

Cumberland County Subdivision and Land Development Review Report

Municipality: Hopewell Surveyor/
Engineer: Diffenbaugh Wadel Owner/
Developer: Robert Fitch

Plat Title: Robert Fitch

Plat Status: Final Plat Type: Subdivision

# of New Lots:	<u>1</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>12.62</u>	Total Tract Acreage:	<u>24.48</u>
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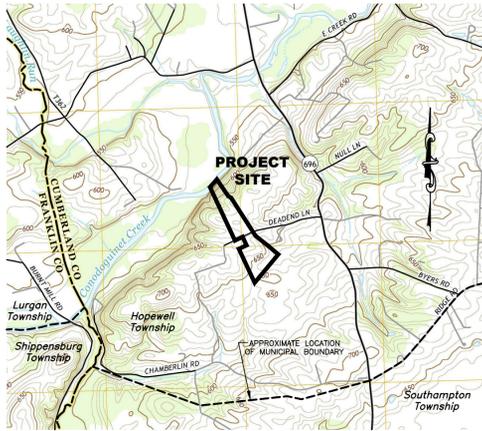
Zoning District: A-1 Proposed Land Use: Residential/Agricultural

Date Received: 1/6/2020 County Review: 1/9/2020 Reviewed by: SH Checked by: _____

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The US Fish and Wildlife NWI wetland designation associated with the Conodoguinet Creek should be shown on the plan (SLDO 302.3.4.B).
2. The purpose of the plan should be included on the Cover Sheet.
3. This property appears to be enrolled in the Cumberland County Clean and Green Program and may be subject to roll-back taxes. Contact the Cumberland County Tax Assessment Office for information.
4. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



LOCATION MAP 1" = 2000'

EXISTING SITE CONDITION NOTES

1. PAMAP program LAS files (Lidar Data Of Pennsylvania) were used to determine contours for the project site (NAVD 88).
2. The 100-year flood zone shown hereon was plotted from the National Flood Insurance Program Map #42041C0331E, effective date March 15 2009. Prior to any encroachments into the flood zone by construction or earthmoving, all applicable permit(s) must be acquired.
3. The National Wetland Inventory Maps do not indicate the presence of any wetland areas other than the Conodoguinet Creek (Classification code: R2UBH) which is shown hereon. A detailed wetland delineation was not completed at this time. Any encroachments into these areas by construction or earthmoving will require a delineation to be completed and the acquisition of any applicable permit(s) prior to the activities commencing. It is noted that no construction or earthmoving is being proposed by this plan.
4. Unless shown, there are no items listed in Section 302.3.4 located within 200 feet of this property or that affect this property. The ability to ensure that all required features are completely and accurately shown may have been limited by the lack of physical evidence and/or the inability to access adjoining properties.
5. The locations of underground utilities as shown on this plan are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities.
6. The location of existing wooded areas and improvements not located in or near the proposed lot are approximate in location and are based on G.I.S. mapping and reflect the accuracy and/or inaccuracy of this source.
7. Lands of Timothy F. & Eva E. Shirk shown as Lot 5 on this plan appear to be enrolled in the Cumberland County Clean & Green Program. (Instrument 201526057).
8. The portion of Deadend Lane that crosses Lot 1 is subject to a maintenance easement agreement which is recorded in R/W Book 423, Page 100. This agreement, which outlines maintenance requirements and grants rights of egress, ingress or regress, was made by and between the now or former owners of the properties located at 1, 5, 9, 14, 16, 22, 30, 51, 58, 70 & 75 Deadend Lane, as listed in the agreement. Because the owners of 408 Shippensburg Road were not and are not parties to the agreement, none of the rights granted by or requirements listed in the agreement extend to the owner of 408 Shippensburg Road. The agreement itself does not create or enhance any legal easement or right-of-way across that portion of Deadend Lane crossing 408 Shippensburg Road.

AGRICULTURAL NUISANCE DISCLAIMER

All lands within the Agricultural Zone are located within an area where land is used for commercial agricultural production. Owners, residents and other users of this property may be subjected to inconvenience, discomfort and the possibility of injury to property and health arising from normal and accepted agricultural practices and operations, including, but not limited to, noise, odors, the operation of machinery of any kind, including aircraft, the storage and disposal of manure, the application of fertilizers, soil amendments, herbicides, and pesticides. Owners, occupants and users of this property should be prepared to accept such inconveniences, discomfort and possibility of injury from normal agricultural operations, and are hereby put on official notice that Section 4 of Pennsylvania Act 133 of 1982, "The Right to Farm Law," may bar them from obtaining a legal judgment against such normal agricultural operations.

