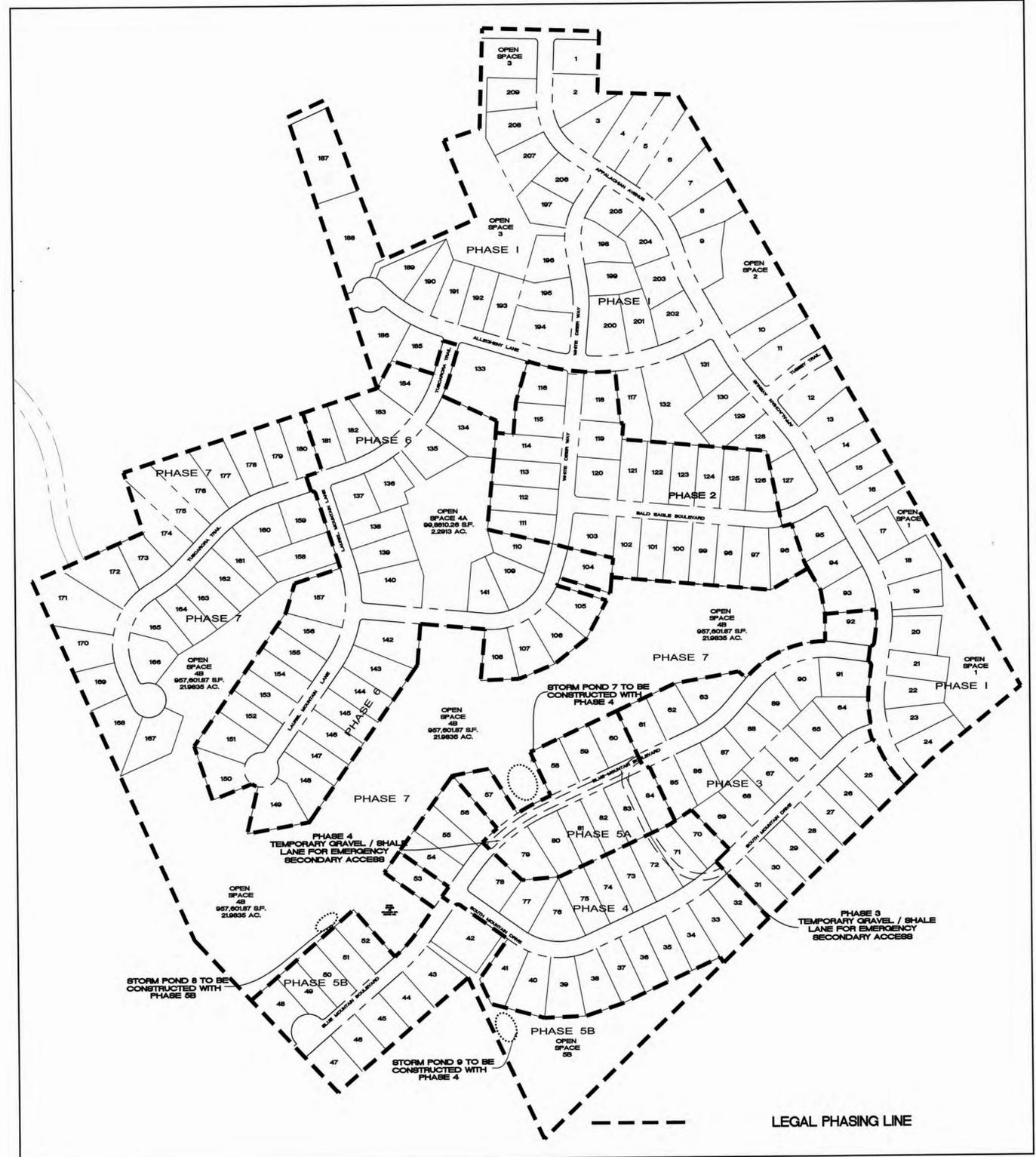
PHASE 1	60
PHASE 2	23
PHASE 3	24
PHASE 4	22
PHASE 5	21
PHASE 6	35
PHASE 7	23
TOTAL	208

PHASING SCHEDULE (START DATE)

