

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Hampden</u>	Surveyor/ Engineer:	<u>H Edward Black and Associates</u>	Owner/ Developer:	<u>Berkley LLC</u>
Plat Title:	<u>Cumberland Technology Park Lot 4A</u>				
Plat Status:	<u>Final</u>	Plat Type:	<u>Subdivision and Land Development</u>		
# of New Lots:	<u>0</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>0</u>
				Total Tract Acreage:	<u>6.36</u>
Zoning District:	<u>OP Office Park</u>	Proposed Land Use:	<u>Restaurant Hotel</u>		
Date Received:	<u>1/24/2020</u>	County Review:	<u>2/12/2020</u>	Reviewed by:	<u>EG</u>
				Checked by:	<u>SH</u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. According to General Note #3 on Sheet 1 of 24, lot 4B is being eliminated by this plan, which refers to the landscape island proposed for Technology Parkway. Lot 4B is also listed in the Vicinity Map on Sheet 2 of 24 as the corner lot to the northwest of the intersection of Mt. Zion Rd. and Technology Parkway. It appears that this lot will be utilized to manage stormwater for the development of Lot 4A. This lot area should be accounted for in the listing of total lots and acreage in the table on the same page.
2. The Township should be provided a copy of the Condominium agreement indicated in General Note #4 on Sheet 1 of 24, to verify that landscaping, access and parking lot maintenance is addressed.
3. The Parking Calculations table on Sheet 1 of 24 lists proposed parking of 272 spaces and required parking of 266 spaces. It is unclear how these space calculations were arrived at, as the calculations provided below show 169 spaces required and proposed, based on the uses and building dimensions included in the proposed plan. Additional parking calculations should be provided to include spaces needed for Phase 2 of the development as applicable.
4. The Zoning Requirements and Site Data table on sheet 1 of 24 references an allowed and building height of 100 feet, and a provided building height of 100 feet or less. It is unclear why this line is included if the proposed building height for the hotel will be 60 feet or less. Proposed height for the restaurant should be provided. (Zoning 903.L.9)
5. The Layout/Landscape Plan (Sheet 5 of 24) details locations for 50 shrubs and plant to occur in landscape islands described in the detail. The township may want to recommend along the interior side of the trail walkway or at other locations such as landscape strips in the parking lot, which are currently proposed to be vegetated with lawn coverage.

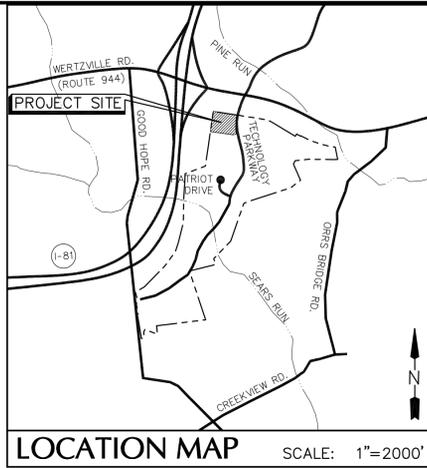
6. The locations and types of proposed lighting should be identified on the plan. (Zoning 1711 and Zoning 2005.R)
7. Loading/unloading spaces for the hotel should be provided on the plan with a minimum area of 50 feet by 12 feet. (Zoning 2004.1)
8. Is a trail crossing proposed at the corner of Mt. Zion Road and Technology Parkway? If so, appropriate safety measures for pedestrians crossing Technology Parkway should be taken, due to proximity to Wertzville Road intersection. These could include, at a minimum, pavement markings, signage or other improvements since the crossing would occur near the intersection. In addition, a crosswalk should be provided at the proposed crossing of Technology Parkway on the southeast corner of the property. The crosswalk should link to the existing trail on the hospital site.
9. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

REVISED PRELIMINARY/FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

CUMBERLAND TECH PARK LOT 4A

HAMPDEN TOWNSHIP CUMBERLAND COUNTY, PA



PARCEL REFERENCE
UPI: 10-14-0839-019

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____
ON THIS, THE _____ DAY OF _____, 20____,
BEFORE ME, THE UNDERSIGNED,
PERSONALLY APPEARED
MARTIN GRASS
PRINT NAME
OF BERKLEY, LLC, AND ITS GENERAL PARTNER MT. ZION
ASSOCIATES, INC., WHO BEING DULY SWORN ACCORDING
TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS
OF A PORTION AND EQUITABLE OWNER(S) OF A PORTION
OF THE PROPERTY AS SHOWN ON THIS PLAN AND THAT
THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND
DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH
ACCORDING TO LAW.

RECORD OWNER/EQUITABLE OWNER SIGNATURE
MANAGER
TITLE
WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND
DATE ABOVE WRITTEN.

SHEET INDEX

1	OF	25	COVER SHEET
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25	OF	25	E&S DETAILS

OWNER (LOT 4A)

BERKLEY, LLC
1788 SOUTH FEDERAL HIGHWAY
SUITE 304
BOCA RATON, FL 33432
TELEPHONE: (561) 391-8680
PROJECT CONTACT: MARTIN GRASS

BUILDING PERMIT REQUIREMENT

PRIOR TO THE ISSUANCE OF BUILDING PERMITS BY HAMPDEN TOWNSHIP, THE OWNER SHALL:
1. SUBMIT AN ENGINEER'S ESTIMATE OF SITE IMPROVEMENTS TO HAMPDEN TOWNSHIP FOR APPROVAL.
2. SUBMIT FINANCIAL SECURITY FOR THE SITE IMPROVEMENTS TO HAMPDEN TOWNSHIP.
3. SUBMIT ENGINEERING INSPECTION FEES TO HAMPDEN TOWNSHIP PER LATEST FEE SCHEDULE.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
IT IS HEREBY CERTIFIED THAT THE UNDER-SIGNED HAS LEGAL OR EQUITABLE TITLE TO THE LAND SHOWN. ALL AREAS SHOWN AS WITHIN PROPOSED STREET RIGHT-OF-WAYS ARE OFFERED FOR DEDICATION TO HAMPDEN TOWNSHIP. THE DEVELOPER IS TO PROVIDE ALL STREET NAME SIGNS AND TRAFFIC CONTROL SIGNS AND MARKINGS FOR ALL NEW INTERSECTIONS MEETING PADOT REQUIREMENTS AND SPECIFICATIONS.

BERKLEY, LLC
OWNER STORMWATER MANAGEMENT FACILITIES AGREEMENT:
THE OWNER ACKNOWLEDGES THAT THE STORMWATER MANAGEMENT FACILITIES AND BMPs ARE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY HAMPDEN TOWNSHIP. THE STORMWATER MANAGEMENT FACILITIES (INCLUDING BUT NOT LIMITED TO SWALES, PIPING, BMPs) OR ANY PART THEREOF WILL BE MAINTAINED BY THE OWNER AS PER HAMPDEN TOWNSHIP REQUIREMENTS. EVERY CONTRACT FOR THE SALE OF A LOT CONTAINING A STORMWATER MANAGEMENT FACILITY OR PART THEREOF SHALL CONTAIN A STATEMENT IN THE CONTRACT CLEARLY INDICATING TO THE BUYER THE MAINTENANCE, INSPECTION, REPORTING REQUIREMENTS AND THE ASSOCIATED RESTRICTIONS OF THE STORMWATER FACILITY OR PART THEREOF. THIS REQUIREMENT ALSO SHALL BE STATED IN THE DEED OF THE LOT.

OWNER'S SIGNATURE _____ DATE _____
REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT THIS _____ DAY OF _____, 20____.

DIRECTOR OF PLANNING:
THIS PLAN REVIEWED BY THE DIRECTOR OF PUBLIC WORKS THIS _____ DAY OF _____, 20____.

DIRECTOR OF PUBLIC WORKS:
THIS PLAN RECOMMENDED FOR APPROVAL BY THE HAMPDEN TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____, 20____.
CHAIRMAN: _____
SECRETARY: _____

APPROVED BY THE HAMPDEN TOWNSHIP BOARD OF COMMISSIONERS AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS _____ DAY OF _____, 20____.

PRESIDENT: _____
SECRETARY: _____
ENGINEER CERTIFICATION:
THE STORMWATER MANAGEMENT SYSTEM AS SHOWN ON THIS PLAN IS ADEQUATE TO MEET THE REQUIREMENTS OF HAMPDEN TOWNSHIP ORDINANCES.

ENGINEER'S SIGNATURE _____ DATE _____
ENGINEER CERTIFICATION:
THE SITE HAS BEEN INVESTIGATED FOR WETLAND AREAS AND TO THE BEST OF MY KNOWLEDGE, ALL WETLAND AREAS ARE SHOWN ON THIS PLAN.

ENGINEER'S SIGNATURE _____ DATE _____
SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THE BOUNDARY SHOWN ON SHEET 3 OF 25 TO BE CORRECT AS SHOWN.
BURGET & ASSOCIATES
NAME
1797 NEW BLOOMFIELD ROAD
STREET
NEW BLOOMFIELD, PA 17068
CITY & STATE

SIGNATURE _____
DATE _____ SEAL _____
ENGINEERS CERTIFICATE
I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.
ELIZABETH C. DAVISON, PE
NAME
H. EDWARD BLACK & ASSOCIATES, LTD
2403 NORTH FRONT STREET
HARRISBURG, PA 17110
CITY & STATE

SIGNATURE _____
DATE _____ SEAL _____
THE STORMWATER MANAGEMENT FACILITIES AND BMPs ARE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY HAMPDEN TOWNSHIP.

OWNER'S SIGNATURE _____ DATE _____

PERMIT TABULATION CHART

AGENCY	DATE SUBMITTED	PERMIT NO.	APPROVAL DATE
1. CCOD - NPDES Permit	1/28/19	PAC210124	6/7/19
2. CCOD - NPDES Permit Modification			
3. DEP Sewage Planning Exemption			

REVIEWS/APPROVALS REQUIRED

- CUMBERLAND COUNTY PLANNING DEPARTMENT
- CUMBERLAND COUNTY CONSERVATION DISTRICT
- PA DEP
- HAMPDEN TOWNSHIP FIRE ADMINISTRATOR REVIEW
- HAMPDEN TOWNSHIP STORMWATER REVIEW

SANITARY SEWER EDU CALCULATIONS

HOTEL - 127 ROOMS @ 100 GALLONS/UNIT/DAY = 12,700 GPD OR 58 EDUS+
2300 SF RESTAURANT - 1,250 SF PUBLIC SPACE @ 1 PATRON/12 SF X 3 TURNS/DAY = 315 PATRONS/DAY @ 10 GALLONS/PATRON/DAY (EAT IN ONLY) = 3,150 GPD OR 15 EDUS+
3150 SF RESTAURANT - 1,820 SF PUBLIC SPACE @ 1 PATRON/15 SF X 2 TURNS/DAY = 243 PATRONS/DAY @ 10 GALLONS/PATRON/DAY = 2,430 GPD OR 12 EDUS+
TOTAL ESTIMATED LOT 4A SEWAGE FLOWS = 18,280 GPD = 85 EDUS+
*HAMPDEN TWP AUTHORITY VALUE - 220 GPD = 1 EDU

WAIVERS

THE OWNER REQUESTS WAIVERS FROM THE FOLLOWING HAMPDEN TOWNSHIP LAND DEVELOPMENT ORDINANCE SECTIONS.

- SUBMITTAL OF A PRELIMINARY PLAN (§22.304.2 & §22.304.A (2))
- TRANSPORTATION STUDY FOR AREA SURROUNDING THE PROPOSED DEVELOPMENT (§22.402.4H)
- NECESSARY TRAFFIC STUDIES UNDER PREVAILING STATE LAW TO WARRANT TRAFFIC CONTROL DEVICES (§22.403.4B)
- UPGRADE OF EXISTING ROADWAYS BORDERING A LAND DEVELOPMENT (§22.503.2)