PURPOSE OF PLAN

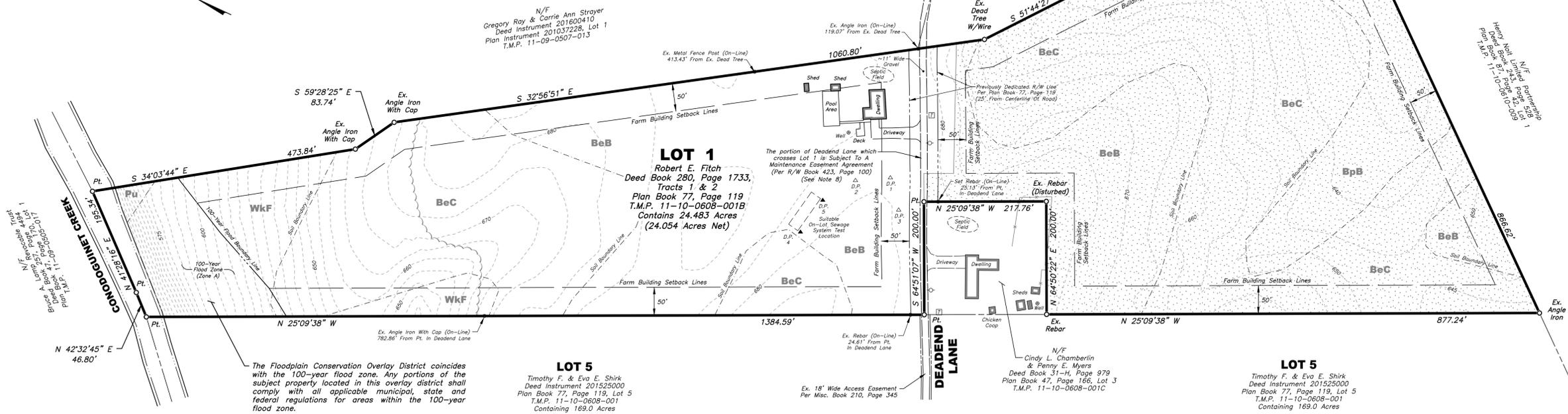
The purpose of this plan is to subdivide a 12.326 acre lot from a 24.483 property, and to add the new lot to an adjoining property. The lot addition and the receiving property will be consolidated into a single property with a single encompassing description.

LOCATION OF PROPOSED LOT 5A (SEE SHEET SD2)



EXISTING SITE CONDITIONS

SCALE: 1" = 100'



STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION

Commonwealth Of Pennsylvania: County Of Cumberland:

On this, the ___ day of _____, 2020 before me, the undersigned officer, personally appeared Robert E. Fitch who being duly sworn according to law deposes and says that he is the owner of the property shown on this plan and that he acknowledges the same to be his plan and desires the same to be recorded as such according to law; and all roads or parts thereof, if not previously dedicated, are hereby tendered for dedication to public use.

Robert E. Fitch

Notary Public Witness my hand and seal the above day and date written.

LOT ADDITION CERTIFICATION

We hereby certify that, as the owners of adjacent land (shown hereon as Lot 5) to the parcel shown as Lot 5A on this plan, it is our intention to acquire said parcel upon approval of this plan. We hereby agree to incorporate Lot 5A with our adjacent land holdings into one (1) tract of land with one encompassing description within ninety (90) days of transfer to our ownership. We further agree to provide a copy of the recorded deed to Hopewell Township within seven (7) days of its recording

Timothy F. Shirk Eva E. Shirk

Notary Public Witness my hand and seal the above day and date written.

WAIVER REQUEST/APPROVAL BLOCK

REQUESTED WAIVER	APPROVED	DISAPPROVED
Hopewell Township SALDO Section 203.1 (Preliminary Plan)		
Hopewell Township SALDO Section 302.1.1 (Scale >1" = 100')		

HOPWELL TOWNSHIP BOARD OF SUPERVISORS APPROVAL

At a meeting on _____, 2020, the Board of Supervisors Of Hopewell Township granted final plan approval of this project, based upon it's conformity with the standards of the Hopewell Township Subdivision And Land Development Ordinance, and all conditions of approval have been met. This approval includes the complete set of plans/reports that are filed with the township and available for public review.