		# OF BLDG. LOTS
PHASE 1	COMPLETED	60
PHASE 2	AUTUMN 2017	23
PHASE 3	SPRING 2020	24
PHASE 4	SPRING 2021	22
PHASE 5A	SPRING 2022	10
PHASE 5B	SPRING 2024	11
PHASE 6	SPRING 2026	35
PHASE 7	SPRING 2028	23

DESIGN :	J.K.M.
DRAWN :	G.D.G.
CHECKED :	J.K.M.
DATE :	1 /02/2020
REV :	

NO.	DATE	DESCRIPTION	BY



PHASING PLAN

DESIGN : J.K.M.
 DRAWN : G.D.G.
 CHECKED : J.K.M.
 DATE : 1 /02/2020
 REV :

PLANNING • ENGINEERING • SURVEYING
 115 LIMEKILN RD., P.O. BOX 131
 NEW CUMBERLAND, PA 17070
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 FAX: (717) 770 - 2400
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SEAL

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OVERALL PHASING PLAN
 FINAL SUBDIVISION PLAN
 FOR PHASE 3
MOUNTAIN VIEW ESTATES
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

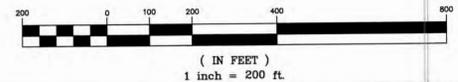
PROJECT NO.
316030

SURVEY BOOK :

SCALE : 1" = 200'

DWG : 116316030.dwg
 FILE : 116316030.dwg

SHEET **5** of **18**



- STORM INLET NOTES--**
- ALL STORM SEWER INLETS ARE PENN DOT RC-46M WITH VERTICAL 10" TYPE 'C' HOOD (GRATE IS IN A 2" SUMP IN STREET PAVEMENT) UNLESS OTHERWISE NOTED.
 - SLPP= SMOOTH INTERIOR CORRUGATED PLASTIC PIPE.
 - STORM INLETS AND MANHOLE OVER 5 FEET IN DEPTH SHALL HAVE PENNDOT RC-39M MANHOLE STEPS.
 - ALL INLETS SHALL HAVE BICYCLE SAFE GRATES.

NORTH MIDDLETON AUTHORITY HAS DETERMINED THAT ANY BUILDING OR STRUCTURE WITHIN MOUNTAIN VIEW ESTATES WITH FINISHED FLOORS AT OR GREATER THAN ELEVATION 500 FEET ABOVE MEAN SEA LEVEL WILL EXPERIENCE LOWER WATER PRESSURES, WHICH MAY REQUIRE INDIVIDUAL WATER PRESSURE BOOSTING SYSTEMS BE DESIGNED, INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

EVERY BUILDING LOT IS REQUIRED TO INSTALL AT THE TIME OF HOUSE CONSTRUCTION, AN UNDERGROUND ROOF DRAIN SUMP TO RECEIVE ROOF DRAINS FROM THE HOUSE ON THAT LOT, PER THE DETAILS ON SHEET #12 HEREIN. PER THE DETAILS ON SHEET #12, EACH HOUSE MUST PROVIDE AND MAINTAIN DOWNSPOUT AND GUTTER PROTECTION TO PREVENT DEBRIS FROM ENTERING THE SUMP. THE SUMP MUST BE SIZED FOR THE HOUSE ROOF AREA PER THE FORMULA PROVIDED WITH THE DETAIL.



LEGEND

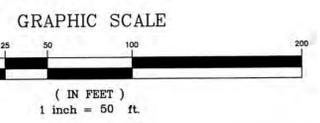
- Property Line
- Existing Contour
- Existing Curb
- Existing Edge Of Pavement
- Existing Gas Line/Vegetation
- Existing Water Line/Vegetation
- Existing Storm Sewer Inlet, Pipe Size And Manhole
- Existing Sanitary Sewer Line, Cleanout And Manhole
- Existing Sign
- Existing Electric Line And Utility Pole #
- Existing Spot Elevation
- PROPOSED STORM SEWER LINE AND INLET
- PROPOSED RIP RAP APRON
- PROPOSED SANITARY SEWER MAIN AND MANHOLE
- PROPOSED WATER LINE: HYDRANT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
B.C.=BOTTOM OF CURB
H.P.=HIGH POINT
- PROPOSED SIDEWALK, ADA HC RAMP
- PHASE 3 LEGAL AREA
- POSSIBLE DWELLING LOCATION
- POSSIBLE GARAGE FLOOR ELEV.
- POSSIBLE FIRST FLOOR ELEV.
- POSSIBLE EXPOSED BASEMENT ELEV.
- POSSIBLE DRIVEWAY LOCATION