ZONING REQUIREMENTS and SITE DATA

TYPE OF DEVELOPMENT	VACANT	EXISTING USE	PROPOSED USE
TRACT ZONING	HOTEL AND RESTAURANTS OR OFFICE PARK	OFFICE PARK COMMERCIAL USES SHALL BE LOCATED WITHIN 2,500 FEET OF THE CENTER OF AN INTERCHANGE FOR AN INTERSTATE HIGHWAY OR FREEWAY, SECTION 903L(4).	
EXISTING TRACTS	SQUARE FOOTAGE	ACREAGE	
PARCEL 10-14-0839-019	276,970 SF	6.36 AC	
PROPOSED TRACTS	SQUARE FOOTAGE	ACREAGE	
PARCEL 10-14-0839-019	276,970 SF	6.36 AC	
MINIMUM LOT AREA	REQUIRED 40,000 SF	PROVIDED 276,970 SF	40.44 %
MINIMUM LOT WIDTH	REQUIRED 150 FEET	PROVIDED 423 FEET	100.00 %
TOTAL NUMBER OF LOTS	EXISTING: 1	PROPOSED: 1	
NEW STREET	NONE		
UTILITIES	WATER PROPOSED PUBLIC (PA AMERICAN WATER)	SEWER PROPOSED PUBLIC (HAMPDEN TWP AUTHORITY)	
LOT COVERAGE - MAXIMUM IMPERVIOUS COVERAGE - 60% OF TOTAL AREA OF LOT LESS ANY ADDITIONAL AREA REQUIRED TO FREE OF IMPERVIOUS MATERIAL AS PART OF THE STORMWATER MANAGEMENT FACILITIES REQUIRED BY THIS TOWNSHIP.			
TOTAL AREA	SQUARE FOOTAGE 276,970 SF	ACREAGE 6.358 AC	PERCENTAGE
PROP. IMPERVIOUS COVERAGE	164,964 SF	3.787 AC	59.56 %
OPEN SPACE	112,006 SF	2.571 AC	40.44 %
	276,970 SF	6.358 AC	100.00 %
BUILDING HEIGHT	ALLOWED 100 FEET	PROVIDED 100 FEET OR LESS	
HOTELS	60 FEET	60 FEET OR LESS	
SET BACK REQUIREMENTS	REQUIRED 80 FT	PROVIDED 80 FT	
FRONT YARD	40 FT	40 FT	
SIDE YARD	40 FT	40 FT	
REAR YARD	40 FT	40 FT	
MIN. PARKING SETBACK FROM STREET R/W	10 FT	10 FT	
FROM BUILDING	8 FT	8 FT	
OFFICE PARK COMMERCIAL USE:			
TOTAL AREA CUMBERLAND TECH PARK = 180.60 ACRES			
OFFICE PARK COMMERCIAL USE ARE SHALL NOT EXCEED 15% OF TOTAL OFFICE PARK AREA			
PROPOSED COMMERCIAL USE = 6.36 ACRES = 3.52% OF TOTAL OFFICE PARK AREA.			
TOTAL POTENTIAL COMMERCIAL USE = 10.92 AC = 6.05% OF TOTAL OFFICE PARK AREA.			
OFFICE PARK COMMERCIAL USES MAY NOT BE DEVELOPED UNTIL 10% OF THE TOTAL OFFICE PARK AREA HAS BEEN APPROVED AND LAND DEVELOPMENT PLANS RECORDED WITH THE COUNTY RECORDER OF DEEDS. NO MORE THAN 75% OF THE MAXIMUM AREA PERMITTED TO BE DEVELOPED UNTIL 25% OF THE TOTAL OFFICE PARK AREA HAS BEEN APPROVED AND LAND DEVELOPMENT PLANS RECORDED WITH THE COUNTY RECORDER OF DEEDS.			
TOTAL CUMBERLAND TECH PARK AREA APPROVED AND LAND DEVELOPMENT PLANS RECORDED = 127.60 ACRES = 70.65% OF TOTAL OFFICE PARK AREA.			

REFERENCED PLANS & DEEDS

- FINAL SUBDIVISION PLAN, PHASE 1 FOR MT. ZION OFFICE PARK, RECORDED IN PLAN BOOK 76, PAGE 54 ON MARCH 5, 1998
- REVISED FINAL RESUBDIVISION PLANS FOR LOTS 1 & 4A FOR CUMBERLAND TECHNOLOGY PARK, RECORDED IN PLAN BOOK 85, PAGE 21 ON APRIL 8, 2002
- REVISED PRELIMINARY & FINAL SUBDIVISION PLAN FOR CTP NORTH OF SEARS RUN, RECORDED IN PLAN BOOK 92, PAGE 21 ON MARCH 3, 2006
- DEED FOR LOT 4 - DEED BOOK 167, PAGE 323.
- PRELIMINARY SUBDIVISION & LAND DEVELOPMENT PLAN, CUMBERLAND TECH PARK LOT 4A, CONDITIONALLY APPROVED NOV. 27, 2019.

GENERAL NOTES

- THE PURPOSE OF THIS SUBDIVISION & LAND DEVELOPMENT PLAN IS TO BUILD A NEW 4-STORY, 101,680 SF GFA (127 ROOM) HOTEL, A 3,150 SF GFA (1,820 SF PUBLIC USE AREA) RESTAURANT WITH DRIVE THROUGH AND A 2,300 SF GFA (1,250 SF PUBLIC USE AREA) RESTAURANT WITH DRIVE THROUGH ALONG WITH ASSOCIATED PARKING AND SITEWORK.
- THIS PLAN FURTHERS THE PURPOSE OF THE CUMBERLAND TECH OFFICE PARK BY PROVIDING SUPPORT SERVICES FOR BUSINESS, PROFESSIONAL, FINANCIAL AND GOVERNMENTAL OFFICES ADJACENT TO OR CONVENIENTLY ACCESSIBLE TO MAJOR TRANSPORTATION CORRIDORS. THE PROPOSED TRAIL CONNECTS TO THE EXISTING OFFICE PARK TRAIL SYSTEM.
- THIS PLAN ELIMINATES LOT 4B, A PROPOSED LANDSCAPE ISLAND OF 814.13 SQUARE FEET THAT WAS TO HAVE BEEN LOCATED WITHIN TECHNOLOGY PARKWAY. SAID LOT 4B WAS SHOWN ON THE REVISED FINAL RESUBDIVISION PLANS - LOTS 1 AND 4A FOR CUMBERLAND TECHNOLOGY PARK, RECORDED IN CUMBERLAND COUNTY PLAN BOOK 85, PAGE 21, AS WELL AS OTHER RECORDED PLANS. THE LANDSCAPE ISLAND HAS NEVER BEEN CONSTRUCTED AND WOULD BE AN OBSTRUCTION TO THE TRAVEL LANES OF TECHNOLOGY PARKWAY. FURTHER, THE LANDSCAPE ISLAND WOULD BE LOCATED WITHIN EXISTING STREET RIGHT-OF-WAY PREVIOUSLY DEDICATED TO HAMPDEN TOWNSHIP, ELIMINATING SAID LOT 4B DOES NOT IMPACT ANY IMPERVIOUS COVERAGE CALCULATIONS AS IT WAS TO BE JOINED AS PART OF LOT 4A, WHICH HAS NOT YET BEEN DEVELOPED.
- LOT 4A (CUMBERLAND COUNTY TAX PARCEL 10-14-0839-019) IS BEING DEVELOPED AS A CONDOMINIUM. OWNER SHALL RECORD A DECLARATION OF CONDOMINIUM SETTING FORTH THE RIGHTS AND OBLIGATIONS OF UNIT OWNERS IN THE CONDOMINIUM.
- EXISTING CONDITIONS WITHIN THE DEVELOPMENT AREA AND LOT 4A ARE BASED UPON SURVEY INFORMATION TAKEN FROM BURGET & ASSOCIATES. EXISTING CONDITIONS BEYOND THE DEVELOPMENT AREA ARE BASED UPON PREVIOUSLY RECORDED SUBDIVISION AND LAND DEVELOPMENT PLANS.
- THERE ARE NO WETLANDS ON SITE ACCORDING TO A WETLAND DETERMINATION MADE BY VORTEX ENVIRONMENTAL, INC. IN JANUARY, 2018.
- THERE ARE NO KNOWN IMPORTANT NATURAL HABITATS LOCATED ON THE PROPERTY PER A PENNSYLVANIA NATURAL DIVERSITY INVENTORY (PNDI) REVIEW PERFORMED ON 01/20/2020 PNDI701600.
- THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA ONE-CALL (1800) 242-1776 AT LEAST THREE (3) DAYS PRIOR TO BEGINNING WORK.
- ALL STORMWATER MANAGEMENT FACILITIES LOCATED ON THE LOT SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION AND NOT THE LOT OWNER.
- SITE IS NOT WITHIN A FLOOD PLAIN ACCORDING TO FEMA FLOOD MAP: 42041C0115E.
- A GEOTECHNICAL ENGINEER MUST BE PRESENT WHEN SLOPES STEEPER THAN 3:1 ARE BEING CONSTRUCTED.
- NO OBJECTS SHALL BE PLACED, PLANTED, OR SET WITHIN STORMWATER DRAINAGE EASEMENTS WHICH WOULD ADVERSELY IMPACT THEIR DESIGNED FUNCTION.
- ALL OUTDOOR LIGHTING SHALL BE SO ARRANGED AND SHIELDED SO THAT NO OBJECTIONABLE ILLUMINATION IS CAST UPON ADJOINING PROPERTIES.
- ALL PARKING STALLS SHALL BE DESIGNATED WITH 4" PAINTED WHITE LINE
- A CERTIFICATE OF USE IS REQUIRED PURSUANT TO SECTION 2209.2 OF THE HAMPDEN TOWNSHIP ZONING ORDINANCE.
- A SIGN PERMIT IS REQUIRED PURSUANT TO SECTION 1721.7.B(2) OF THE HAMPDEN TOWNSHIP ZONING ORDINANCE.
- ALL SITE ACCESSIBILITY FEATURES TO COMPLY WITH ICC A117.1-2009 & 2015 INTERNATIONAL BUILDING CODE OR MOST CURRENT.
- A CONTRIBUTION FOR RECREATIONAL PURPOSES SHALL BE MADE AT THE RATE OF \$1,500 PER ACRE MINIMUM OR FRACTION THEREOF WITH RESPECT TO NONRESIDENTIAL SUBDIVISIONS OR LAND DEVELOPMENTS, WHICH FEE SHALL BE PAYABLE AS A CONDITION OF RECORDING OF THE APPROVED FINAL PLAN AND SHALL BE CALCULATED ON THE BASIS OF THE ENTIRE AREA OF THE LOT REGARDLESS OF THE DISTURBED AREA. THE BOARD OF COMMISSIONERS MAY CHANGE THE RATE SET FORTH ABOVE FROM TIME TO TIME BY RESOLUTION.
- WALKING TRAILS ALONG TECHNOLOGY PARKWAY SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION AND NOT THE LOT OWNER.
- SPECIAL NOTICE: A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242 NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", AS AMENDED BY ACT NO. 196-43 OF MAY, 1986, BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED.
- A STAKE-OUT INSPECTION, TO ENSURE CORRECT LOCATION WITH REGARD TO SETBACKS, SHALL BE REQUIRED PRIOR TO EXCAVATING FOR BUILDING CONSTRUCTION FOR THIS PHASE.

PARKING CALCULATIONS

	PROPOSED PARKING	REQUIRED	PROVIDED
PROPOSED PARKING	272 SP		
REQUIRED PARKING		266 SP	
HOTEL:			
GUEST ROOM	127 ROOMS @ 1 SP/GUEST ROOM	127	
EMPLOYEE	12 EMPLOYEES ON LARGEST SHIFT 1 SP/2 EMPLOYEE ON LARGEST SHIFT=	6 SP	
FLOOR AREA	0 SF FLOOR AREA OTHER THAN GUEST ROOMS @ PARKING SPACES IN TOTAL AREA EQUIVALENT TO 30% OF FLOOR AREA OTHER THAN GUEST ROOMS	0 SP	
REQ'D. HOTEL PARKING		133 SP	133 SP
ADA SPACES (INCLUDED IN TOTAL)		6 SP	6 SP
RESTAURANT (2,300 SF GFA):			
FLOOR AREA	1,250 S.F. FLOOR AREA FOR PUBLIC USE @ 1 SP./35 S.F. FLOOR AREA FOR PUBLIC USE = 36	36 SP	
REQ'D. RESTAURANT PARKING		36 SP	36 SP
ADA SPACES (INCLUDED IN TOTAL)		2 SP	4 SP
RESTAURANT (3,150 GSF):			
FLOOR AREA	1,820 S.F. FLOOR AREA FOR PUBLIC USE @ 1 SP./35 S.F. FLOOR AREA FOR PUBLIC USE = 52	52 SP	
REQ'D. RESTAURANT PARKING		52 SP	52 SP
ADA SPACES (INCLUDED IN TOTAL)		4 SP	4 SP
TOTAL PARKING		221 SP	221 SP



LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY H. EDWARD BLACK AND ASSOCIATES, LTD. CONTRACTORS TO CONTACT PA ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF ANY EARTH MOVING ACTIVITIES.

PROJECT SERIAL NO.: 20200210613

OVER AND ABOVE THE PA ONE CALL SYSTEM, THE CONTRACTOR SHALL UTILIZE A PROFESSIONAL UTILITY LOCATOR TO LOCATE UTILITIES, PRIVATE AND/OR PUBLIC, IN THE FIELD THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ALL EXCAVATION IN THE AREA OF UTILITIES SHALL BE PROBED BY HAND WHERE CONSTRUCTION IS OVER OR IN CLOSE PROXIMITY TO ANY UTILITIES TO VERIFY UTILITY LOCATIONS.