Hopewell Township Board Of Supervisors Attest: Hopewell Township Secretary Chairperson

HOPWELL TOWNSHIP PLANNING COMMISSION REVIEW

At a meeting on _____, 2020, the Hopewell Township Planning Commission reviewed this plan.

Hopewell Township Planning Commission Hopewell Township Secretary Chairperson or Designee

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW

Reviewed by the Cumberland County Planning Department this ___ day of _____, 2020.

Cumberland County Planning Department Director Of Planning

LOT 1 OWNER INFORMATION

Robert E. Fitch 51 Deadend Lane Shippensburg, PA 17257 Phone: (717) 377-3416

LOT 5 OWNER INFORMATION

Timothy F. & Eva E. Shirk 70 Deadend Lane Shippensburg, PA 17257 Phone: (717) 423-6465

LAND SURVEYOR'S CERTIFICATION

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Hopewell Township Subdivision And Land Development Ordinance. The error of closure is no greater than one (1) foot in 10,000 feet for all surveyed property lines.

PLAN REVISIONS

No.	REVISIONS	DATE
1.	Per Twp & CCPD review comments	01-24-2020

FINAL SUBDIVISION PLAN FOR ROBERT E. FITCH

HOPWELL TOWNSHIP - CUMBERLAND COUNTY - COMMONWEALTH OF PENNSYLVANIA



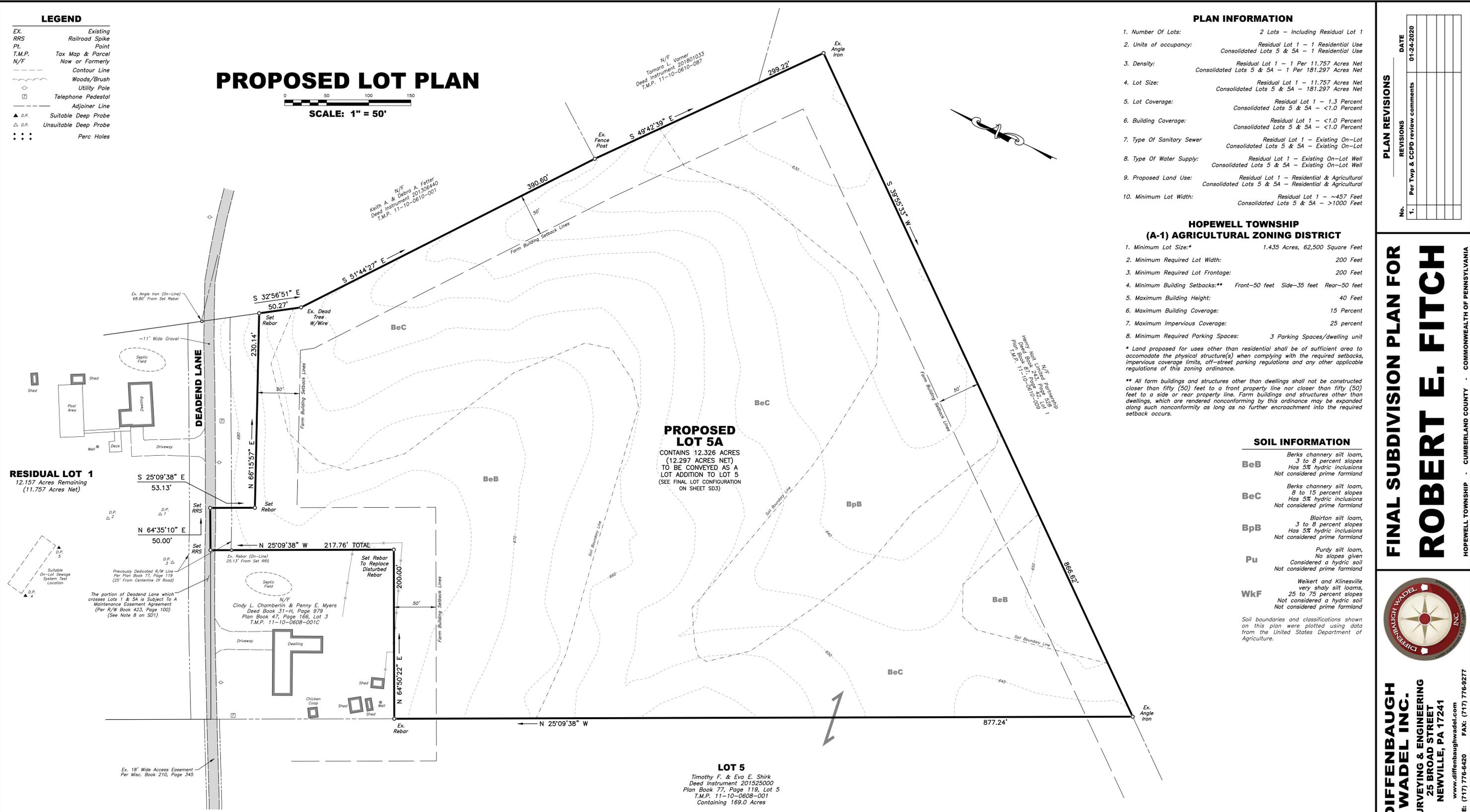
DIFFENBAUGH WADEL INC.
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 NEWVILLE, PA 17241
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 PHONE: (717) 776-6420 FAX: (717) 776-9277