DESIGN :	J.K.M.
DRAWN :	G.D.G.
CHECKED :	J.K.M.
DATE :	1/02/2019
REV :	

PLANNING ENGINEERING & SURVEYING
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NEW CUMBERLAND, PA 17070
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FAX: 717) 770 - 2400
WWW.ALPHACON.COM

ALPHA
CONSULTING ENGINEERS, INC.

- GENERAL NOTES:**
- FOR STORM WATER, SANITARY SEWERS & WATER DISTRIBUTION:**
- OBSTRUCTIONS OF EASEMENTS AND RIGHT-OF-WAYS ARE PROHIBITED.
 - The erection, construction, placement, locating or planting of any improvement, fixture, fence, landscaping, vegetation, trees, shrubbery or other object, whether permanent or temporary, along or within any public water or public sewer easement, or North Middleton Township or North Middleton Authority right-of-way is prohibited.
 - All easements shall be graded so that vehicles may easily traverse the easement for maintenance.
 - No utility transformers or junction boxes are to be placed within North Middleton Authority easements or right-of-way's, even if the right-of-way or easement is located within the street right-of-way.
 - All construction in fill areas shall be conducted in strict accordance with guidelines as established by the North Middleton Authority, engineers and consultants. All fill greater than three feet below proposed final grade shall be compacted at least 97% of its maximum dry density as determined by ASTM D698 Test methods. All fill less than three feet from the proposed final grade shall be compacted to at least 100% of its maximum dry density. All tests shall be conducted by an engineering consultant approved by North Middleton Authority with experience in Geotechnical Services.
 - The contractor shall install air release valves as directed by the North Middleton Authority in the field. All materials and installation shall be in accordance with Authority specifications. This pertains to both water distribution and sewer force main or low-pressure systems.
- Gravity Sewer Mains and Laterals:**
- All sanitary sewer pipe lengths and slope are measured centerline manhole to centerline manhole.
 - All sanitary sewer mains are to be 30" PVC unless otherwise noted.
 - All manhole rim elevations located in ungraded areas must be installed a minimum of one foot above finished grade.
 - Where required, ductile iron sanitary sewer is to be lined class 50 ductile iron pipe.
 - At the end of each lateral pipe, the contractor or developer shall place a 2 x 4 wooden stake at the invert of the lateral and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted green in color. The contractor shall provide to the developer and the authority written as-built information about each lateral, as follows:
-Station of the lateral to the downstream manhole.
-Depth of the lateral at its end.
-Length of the lateral from centerline of main.
- STORM SEWER NOTES:**
- There shall be an 18" vertical separation distance between storm sewer and all other utilities. Concrete encasement 18 inches beyond the storm sewer is required on the water and sanitary sewer lines when this separation cannot be maintained.
 - All storm sewer inlets are Penn Dot RC-46M with vertical 10" Type 'C' hood (grate is in a 2" sump in street pavement) unless otherwise noted.
 - SLPPs= Smooth interior corrugated plastic pipe.
 - Storm inlets and manhole over 5 feet in depth shall have Penndot RC-39M Manhole steps.
 - All curved storm pipe shall be marked with buried location tape detectable to a nonferrous locator.
 - All inlets shall have bicycle safe grates.
- WATER MAINS AND SERVICE LATERALS NOTES:**
- Water main is to be Class 52 cement lined.
 - Water service laterals must be installed in separate trenches.
 - Water meter pits, when required, must be installed a minimum of five feet away from driveways.
 - Dig test pits to verify the location, type and size of existing water main prior to installing new mains.
 - Field tie gaskets are required. Two (2) joints on either side of any bends or fittings.
 - At the end of each water service, the contractor or developer shall place a 2 x 4 wooden stake at the end of the service line and extend the stake a minimum of 4 feet above the grade. The portion of the stake above grade shall be painted blue in color. The contractor shall provide to the developer and the authority written as-built information about each service line.