W:\PROJECTS\02102.036 & 02102.041 CTP Lot 4 Development\dwg\Rev Prelim Final\02102.050-General Notes.dwg 2/7/2020 3:40:02 PM EST

CONSTRUCTION NOTES

- ALL WATER LINE CONSTRUCTION SHALL COMPLY WITH THE REGULATIONS OF THE PA-AMERICAN WATER COMPANY.
- ALL WATERLINES SHALL HAVE A MINIMUM COVER OF 4'-0" FROM FINISH GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA ONE-CALL (800) 242-1776 AT LEAST THREE (3) DAYS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL SAFEGUARD ALL UTILITIES DURING CONSTRUCTION AND VERIFY THE LOCATIONS OF THE PROPOSED CONNECTIONS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICE FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER OR ENGINEER. INTERRUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICE HAS BEEN PROVIDED.
- PROPOSED DRIVEWAYS ON INDIVIDUAL LOTS SHALL BE REQUIRED TO SATISFY MINIMUM SIGHT DISTANCE REQUIREMENTS OF HAMPDEN TOWNSHIP.
- NO FILL MATERIAL OR OTHER ENCROACHMENTS, BEYOND THOSE SHOWN ON THE PLAN, SHALL BE PERMITTED INTO THE EXISTING WETLAND AREAS OR FLOOD PLAINS OR DRAINAGE EASEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF NECESSARY EROSION CONTROL MEASURES AS APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT. NO EARTH DISTURBANCE SHALL TAKE PLACE ON THE SITE PRIOR TO THIS APPROVAL. THE CONTRACTOR MUST OBTAIN A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN AND BE A CO-PERMITTEE OF THE NPDES PERMIT PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST SEVEN (7) DAYS PRIOR TO THE START OF CONSTRUCTION AND SEVENTY TWO (72) HOURS PRIOR TO THE COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL IMPLEMENT PERIMETER EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL ADHERE TO THE EARTH MOVING STAGING SEQUENCE AS DESCRIBED IN THE EROSION CONTROL PLAN AND MAINTAIN ALL EROSION CONTROL MEASURES, TEMPORARY AS WELL AS PERMANENT, THROUGHOUT THE LIFE OF THE PROJECT.
- DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL DRAINAGE STRUCTURES, WALKWAYS, ROADWAYS, AND PARKING AREAS, STREAMS AND DRAINAGE WAYS FROM EROSION AND SEDIMENTATION.
- CONTOURS AND SPOT ELEVATIONS ARE CONTROLS ONLY. ALL GRADES SHALL BE SMOOTH AND CONTINUOUS. TOPS AND BOTTOMS OF SLOPES SHALL BE ROUNDED.
- PROPOSED ELEVATIONS ON PAVED SURFACES INDICATE FINISHED GRADES.
- ALL DISTURBED AREAS AND AREAS WITH EXISTING EROSION PROBLEMS ARE TO BE DRESSED WITH TOPSOIL, SEEDED AND MULCHED.
- ALL LAWN AREAS ADJACENT TO CURBING SHALL BE FLUSH WITH THE TOP OF CURB.
- THE CONTRACTOR SHALL REFER TO THE SEEDING SPECIFICATIONS LOCATED ON THE EROSION CONTROL PLAN FOR TEMPORARY AND PERMANENT SEED MIXTURES.
- THE CONTRACTOR SHALL SAFEGUARD & PROTECT ALL VEGETATION NOTED TO BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT.
- AT NO TIME SHALL THE CONTRACTOR SCALE UNDIMENSIONED AREAS. ANY AND ALL QUESTIONS RELATING TO LAYOUT OR DIMENSIONS SHALL BE DIRECTED TO THE ENGINEER PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL REFER TO GRADING, EROSION AND SEDIMENT CONTROL PLANS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND / OR FIELD CONDITIONS.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT PROPERTY LINE STAKES AND MONUMENTS THROUGHOUT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL COMPLY WITH ALL TOWNSHIP, STATE, AND FEDERAL REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.
- NO OBJECTS SHALL BE PLACED, PLANTED, OR SET WITHIN STORMWATER DRAINAGE EASEMENTS WHICH WOULD ADVERSELY IMPACT THEIR DESIGNED FUNCTION.
- ALL CONSTRUCTION METHODS AND MATERIALS INCLUDING FOR STREETS AND STORMWATER FACILITIES SHALL CONFORM TO THE LATEST STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS OF HAMPDEN TOWNSHIP AND/OR PENNDOT AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP OR ITS REPRESENTATIVE.
- MONUMENTS SHALL BE OF CONCRETE OR STONE AT LEAST 6 INCHES BY 6 INCHES BY 30 INCHES AND MARKED ON TOP WITH A COPPER OR BRASS DOWEL. MARKERS SHALL BE IRON PIPES OR BRASS DOWELS 30 INCHES BY 3/4 INCH DIAMETER.
- INFILTRATION BMPs STORMWATER BASINS SHALL BE PROTECTED FROM SEDIMENTATION AND COMPACTION DURING CONSTRUCTION.

SANITARY SEWER NOTES

- SANITARY SEWER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARDS OF THE HAMPDEN TOWNSHIP SEWER AUTHORITY AND THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND SHALL BE SUBJECT TO APPROVAL BY THE AUTHORITY'S ENGINEER.
- ALL LOTS WILL BE SERVED WITH GRAVITY SEWER LATERALS UNLESS OTHERWISE SHOWN. NO BASEMENT SEWER SERVICE IS PROPOSED.
- PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES VERTICAL CLEARANCE BETWEEN ALL SANITARY SEWER AND WATER SUPPLY LINES. PROVIDE A MINIMUM CLEARANCE OF TWELVE (12) INCHES BETWEEN THE SEWER AND OTHER UNDERGROUND UTILITIES.
- PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF TEN (10) FEET BETWEEN THE SANITARY SEWER AND OTHER UNDERGROUND UTILITIES. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF FIVE (5) FEET BETWEEN THE SANITARY SEWER AND EXISTING AND PROPOSED UTILITY STRUCTURES SUCH AS MANHOLES, INLETS, AND CURBS ETC.
- PROVIDE A MINIMUM COVER OF FIVE (5) FEET OVER THE SANITARY SEWER MEASURED FROM FINISH GRADE ELEVATION.
- WHENEVER THE REQUIRED CLEARANCE BETWEEN THE SANITARY SEWER AND WATER SUPPLY LINES OR COVER BELOW FINISH GRADE CANNOT BE PROVIDED, THE SEWER MUST BE CEMENT LINED DUCTILE IRON PIPE (DICT) ENCASED IN CONCRETE. CONCRETE ENCASEMENT MUST EXTEND TEN (10) FEET ON BOTH SIDES OF THE AREA OF SUBSTANDARD CLEARANCE. WHENEVER CONCRETE ENCASEMENT OF THE SEWER IS REQUIRED, THE ENTIRE LENGTH OF SEWER BETWEEN MANHOLES MUST BE DICT.

RESPONDING UTILITIES FROM PA. ONE CALL SERIAL #20200210613

COMPANY: PENNSYLVANIA AMERICAN WATER
ADDRESS: 852 WESLEY DRIVE
MECHANICSBURG, PA 17055
CONTACT: JEFF HORTON
EMAIL: jeff.horton@amwater.com

COMPANY: HAMPDEN TWP/HAMPDEN TWP SEWER AUTH
ADDRESS: 230 S SPORTING HILL RD
MECHANICSBURG, PA 17050
CONTACT: JEREMY MILLER PE
EMAIL: jrmiller@hampdentownship.us

COMPANY: VERIZON PENNSYLVANIA, LLC.
ADDRESS: 1026 HAY ST
PITTSBURGH, PA 15221
CONTACT: DEBORAH BARUM
EMAIL: deborah.d.della@verizon.com

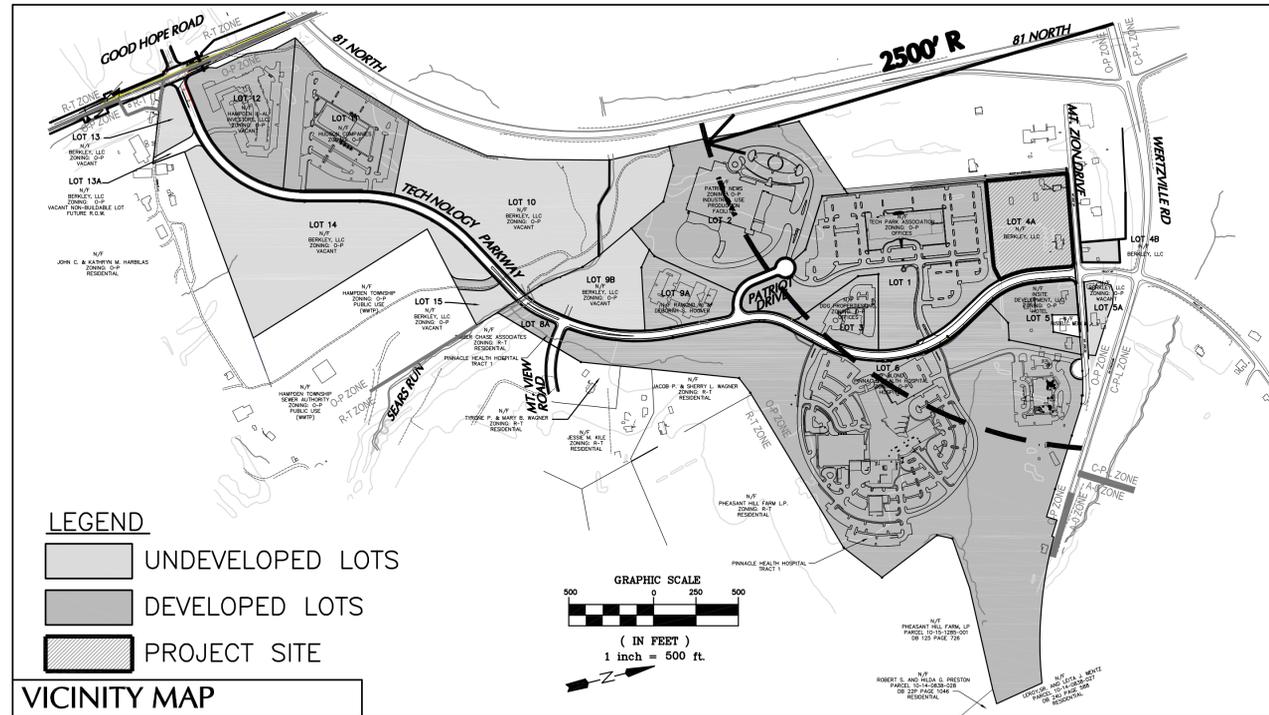
COMPANY: CENTURY LINK
ADDRESS: 1025 ELDERADO BLVD
BROOMFIELD, CO 80021
CONTACT: CENTURY LINK OPERATOR PERSONNEL
EMAIL: nationalrelo@centurylink.com

COMPANY: CENTURY LINK
ADDRESS: 122 BALTIMORE STREET
PO BOX 896
HANOVER, PA 17331
CONTACT: LEO HILBERT
EMAIL: leo.c.hilbert@centurylink.com

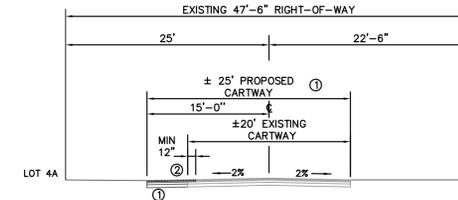
COMPANY: PPL ELECTRIC UTILITIES CORPORATION
ADDRESS: 503 NEW MARKET STREET
WILKS BARRE, PA 18702
CONTACT: MARK SANTAYANA
EMAIL: mcsantayana@pplweb.com

COMPANY: COMCAST
ADDRESS: 4601 SMITH ST
HARRISBURG, PA 17109
CONTACT: MICHAEL SWEIGARD
EMAIL: mike_sweigard@cable.comcast.com

COMPANY: UGI UTILITIES INC.
ADDRESS: 1301 AIP DR
MIDDLETOWN, PA 17057
CONTACT: STEPHEN BATEMAN
EMAIL: sbateman@ugi.com



Lot No.	Acreage	Developed	Undeveloped	Office Park Use	Potential Office Park Commercial Use
1	20.33	20.33		20.33	
2	17.65	17.65		17.65	
3	3.12	3.12		3.12	
4A	6.36		6.36		6.36
5	3.42	3.42			3.42
5A	1.14		1.14		1.14
6	60.43	60.43		60.43	
8A	0.81	0.81		0.81	
9A	3.75	3.75		3.75	
9B	5.44		5.44		5.44
10	19.98		19.98		19.98
11	10.08	10.08		10.08	
12	8.01	8.01		8.01	
13	1.83		1.83		1.83
13A	0.36		0.36		0.36
14	16.91		16.91		16.91
15	0.98		0.98		0.98
TOTAL	180.60	127.60	53.00	169.68	10.92
	100.00 %	70.65 %	29.35%	93.95%	6.05%



- INSTALL BASE COURSE, BINDER AND WEARING COURSE APPROXIMATE 5' WIDTH ON SOUTH SIDE OF ROAD ADJACENT TO LOT 4A TO CREATE ONE 15' LANE AND TOTAL ±25' WIDE CARTWAY. SEE LAYOUT PLAN FOR LOCATION AND ASPHALT DETAIL FOR ROAD CROSS-SECTION DETAILS
- SAWCUT AND REMOVE MIN. 12" EXISTING PAVING

MT. ZION DRIVE CROSS-SECTION
NOT TO SCALE

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REV	DESCRIPTION	BY	DATE
02-10-20			

- COMPREHENSIVE LAND AND SITE PLANNING
 - LANDSCAPE ARCHITECTURE
 - ENGINEERING
- 2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 233-1026 • FAX (717) 233-2192

H. EDWARD BLACK and ASSOCIATES, Ltd.

NOT FOR CONSTRUCTION	EIS	REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN
DRAWN BY:	CHH	CUMBERLAND TECH PARK LOT 4A
CHECKED BY:		TECHNOLOGY PARKWAY
DATE:	01/07/2020	HAMPDEN TOWNSHIP
SCALE:	NOT TO SCALE	CUMBERLAND COUNTY
JOB NUMBER:	02102.050	PENNSYLVANIA
COVER NOTES		



LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY H. EDWARD BLACK AND ASSOCIATES, LTD. CONTRACTORS TO CONTACT PA ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE (3) WORKING DAYS PRIOR TO THE START OF ANY EARTH MOVING ACTIVITIES.