Date	DECEMBER 30, 2019
Scale	1" = 100'
File No.	19078
Drawing Name	19078-SD1
Drawn By	J.B.M.
Project Manager	Michael L. Wadel, PE
Sheet No.	SD1

LEGEND

- EX. Existing
- RRS Railroad Spike
- Pt. Point
- T.M.P. Tax Map & Parcel
- N/F Now or Formerly
- Contour Line
- Woods/Brush
- Utility Pole
- Telephone Pedestal
- Adjoiner Line
- ▲ D.P. Suitable Deep Probe
- △ D.P. Unsuitable Deep Probe
- Perc Holes

PROPOSED LOT PLAN



PLAN INFORMATION

1. Number Of Lots:	2 Lots - Including Residual Lot 1
2. Units of occupancy:	Residual Lot 1 - 1 Residential Use Consolidated Lots 5 & 5A - 1 Residential Use
3. Density:	Residual Lot 1 - 1 Per 11,757 Acres Net Consolidated Lots 5 & 5A - 1 Per 181,297 Acres Net
4. Lot Size:	Residual Lot 1 - 11,757 Acres Net Consolidated Lots 5 & 5A - 181,297 Acres Net
5. Lot Coverage:	Residual Lot 1 - 1.3 Percent Consolidated Lots 5 & 5A - <1.0 Percent
6. Building Coverage:	Residual Lot 1 - <1.0 Percent Consolidated Lots 5 & 5A - <1.0 Percent
7. Type Of Sanitary Sewer:	Residual Lot 1 - Existing On-Lot Consolidated Lots 5 & 5A - Existing On-Lot
8. Type Of Water Supply:	Residual Lot 1 - Existing On-Lot Well Consolidated Lots 5 & 5A - Existing On-Lot Well
9. Proposed Land Use:	Residual Lot 1 - Residential & Agricultural Consolidated Lots 5 & 5A - Residential & Agricultural
10. Minimum Lot Width:	Residual Lot 1 - ~457 Feet Consolidated Lots 5 & 5A - >1000 Feet

HOPWELL TOWNSHIP (A-1) AGRICULTURAL ZONING DISTRICT

1. Minimum Lot Size:	1,435 Acres, 62,500 Square Feet
2. Minimum Required Lot Width:	200 Feet
3. Minimum Required Lot Frontage:	200 Feet
4. Minimum Building Setbacks:**	Front-50 feet Side-35 feet Rear-50 feet
5. Maximum Building Height:	40 Feet
6. Maximum Building Coverage:	15 Percent
7. Maximum Impervious Coverage:	25 percent
8. Minimum Required Parking Spaces:	3 Parking Spaces/dwelling unit

* Land proposed for uses other than residential shall be of sufficient area to accommodate the physical structure(s) when complying with the required setbacks, impervious coverage limits, off-street parking regulations and any other applicable regulations of this zoning ordinance.

** All farm buildings and structures other than dwellings shall not be constructed closer than fifty (50) feet to a front property line nor closer than fifty (50) feet to a side or rear property line. Farm buildings and structures other than dwellings, which are rendered nonconforming by this ordinance may be expanded along such nonconformity as long as no further encroachment into the required setback occurs.