SEAL

SEAL

UTILITY DIAGRAM
FINAL SUBMISSION PLAN
FOR PHASE 3
MOUNTAIN VIEW ESTATES
NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	316030
SURVEY BOOK :	
SCALE :	1" = 50'
DWG. #	18 (316030) (316030)
FILE :	672 (18) (Phase 3 Review)
SHEET	7 of 18

MATCH SHEET 8

NORTH MIDDLETON AUTHORITY HAS DETERMINED THAT ANY BUILDING OR STRUCTURE WITHIN MOUNTAIN VIEW ESTATES WITH FINISHED FLOORS AT OR GREATER THAN ELEVATION 500 FEET ABOVE MEAN SEA LEVEL WILL EXPERIENCE LOWER WATER PRESSURES, WHICH MAY REQUIRE INDIVIDUAL WATER PRESSURE BOOSTING SYSTEMS BE DESIGNED, INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

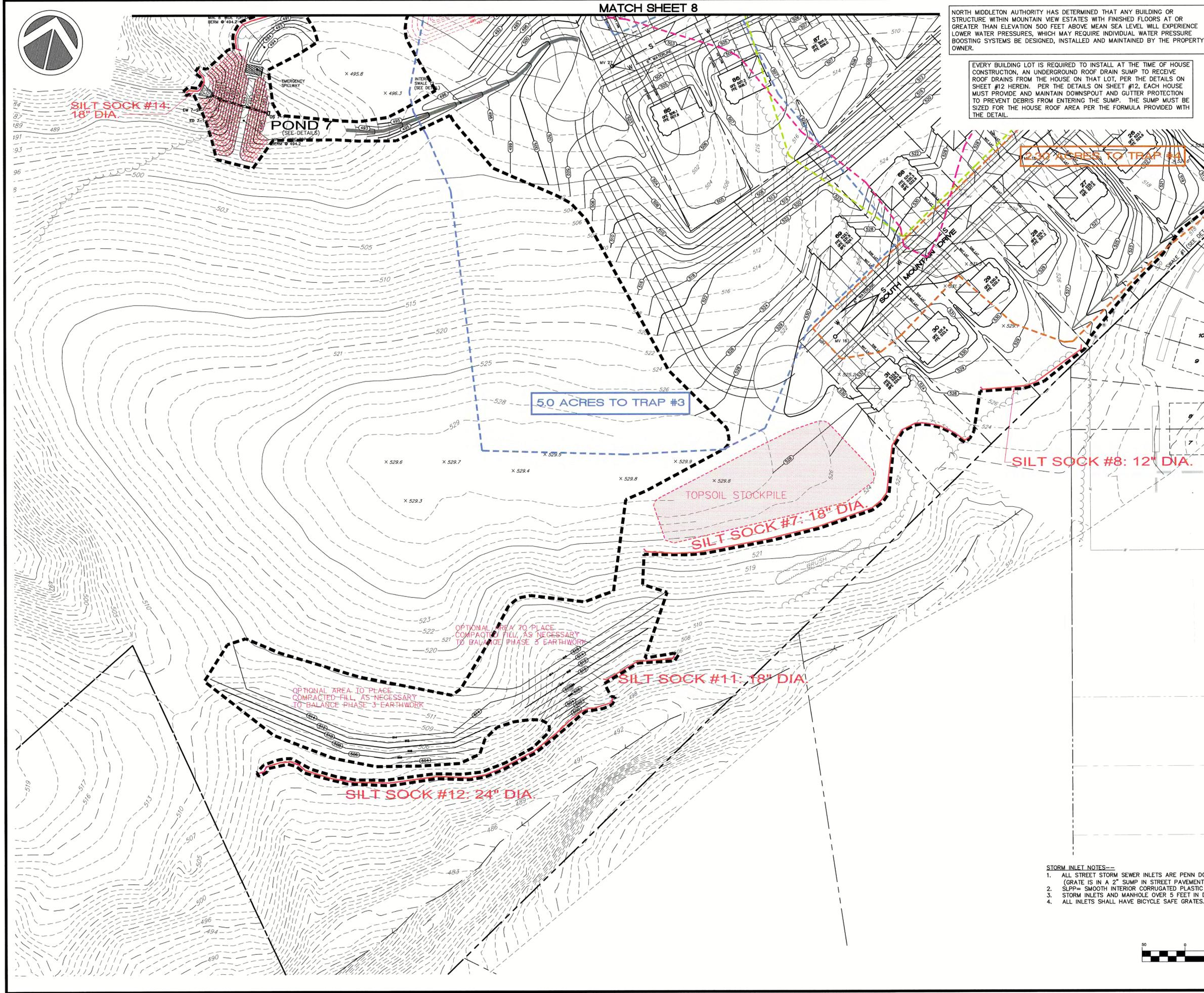
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DESIGN :	J.K.M.
DRAWN :	G.D.G.
CHECKED :	J.K.M.
DATE :	1/02/2020
REV :	