PROJECT SERIAL NO.: 20200210613

OVER AND ABOVE THE PA ONE CALL SYSTEM, THE CONTRACTOR SHALL UTILIZE A PROFESSIONAL UTILITY LOCATOR TO LOCATE UTILITIES, PRIVATE AND/OR PUBLIC, IN THE FIELD THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ALL EXCAVATION IN THE AREA OF UTILITIES SHALL BE PROBED BY HAND WHERE CONSTRUCTION IS OVER OR IN CLOSE PROXIMITY TO ANY UTILITIES TO VERIFY UTILITY LOCATIONS.

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REV	PRELIM/FINAL PLAN	DATE
02-10-20		

REV	DESCRIPTION
02-10-20	COMPREHENSIVE LAND AND SITE PLANNING
	LANDSCAPE ARCHITECTURE
	ENGINEERING

H. EDWARD BLACK AND ASSOCIATES, LTD.
2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 733-1036 • FAX (717) 733-2192

REV.	PRELIM/FINAL SUBD. & LAND DEV. PLAN
LOCATION:	CUMBERLAND TECH PARK LOT 4A
DATE:	01/07/2020
SCALE:	1" = 40'
JOB NUMBER:	02102.050

NOT FOR CONSTRUCTION SHEET 3 OF 25

LEGEND	
	Existing Property Line
	Existing Right-of-Way Line
	Existing Adjoining Property Line
	Existing Building Setback Line
	Existing Easement
	Existing Major Contour
	Existing Minor Contour
	Existing Centerline
	Existing Edge of Paving/Gravel
	Existing Curb
	Existing Edge of Shoulder
	Existing Sidewalk
	Existing Guiderail
	Existing Fence Line
	Existing Sanitary Sewer Line
	Existing Sanitary Sewer Force Main
	Existing Sanitary Sewer Lateral
	Existing Storm Sewer Pipes
	Existing Gas Line
	Existing Electric Line
	Existing Water Line
	Existing Cable TV Line
	Existing Communications Line
	Existing Overhead Wires
	Existing Telephone Line
	Existing Tree Line
	Existing Trail
	Existing Soils Boundary Line
	Existing Benchmark
	Existing Monument
	Existing Iron Pin
	Existing Sign
	Existing Spot Elevation
	Existing Traffic Signal
	Existing Catch Basin
	Existing Drainage Manhole
	Existing Headwall/Endwall
	Existing Cleanout
	Existing Sanitary Sewer Manhole
	Existing Light Post
	Existing Utility Pole
	Existing Gas Valve
	Existing Water Valve
	Existing Hydrant
	Existing Well
	Existing Building
	PROPOSED INFILTRATION PIT

DEMOLITION LEGEND	
	EXISTING FEATURES TO BE REMOVED
	VEGETATION TO BE REMOVED
	SAWCUT LINE
	GRAVEL DRIVE TO BE REMOVED

GENERAL NOTES

- The Contractor shall notify PA DEP of proposed demolition.
- The Contractor shall provide dust control in accordance with DEP regulations.
- The Contractor shall remove all construction and demolition waste to a DEP-approved landfill.
- The Contractor shall provide landfill receipts to the Owner.
- The Contractor shall remove all clean fill rubble such as brick, block, concrete, etc. to an approved off-site disposal area.
- The Contractor shall comply with all Municipal, State and Federal regulations in effect at the time of construction.
- All construction methods and materials shall conform to the latest standard construction specifications and details of Hampden Township.
- The Contractor shall check and verify all existing conditions prior to the start of construction.
- The Contractor is responsible for contacting "The Pennsylvania One-Call System" to obtain information on utility locations on site at least three (3) business days prior to initiating construction at 1-800-242-1776.
- The Contractor shall notify all utilities to disconnect services.
- The Contractor shall be responsible for verifying all utility locations prior to the start of construction.
- The Contractor shall verify that existing utilities have been turned off by the Utility Provider prior to demolition.
- The Contractor shall safeguard all utilities during construction and verify the location of the proposed disconnections.
- All lawn areas adjacent to curbing and paving shall be flush with the top of curb, walks, and roadways.
- The Contractor shall adhere to all aspects of the Erosion Control Plan, including the earth moving staging sequence, and maintain all erosion control measures, temporary as well as permanent, throughout the life of the project.
- The Contractor shall notify the Owner's Representative and the Cumberland County Conservation District at least 72 hours prior to the start of construction and 72 hours before the completion of construction.
- The Contractor shall implement perimeter erosion control measures prior to the start of construction.
- During construction, Contractor shall protect all drainage structures, walkways, roadways and parking areas, streams and drainage ways from sedimentation.
- Contractor shall inspect locations of previously demolished buildings to ensure that they have been removed in accordance with the requirements of the 2009 International Building Code (2009IBC), any applicable laws and ordinances of Hampden Township and any state and/or federal laws.

DEMOLITION NOTES

Site demolition shall consist of the removal and off site disposal of existing features and construction rubble; and abandonment of utilities. All items to be demolished are highlighted on plans.

Items to be demolished and disposed of include, but are not limited to the following:

- Pavements, including asphalt, base, curbing and gravel.
- Trees, shrubbery, vegetation and topsoil.
- Abandoned utilities dug up during construction.
- Existing Sign and Foundation.
- Irrigation Systems.
- Stormwater Lines, Endwalls and Inlets.

Utilities to be abandoned:

- Stormwater Lines, Endwalls and Inlets.

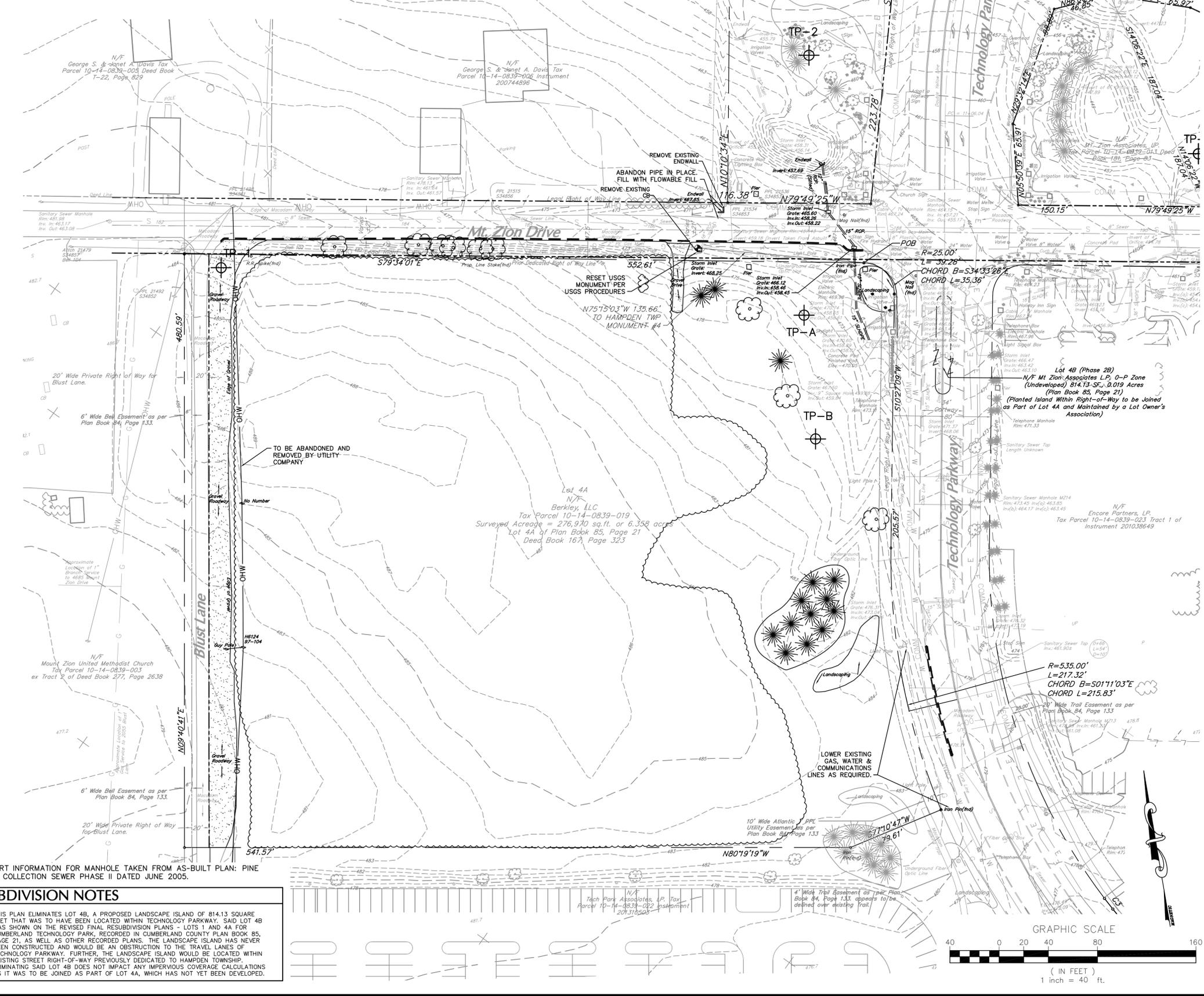
A. Any surface voids shall be filled with clean fill and compacted by tracking infill materials with excavation equipment or equal.

B. Remove steps and foundations to a minimum of 18" below grade.

SUBDIVISION NOTES

- THIS PLAN ELIMINATES LOT 4B, A PROPOSED LANDSCAPE ISLAND OF 814.13 SQUARE FEET THAT WAS TO HAVE BEEN LOCATED WITHIN TECHNOLOGY PARKWAY. SAID LOT 4B WAS SHOWN ON THE REVISED FINAL RESUBDIVISION PLANS - LOTS 1 AND 4A FOR CUMBERLAND TECHNOLOGY PARK, RECORDED IN CUMBERLAND COUNTY PLAN BOOK 85, PAGE 21, AS WELL AS OTHER RECORDED PLANS. THE LANDSCAPE ISLAND HAS NEVER BEEN CONSTRUCTED AND WOULD BE AN OBSTRUCTION TO THE TRAVEL LANES OF TECHNOLOGY PARKWAY. FURTHER, THE LANDSCAPE ISLAND WOULD BE LOCATED WITHIN EXISTING STREET RIGHT-OF-WAY PREVIOUSLY DEDICATED TO HAMPDEN TOWNSHIP. ELIMINATING SAID LOT 4B DOES NOT IMPACT ANY IMPERVIOUS COVERAGE CALCULATIONS AS IT WAS TO BE JOINED AS PART OF LOT 4A, WHICH HAS NOT YET BEEN DEVELOPED.

* INVERT INFORMATION FOR MANHOLE TAKEN FROM AS-BUILT PLAN: PINE RUN COLLECTION SEWER PHASE II DATED JUNE 2005.



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LEGEND	
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED MONUMENT
	PROPOSED IRON PIN
	Existing Property Line
	Existing Right-of-Way Line
	Existing Adjoining Property Line

SUBDIVISION NOTES

1. THIS PLAN ELIMINATES LOT 4B, A PROPOSED LANDSCAPE ISLAND OF 814.13 SQUARE FEET THAT WAS TO HAVE BEEN LOCATED WITHIN TECHNOLOGY PARKWAY. SAID LOT 4B WAS SHOWN ON THE REVISED FINAL RESUBDIVISION PLANS - LOTS 1 AND 4A FOR CUMBERLAND TECHNOLOGY PARK, RECORDED IN CUMBERLAND COUNTY PLAN BOOK 85, PAGE 21, AS WELL AS OTHER RECORDED PLANS. THE LANDSCAPE ISLAND HAS NEVER BEEN CONSTRUCTED AND WOULD BE AN OBSTRUCTION TO THE TRAVEL LANES OF TECHNOLOGY PARKWAY. FURTHER, THE LANDSCAPE ISLAND WOULD BE LOCATED WITHIN EXISTING STREET RIGHT-OF-WAY PREVIOUSLY DEDICATED TO HAMPDEN TOWNSHIP. ELIMINATING SAID LOT 4B DOES NOT IMPACT ANY IMPERVIOUS COVERAGE CALCULATIONS AS IT WAS TO BE JOINED AS PART OF LOT 4A, WHICH HAS NOT YET BEEN DEVELOPED.
2. LOT 4B IS TRANSFERRED TO HAMPDEN TOWNSHIP AND BECOMES PART OF TECHNOLOGY PARKWAY.



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REV	DESCRIPTION	BY	DATE
02-10-20			

COMPREHENSIVE LAND AND SITE PLANNING
 LANDSCAPE ARCHITECTURE
 ENGINEERING

H. EDWARD BLACK and ASSOCIATES, Ltd.
 2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 233-1026 • FAX (717) 233-2192

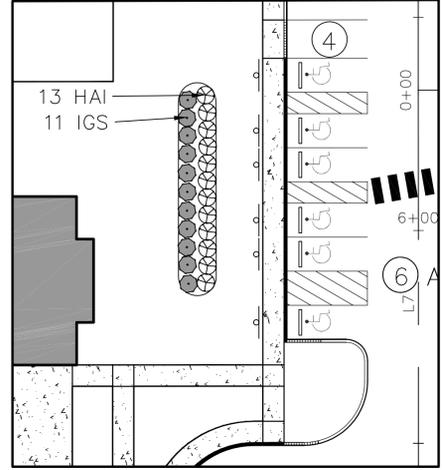
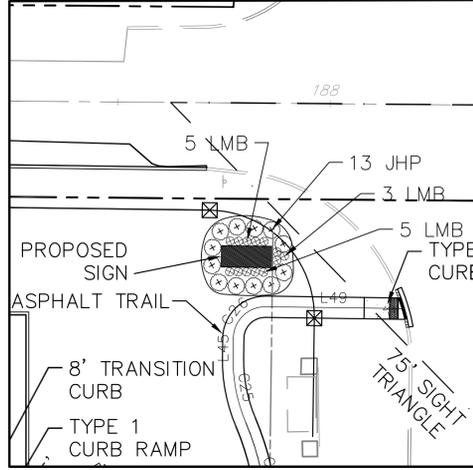
NOT FOR CONSTRUCTION	
REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN	EIS
CUMBERLAND TECH PARK LOT 4A	CHH
LOCATION: TECHNOLOGY PARKWAY HAMPDEN TOWNSHIP CUMBERLAND COUNTY PENNSYLVANIA	DATE: 01/07/2020
	SCALE: 1" = 40'
	JOB NUMBER: 02102.050
SHEET 4 OF 25	

LEGEND

---	PROPOSED PROPERTY LINE
---	PROPOSED RIGHT-OF-WAY LINE
---	PROPOSED BUILDING SETBACK LINE
---	PROPOSED EASEMENT
---	PROPOSED CENTERLINE
---	PROPOSED EDGE OF PAVING/GRAVEL
---	PROPOSED CURB
---	PROPOSED SIDEWALK
---	PROPOSED GUIDERAIL
---	PROPOSED FENCE LINE
X	PROPOSED MONUMENT
○	PROPOSED IRON PIN
□	PROPOSED SIGN
▭	PROPOSED BUILDING
△	PROPOSED CLEAR SIGHT TRIANGLE

- LAYOUT NOTES:**
- CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
 - PROVIDE TYPE 4A CURB RAMP AT ALL LOCATIONS WHERE SIDEWALK/TRAIL MEETS VEHICULAR TRAFFIC UNLESS OTHERWISE NOTED.

- LANDSCAPE NOTES:**
- PARKING AREA LANDSCAPE STRIPS SHALL BE VEGETATED WITH LAWN.



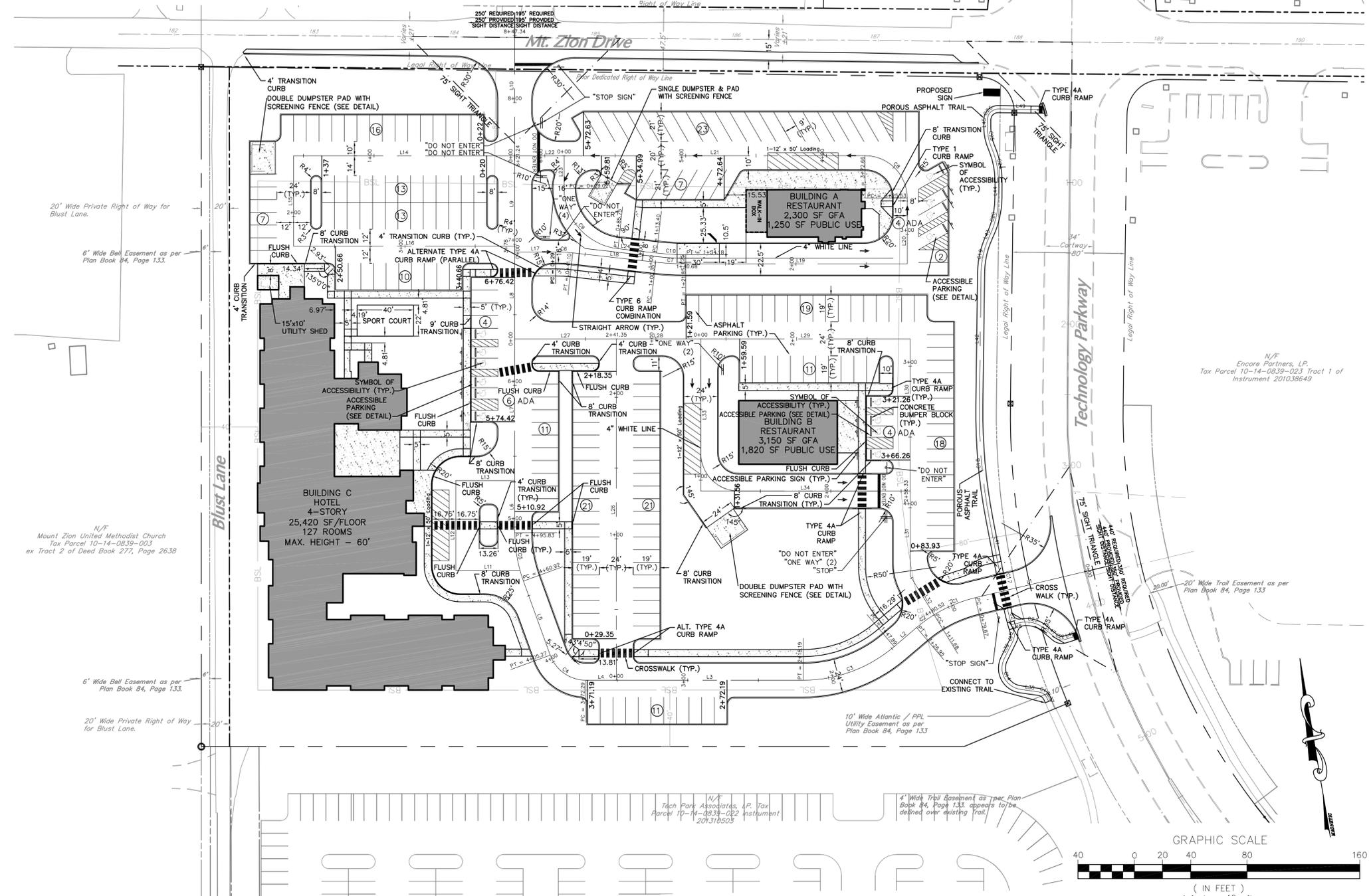
LINE TABLE

LINE	LENGTH	BEARING
L1	79.87	S86°22'19"W
L2	20.94	S59°23'55"W
L3	132.53	N80°19'19"W
L4	21.57	N80°19'19"W
L5	55.64	N10°19'19"W
L6	36.98	N09°40'41"E
L7	100.11	N09°40'41"E
L8	61.50	N09°40'41"E
L9	68.00	N09°40'41"E
L10	84.92	N09°40'41"E
L11	45.56	N80°19'19"W
L12	63.39	N09°40'41"E
L13	42.01	S80°19'19"E
L14	157.00	N80°19'19"W
L15	64.00	S09°40'41"W
L16	157.00	S80°19'19"E
L17	29.00	S80°19'19"E
L18	59.25	S73°54'13"E
L19	157.17	S80°19'19"E
L20	46.50	N09°40'41"E
L21	213.59	N80°19'19"W
L22	35.00	N80°19'19"W
L23	23.02	S09°40'41"W
L24	27.66	S73°54'13"E
L25	6.50	S09°40'41"W
L26	241.35	N09°40'41"E
L27	72.00	S80°19'19"E
L28	59.92	S80°19'19"E
L29	148.67	S80°19'19"E
L30	107.67	S09°40'41"W
L31	59.90	S09°40'41"W
L32	32.36	S21°51'06"E
L33	107.67	S09°40'41"W
L34	148.67	S80°19'19"E
L37	2.58	N14°26'53"W
L38	13.43	N72°08'28"W
L39	14.51	N36°01'21"E
L41	30.57	N01°14'23"W
L42	93.52	N10°27'09"E
L43	1.59	N34°33'38"E
L44	10.80	N10°27'09"E
L45	4.56	N10°27'09"E
L46	8.99	S82°36'17"W
L47	9.84	N40°23'54"W
L48	6.05	S86°22'19"W
L49	32.15	S79°32'51"E

- PROPOSED STREET ADDRESSES:**
- BUILDING A - 2060 TECHNOLOGY PARKWAY
 - BUILDING B - 2050 TECHNOLOGY PARKWAY
 - BUILDING C - 2040 TECHNOLOGY PARKWAY

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIR.
C1	31.81	100.00	18°13'25"	16.04	31.67	S77°15'37"W
C2	15.27	100.00	8°44'59"	7.65	15.26	S63°46'25"W
C3	70.30	100.00	40°16'46"	36.67	68.86	N79°32'18"E
C4	32.99	27.00	70°00'00"	18.91	30.97	S45°19'19"E
C5	34.91	100.00	20°00'00"	17.63	34.73	S00°19'19"E
C6	12.10	108.00	6°25'06"	6.06	12.09	N77°06'46"W
C7	21.51	192.00	6°25'06"	10.77	21.50	S77°06'46"E
C8	47.12	30.00	90°00'00"	30.00	42.43	N35°19'19"W
C9	62.73	43.00	83°34'54"	38.43	57.31	S32°06'46"E
C10	20.78	185.50	6°25'06"	10.40	20.77	S77°06'46"E
C13	7.55	7.50	57°41'35"	4.13	7.24	N43°17'41"W
C14	28.32	15.00	108°09'50"	20.71	24.30	S18°03'34"E
C15	5.77	7.50	44°05'28"	3.04	5.63	N13°58'37"E
C17	20.78	553.96	2°08'56"	10.39	20.77	S02°18'51"E
C18	81.63	400.00	11°41'31"	40.96	81.48	S04°36'23"W
C19	26.30	62.50	24°06'29"	13.35	26.10	S22°30'23"W
C20	26.30	62.50	24°06'29"	13.35	26.10	N22°30'24"E
C21	19.56	185.95	6°01'42"	9.79	19.56	S05°03'16"E
C22	7.46	7.50	56°59'49"	4.07	7.16	S68°53'49"E
C23	18.58	20.00	53°13'47"	10.02	17.92	N67°00'48"W
C24	26.04	62.50	23°52'02"	13.21	25.85	N01°28'52"W
C25	15.62	37.50	23°52'02"	7.93	15.51	S01°28'52"E
C26	11.78	7.50	90°00'00"	7.50	10.61	S55°27'09"W



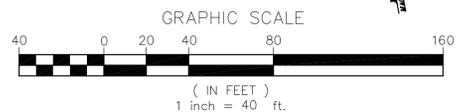
N/F
Mount Zion United Methodist Church
Tax Parcel 10-14-0839-003
ex Tract 2 of Deed Book 277, Page 2638

6' Wide Bell Easement as per
Plan Book 84, Page 133

20' Wide Private Right of Way for
Blust Lane.

N/F
Tech Park Associates, LP, Tax
Parcel 10-14-0838-082 Instrument
20181505

10' Wide Atlantic / PPL
Utility Easement as per
Plan Book 84, Page 133



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REV	PRELIM/FINAL PLAN	EIS	BY	DATE
02-10-20				

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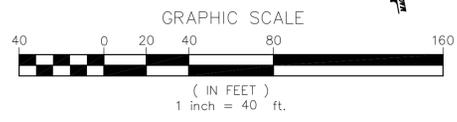
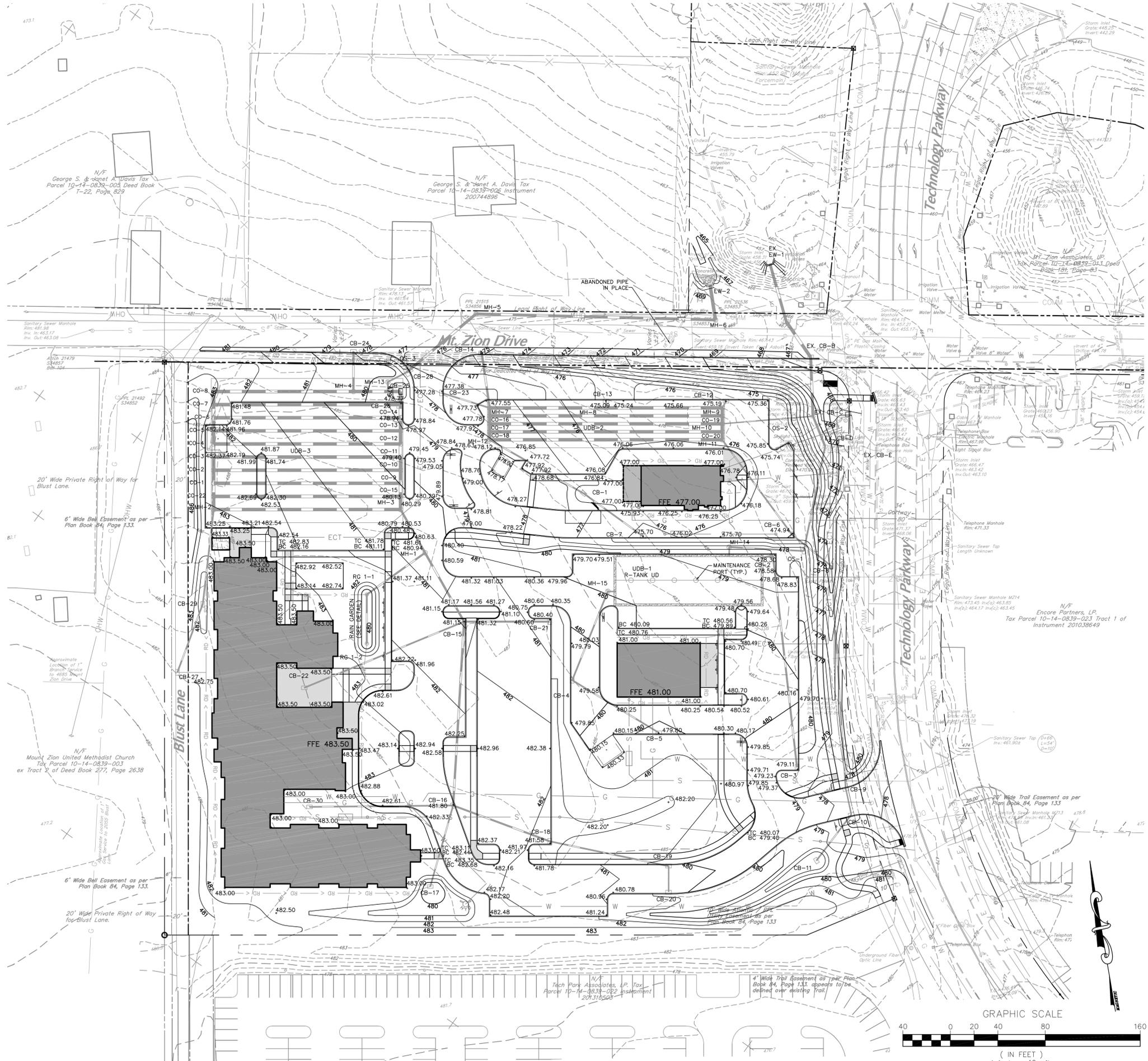
REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN
CUMBERLAND TECH PARK LOT 4A
LOCATION: TECHNOLOGY PARKWAY
HAMPDEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