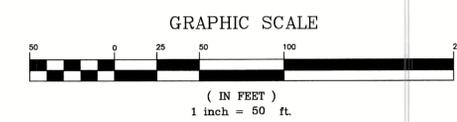
NO.	DATE	DESCRIPTION	BY
LEGEND			
		Property Line	
		Existing Contour	
		Existing Curb	
		Existing Edge Of Pavement	
		Existing Gas Line/Voice	
		Existing Water Line/Voice	
		Existing Storm Sewer Inlet, Pipe Size And Manhole	
		Existing Sanitary Sewer Line Cleanout And Manhole	
		Existing Sign	
		Existing Electric Line And Utility Pole, I.D. #	
		Existing Spot Elevation	
		PROPOSED 1' OR 2' CONTOUR	
		PROPOSED 5' OR 10' CONTOUR	
		PROPOSED STORM SEWER LINE AND INLET	
		PROPOSED RIP RAP APRON	
		PROPOSED SANITARY SEWER MAN AND MANHOLE	
		PROPOSED WATER LINE HYDRANT	
		PROPOSED SIDEWALK, ADA HC RAMP	
		LIMITS OF PHASE 3 DISTURBANCE	
		POSSIBLE DWELLING LOCATION	
		POSSIBLE GARAGE FLOOR ELEV. POSSIBLE FIRST FLOOR ELEV.	
		POSSIBLE DRIVEWAY LOCATION	
		INLET PROTECTION	
		STABILIZED ROCK CONSTRUCTION ENTRANCE	
		NAG S-75 EROSION CONTROL MATTING ON STEEP SLOPE OR AREAS OF CONCENTRATED FLOW	

PLANNING • ENGINEERING • SURVEYING
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 NEW CUMBERLAND, PA 17070
 PHONE: (717) 770 - 2500
 FAX: (717) 770 - 2400
 WWW.ALPHACON.COM

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 ALPHA CONSULTING ENGINEERS, INC.



- STORM INLET NOTES==**
- ALL STREET STORM SEWER INLETS ARE PENN DOT RC-46M WITH VERTICAL 10" TYPE 'C' HOOD (GRATE IS IN A 2" SUMP IN STREET PAVEMENT) UNLESS OTHERWISE NOTED.
 - SLPP= SMOOTH INTERIOR CORRUGATED PLASTIC PIPE.
 - STORM INLETS AND MANHOLE OVER 5 FEET IN DEPTH SHALL HAVE PENNDOT RC-39M MANHOLE STEPS.
 - ALL INLETS SHALL HAVE BICYCLE SAFE GRATES.



SEAL

EROSION AND SEDIMENTATION CONTROL PLAN
 FINAL SUBDIVISION PLAN
 FOR PHASE 3
MOUNTAIN VIEW ESTATES
 NORTH MIDDLETON TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	316030
SURVEY BOOK :	
SCALE :	1" = 50'
DWG. FILE :	X:\16\316030\316030\FILE - Day\Phase 3\Phase 2 Revised\PC-316030.Dwg
SHEET	9 of 18