DRAWN BY: EIS
CHECKED BY: CHH
DATE: 01/07/2020
SCALE: 1" = 40'
JOB NUMBER: 02102.050

5 OF 25

LEGEND	
	PROPOSED PROPERTY LINE
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED CENTERLINE
	PROPOSED EDGE OF PAVING/GRAVEL
	PROPOSED CURB
	PROPOSED SIDEWALK
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED STORM SEWER PIPES
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED TELEPHONE LINE
	PROPOSED MONUMENT
	PROPOSED IRON PIN
	PROPOSED SIGN
	PROPOSED SPOT ELEVATION
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE MANHOLE
	PROPOSED HEADWALL/ENDWALL
	PROPOSED CLEANOUT
	PROPOSED UTILITY POLE
	PROPOSED GAS VALVE
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED BUILDING
	PROPOSED RAINSPOUT DRAIN
	PROPOSED LEVEL TURNING AREAS

NOTE:
 1. LEVEL TURNING AREA SURFACE SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.



W:\PROJECTS\02102.050 & 02102.041 CTP Lot 4 Development\Draw\Rev Prelim Final\02102.050-Base.dwg 2/7/2020 3:54:08 PM EST

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REV	PRELIM/FINAL	PLAN	DATE
1	EIS	BY	02-10-20

COMPREHENSIVE LAND AND SITE PLANNING
 LANDSCAPE ARCHITECTURE
 ENGINEERING

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REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN
CUMBERLAND TECH PARK LOT 4A

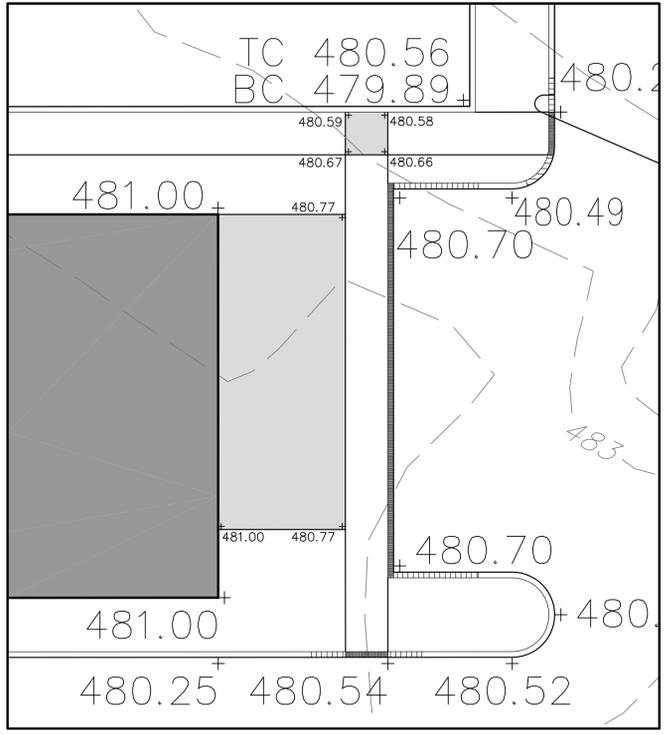
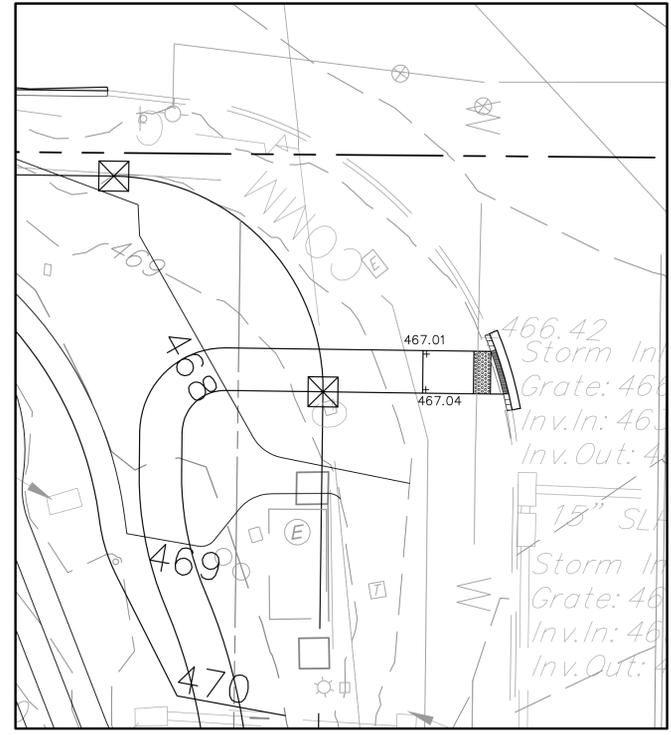
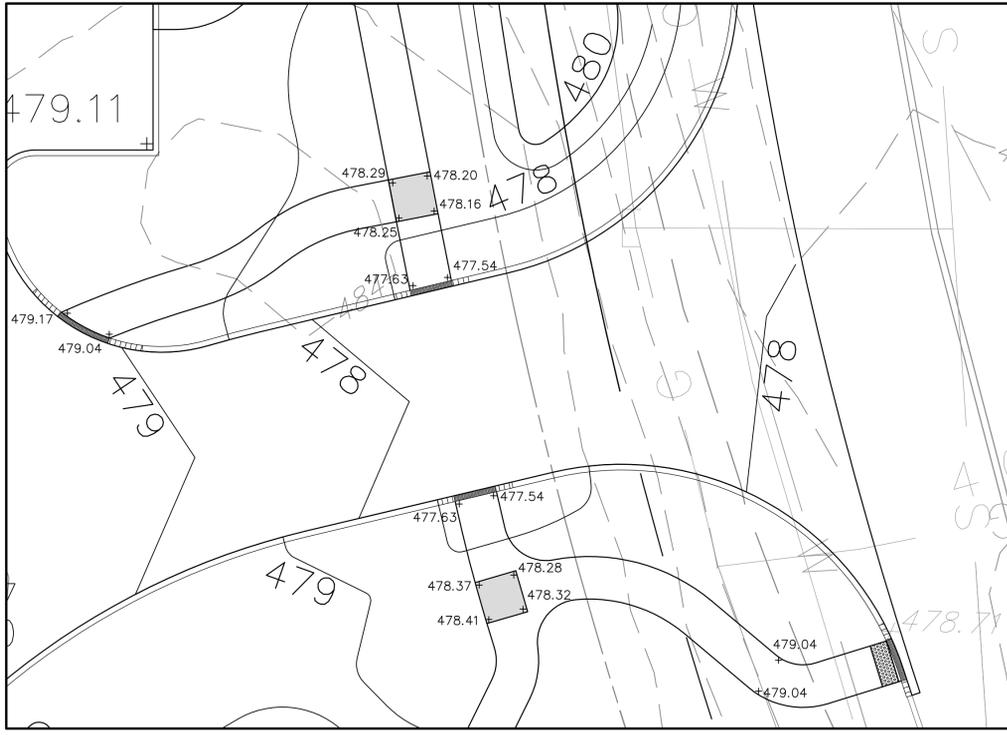
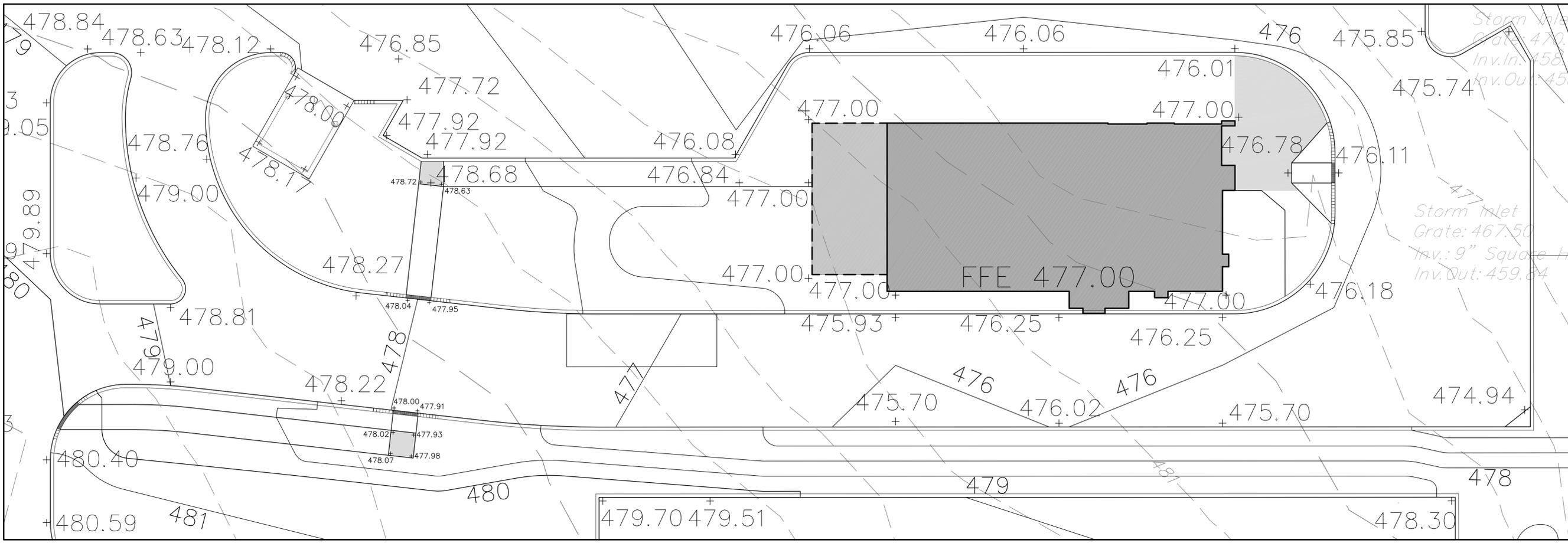
LOCATION:
 TECHNOLOGY PARKWAY
 HAMPDEN TOWNSHIP
 CUMBERLAND COUNTY
 PENNSYLVANIA

NOT FOR CONSTRUCTION

DRAWN BY: EIS
 CHECKED BY: CHH
 DATE: 01/07/2020
 SCALE: 1" = 40'
 JOB NUMBER: 02102.050

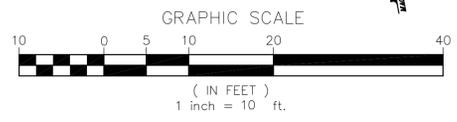
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LEGEND
 PROPOSED LEVEL TURNING AREAS

NOTE:
 1. LEVEL TURNING AREA SURFACE SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.



W:\PROJECTS\02102.050 - 02102.041 - CTP - Lot 4 - Development\02102.050-Base.dwg 2/7/2020 3:56:08 PM EST

REV	DESCRIPTION	BY	DATE
1	REV PRELIM/FINAL PLAN	EIS	02-10-20

COMPREHENSIVE LAND AND SITE PLANNING
 LANDSCAPE ARCHITECTURE
 ENGINEERING

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DRAWN BY:	EIS
CHECKED BY:	CHH
DATE:	01/07/2020
SCALE:	1" = 10'
JOB NUMBER:	02102.050

REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN
CUMBERLAND TECH PARK LOT 4A
 LOCATION: TECHNOLOGY PARKWAY
 HAMPDEN TOWNSHIP
 CUMBERLAND COUNTY
 PENNSYLVANIA

DETAILED GRADING

8 OF 25

LEGEND

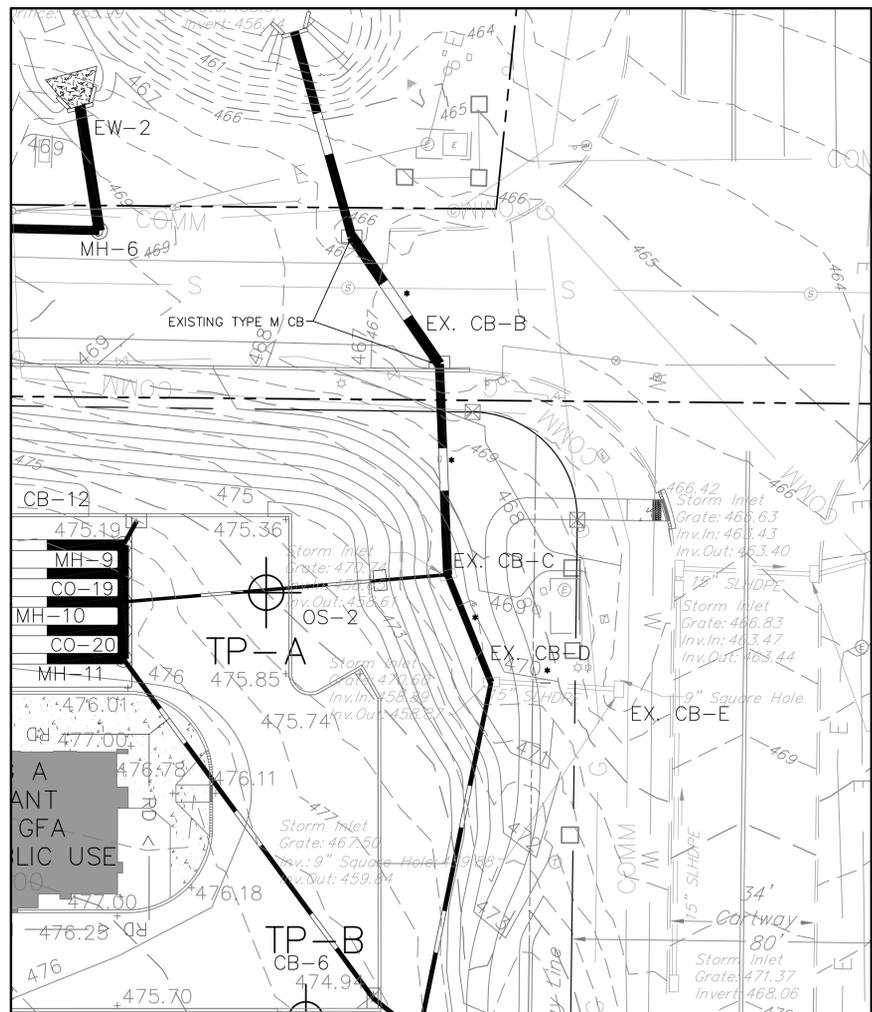
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED BUILDING SETBACK LINE
- PROPOSED EASEMENT
- 490 --- PROPOSED MAJOR CONTOUR
- 492 --- PROPOSED MINOR CONTOUR
- PROPOSED CENTERLINE
- PROPOSED EDGE OF PAVING/GRAVEL
- PROPOSED CURB
- PROPOSED SIDEWALK
- S --- S --- PROPOSED SANITARY SEWER LINE
- GSL --- PROPOSED SANITARY SEWER LATERAL
- G --- G --- PROPOSED STORM SEWER PIPES
- E --- E --- PROPOSED GAS LINE
- W --- W --- PROPOSED ELECTRIC LINE
- T --- T --- PROPOSED WATER LINE
- PROPOSED TELEPHONE LINE
- ⊗ PROPOSED MONUMENT
- PROPOSED IRON PIN
- PROPOSED SIGN
- × 429.90 PROPOSED SPOT ELEVATION
- ⊕ PROPOSED CATCH BASIN
- ⊙ PROPOSED DRAINAGE MANHOLE
- ⊖ PROPOSED HEADWALL/ENDWALL
- PROPOSED CLEANOUT
- PROPOSED UTILITY POLE
- PROPOSED GAS VALVE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED BUILDING
- RD <--- RD <--- RD <--- RD <--- PROPOSED RAISPOUT DRAIN

UTILITY NOTES:

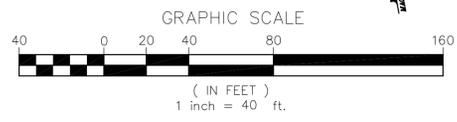
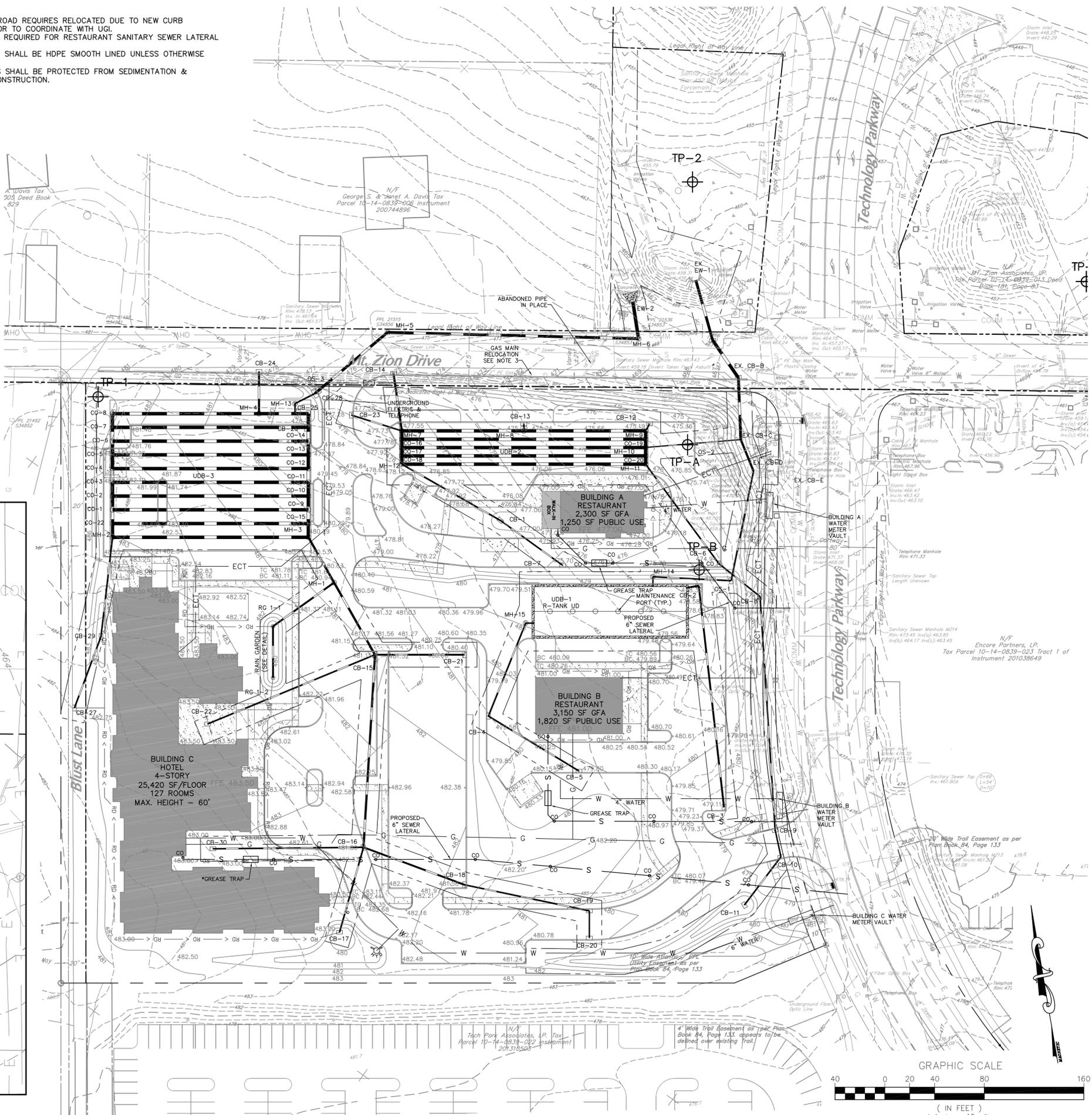
1. GAS MAIN IN MT ZION ROAD REQUIRES RELOCATED DUE TO NEW CURB PLACEMENT. CONTRACTOR TO COORDINATE WITH UGI.
2. GREASE TRAPS WILL BE REQUIRED FOR RESTAURANT SANITARY SEWER LATERAL INSTALLATIONS.
3. ALL STORM SEWER PIPE SHALL BE HDPE SMOOTH LINED UNLESS OTHERWISE NOTED.
4. ALL INFILTRATION BMP'S SHALL BE PROTECTED FROM SEDIMENTATION & COMPACTION DURING CONSTRUCTION.

CO RIMS	
NUMBER	RIM
CO-1	482.69
CO-2	482.53
CO-3	482.36
CO-4	482.24
CO-5	482.13
CO-6	482.82
CO-7	482.95
CO-8	483.08
CO-9	479.92
CO-10	479.64
CO-11	479.39
CO-12	479.23
CO-13	479.08
CO-14	478.93
CO-15	480.15
CO-16	476.62
CO-17	476.76
CO-18	476.90
CO-19	475.46
CO-20	475.74
CO-22	482.86

- NOTES:
1. GREASE TRAPS WILL BE REQUIRED FOR RESTAURANT SANITARY SEWER LATERAL INSTALLATION.
 2. *NO GREASE TRAP REQUIRED IF HOTEL DOES NOT HAVE A RESTAURANT.



EXIST. CB EXPANDED VIEW
SCALE: HORIZ. 1" = 20'



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REV	DESCRIPTION	BY	DATE
02-10-20			

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NOT FOR CONSTRUCTION

DRAWN BY:	EIS	REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN
CHECKED BY:	CHH	CUMBERLAND TECH PARK LOT 4A
DATE:	01/07/2020	LOCATION: TECHNOLOGY PARKWAY HAMPDEN TOWNSHIP CUMBERLAND COUNTY PENNSYLVANIA
SCALE:	1" = 40'	UTILITY PLAN
JOB NUMBER:	02102.050	

SHEET 9 OF 25

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REV	DESCRIPTION	DATE
1	PRELIM/FINAL PLAN	02-10-20

COMPREHENSIVE LAND AND SITE PLANNING
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REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN
CUMBERLAND TECH PARK LOT 4A
LOCATION: TECHNOLOGY PARKWAY HAMPTON TOWNSHIP CUMBERLAND COUNTY PENNSYLVANIA
EASEMENT PLAN

LEGEND

- PROPOSED PROPERTY LINE
- - - - PROPOSED RIGHT-OF-WAY LINE
- PROPOSED EASEMENT
- PROPOSED EDGE OF PAVING/GRAVEL
- PROPOSED CURB
- PROPOSED ASPHALT
- PROPOSED SIDEWALK
- PROPOSED MONUMENT
- PROPOSED IRON PIN
- PROPOSED BUILDING

EASEMENT LINE TABLE

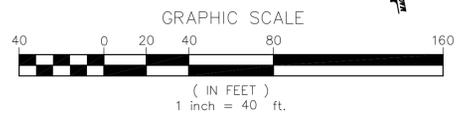
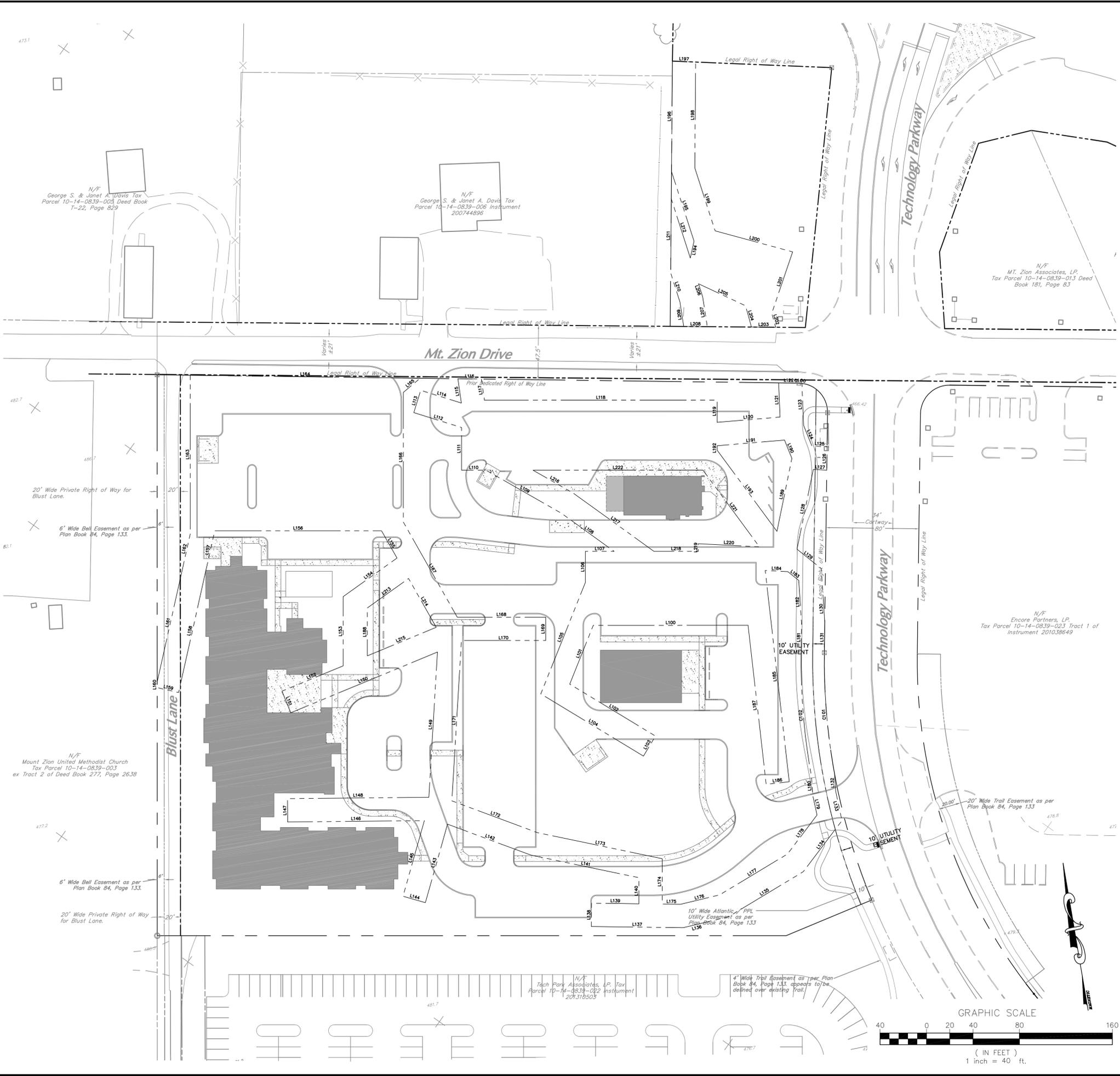
LINE	LENGTH	BEARING
L100	133.28	N80°19'19"W
L101	54.31	S31°35'52"W
L102	86.20	S49°12'42"E
L103	20.00	S40°47'18"W
L104	103.23	N49°12'42"W
L105	102.88	N31°35'52"E
L106	26.64	N09°40'41"E
L107	24.75	S80°19'19"E
L108	56.04	N44°37'02"W
L109	74.46	N50°42'31"W
L110	21.06	N80°19'19"E
L111	36.59	N09°40'41"E
L112	43.09	N63°01'52"W
L113	20.00	N26°58'08"E
L114	36.67	S63°01'52"E
L115	21.06	N01°24'26"E
L116	20.25	S79°34'01"E
L117	18.36	S01°24'26"W
L118	200.32	S80°19'19"E
L119	18.98	S09°40'41"W
L120	54.33	S85°04'13"E
L121	29.30	N07°27'51"E
L122	17.41	S79°34'01"E
L123	35.94	S07°27'51"W
L124	19.16	S12°24'05"E
L125	13.09	S77°05'39"E
L126	20.02	S10°27'09"W
L127	11.64	N77°05'39"W
L128	69.74	S21°16'47"W
L129	26.70	S41°50'28"E
L130	46.26	S05°58'38"W
L131	25.86	S10°27'09"W
L132	15.08	S05°58'38"W
L133	25.63	S02°30'38"E
L134	55.03	S46°56'01"W
L135	75.21	S68°46'10"W
L136	39.94	S86°11'49"W
L137	79.16	N79°35'23"W
L138	20.00	N10°24'37"E
L139	40.79	S79°35'23"E
L140	22.34	N09°40'41"E
L141	95.02	N68°34'17"W
L142	76.57	N60°01'41"W
L143	69.89	S25°30'05"W
L144	20.00	N64°29'55"W
L145	67.35	N25°30'05"E
L146	117.71	N80°52'05"W
L147	20.00	N09°07'55"E
L148	121.74	S80°52'05"E
L149	124.64	N13°06'56"E
L150	136.55	S77°17'45"W
L151	20.00	N12°42'15"W
L152	56.96	N77°17'45"E
L153	59.31	N09°41'25"E
L154	56.95	N64°13'54"E
L155	26.91	N19°57'34"W
L156	143.67	N80°19'19"W
L157	34.52	S22°14'30"W
L158	107.46	S22°21'39"W
L159	18.88	N67°38'21"W
L160	5.12	N09°40'41"E
L161	102.44	N22°21'39"E
L162	27.62	N22°14'30"E
L163	135.66	N09°40'41"E
L164	198.00	S79°34'01"E
L165	18.89	S59°43'12"W
L166	111.19	S09°40'41"W

EASEMENT LINE TABLE

LINE	LENGTH	BEARING
L167	93.69	S19°57'34"E
L168	76.18	S80°19'20"E
L169	20.00	S09°40'40"W
L170	72.58	N80°19'20"W
L171	137.62	S13°06'56"W
L172	78.47	S60°01'41"E
L173	109.80	S68°34'17"E
L174	38.87	S09°40'41"W
L175	15.88	S79°35'23"E
L176	34.38	N86°11'49"E
L177	68.28	N68°46'10"E
L178	41.97	N46°56'01"E
L179	17.90	N02°30'38"W
L180	15.40	N05°58'38"E
L181	25.08	N10°27'09"E
L182	36.61	N05°58'38"E
L183	12.06	N41°50'28"W
L184	19.50	N77°24'10"W
L185	182.15	S03°09'49"W
L186	20.00	N86°50'11"W
L187	137.20	N03°09'49"E
L188	41.01	N09°40'41"E
L189	63.88	N21°16'47"E
L190	16.86	N12°24'05"W
L191	58.21	N85°04'13"W
L192	3.71	S09°40'41"W
L193	86.63	S26°47'42"E
L194	14.80	N22°23'36"E
L195	62.75	N08°19'31"W
L196	94.60	N10°10'34"E
L197	20.01	S77°57'53"E
L198	90.69	S10°10'34"W
L199	56.73	S08°19'31"E
L200	69.10	S65°13'09"E
L201	55.60	S28°32'47"W
L202	12.43	S06°03'36"E
L203	20.83	N79°49'25"W
L204	18.97	N06°03'36"W
L205	44.62	N55°21'52"W
L206	11.55	S08°09'14"E
L207	26.07	S00°51'17"W
L208	20.27	N79°49'25"W
L209	21.21	N00°51'17"E
L210	26.15	N08°09'14"W
L211	63.60	N10°10'34"E
L212	53.36	S08°09'14"E
L213	43.54	N64°13'54"E
L214	48.15	S19°57'34"E
L215	64.11	S77°17'45"W
L216	40.34	S50°42'31"E
L217	84.93	S44°37'02"E
L218	38.23	S80°19'19"E
L219	6.52	N09°40'41"E
L220	52.68	S77°24'10"E
L221	81.65	N26°47'42"W
L222	146.34	N80°19'19"W

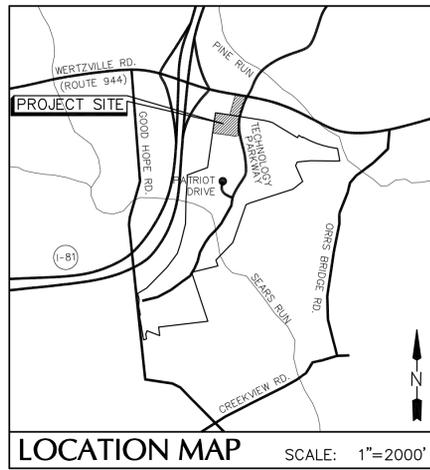
EASEMENT CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIR.
C100	2.62	25.00	6°00'49"	1.31	2.62	N76°33'36"W
C101	104.31	535.00	11°10'17"	52.32	104.15	S04°52'01"W
C102	107.03	555.00	11°02'58"	53.68	106.86	S04°55'40"W

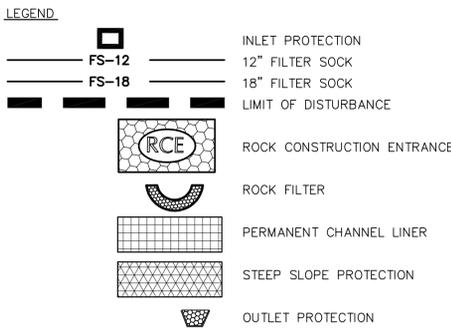


NOTE:
1. ALL EASEMENTS SHOWN ARE STORMWATER EASEMENTS UNLESS OTHERWISE NOTED.

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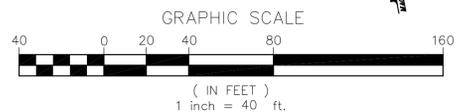
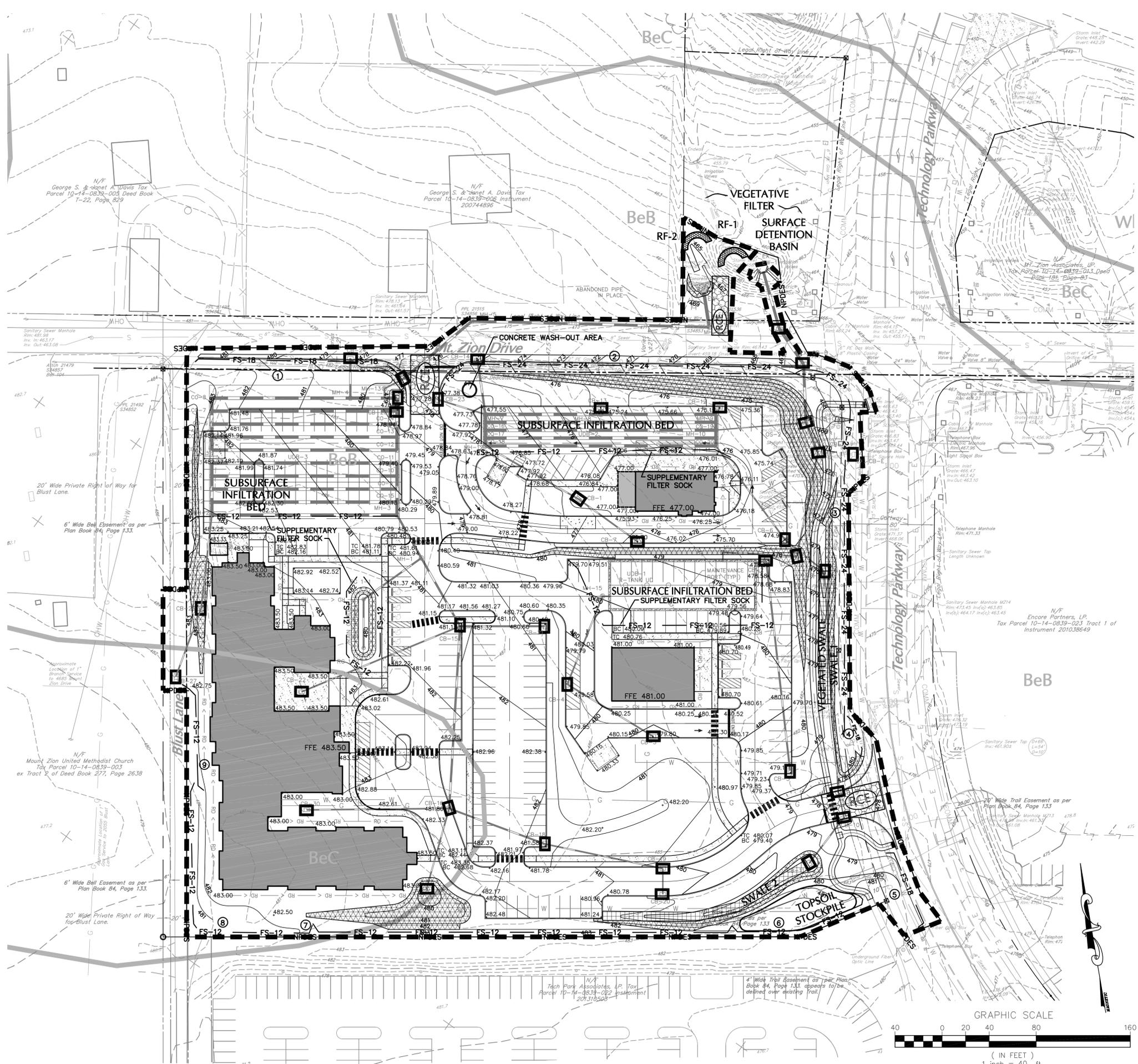


NOTES:
1. LIMIT OF DISTURBANCE AREA 6.89 ACRES.



SOIL TABLE

SOIL SYMBOL	SOIL DESCRIPTION	SLOPE	HYDROLOGIC SOIL GROUP
BeB	Berks Channery Silt Loom	3-8%	B
BeC	Berks Shaly Silt Loom	8-15%	B
WkF	Weikert and Klinesville very Shaly Silt Loom	25-75%	D



K:\PROJECTS\02102.050 - 02102.041 - CTP - Lot 4 - Development\Map\Rev. Prelim. Final\02102.050-Base.dwg 2/7/2020 3:56:08 PM EST

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E&S PLANS SUBMITTED WITH LAND DEVELOPMENT PLANS ARE PRELIMINARY. OWNER AND SITE WORK CONTRACTOR SHALL REFER TO E&S PLANS AND PDSM PLANS APPROVED BY COUNTY CONSERVATION DISTRICT AS PART OF NPDES PERMIT

REV. PRELIM/FINAL SUBD. & LAND DEV. PLAN

CUMBERLAND TECH PARK LOT 4A

LOCATION: TECHNOLOGY PARKWAY
HAMPDEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

EROSION AND SEDIMENT CONTROL PLAN

DRAWN BY: EIS

CHECKED BY: CHH

DATE: 01/07/2020

SCALE: 1" = 40'

JOB NUMBER: 02102.050

REV. PRELIM/FINAL PLAN

BY: EIS

DATE: 02-10-20

DESCRIPTION: REV.

COMPREHENSIVE LAND AND SITE PLANNING

LANDSCAPE ARCHITECTURE

ENGINEERING

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