SOIL INFORMATION

- BeB** Berks channery silt loam, 3 to 8 percent slopes Has 5% hydric inclusions Not considered prime farmland
- BeC** Berks channery silt loam, 8 to 15 percent slopes Has 5% hydric inclusions Not considered prime farmland
- BpB** Blairton silt loam, 3 to 8 percent slopes Has 5% hydric inclusions Not considered prime farmland
- Pu** Purdy silt loam, No slopes given Considered a hydric soil Not considered prime farmland
- WkF** Weikert and Klinesville very shaly silt loams, 25 to 75 percent slopes Not considered a hydric soil Not considered prime farmland

Soil boundaries and classifications shown on this plan were plotted using data from the United States Department of Agriculture.

PROPOSED LOT 5A
CONTAINS 12.326 ACRES (12.297 ACRES NET) TO BE CONVEYED AS A LOT ADDITION TO LOT 5 (SEE FINAL LOT CONFIGURATION ON SHEET SD3)

LOT 5
Timothy F. & Eva E. Shirk
Deed Instrument 201525000
Plan Book 77, Page 119, Lot 5
T.M.P. 11-10-0608-001
Containing 169.0 Acres

RESIDUAL LOT 1
12.157 Acres Remaining (11.757 Acres Net)

D.E.P. PLANNING WAIVER & NON-BUILDING FOR RESIDUAL LOT 1

As of the date of this deed/plot plan/deed notice recording, the residual tract of this subdivision is dedicated for the express purpose of residential and agricultural use. No portion of the residual tract of this subdivision has been approved by the municipality or the approving agency for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of sewage collection, conveyance, treatment, or disposal system (except for repairs to existing systems) unless the municipality and approving agency have approved any required sewage facilities planning for the residual tract of the subdivision described herein in accordance with the Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this residual tract should contact the municipality which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

D.E.P. PLANNING WAIVER & NON-BUILDING WAIVER FOR PROPOSED LOT 5A

As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of agricultural use. No portion of Lot 5A of this property/subdivision are approved by Hopewell Township or the Department of Environmental Protection (D.E.P.) for the installation of any sewage disposal facility. No permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment, or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of Hopewell Township who are charged with administering the Sewage Facilities Act to determine the form of sewage facilities planning required and the procedure and requirements for obtaining appropriate permits or approvals.

PROPOSED LOT 5A

* This plan creates a lot addition. Proposed Lot 5A cannot be represented as, or conveyed as, a separate buildable lot, nor can Lot 5A be used by itself by any party for any construction or other land development. The property transfer will result in the recording of a deed with the Cumberland County Recorder Of Deeds. A copy of the recorded deed will be provided to the Township within seven (7) days of it's recording.

PLAN REVISIONS

No.	REVISIONS	DATE
1.	Per Twp & CCPD review comments	01-24-2020

FINAL SUBDIVISION PLAN FOR
ROBERT E. FITCH
HOPEWELL TOWNSHIP - CUMBERLAND COUNTY - COMMONWEALTH OF PENNSYLVANIA



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Date	DECEMBER 30, 2019
Scale	1" = 50'
File No.	19078
Drawing Name	19078-SD2
Drawn By	J.B.M.
Project Manager	Michael L. Wadel, PE
Sheet No.	SD2

FINAL LOT CONFIGURATION NOTES

1. PAMAP program LAS files (Lidar Data Of Pennsylvania) were used to determine contours for the project site (NAVD 88).
2. The 100-year flood zone shown hereon was plotted from the National Flood Insurance Program Map #42041C0331E, effective date March 15 2009. Prior to any encroachments into the flood zone by construction or earthmoving, all applicable permit(s) must be acquired.
3. The National Wetland Inventory Maps do not indicate the presence of any wetland areas other than the Conodoguinet Creek (Classification code: R2UBH) which is shown hereon. A detailed wetland delineation was not completed at this time. Any encroachments into these areas by construction or earthmoving will require a delineation to be completed and the acquisition of any applicable permit(s) prior to the activities commencing. It is noted that no construction or earthmoving is being proposed by this plan.
4. The locations of underground utilities as shown on this plan are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities.
5. The location of existing wooded areas and improvements not located in or near the proposed lot are approximate in location and are based on G.I.S. mapping and reflect the accuracy and/or inaccuracy of this source.

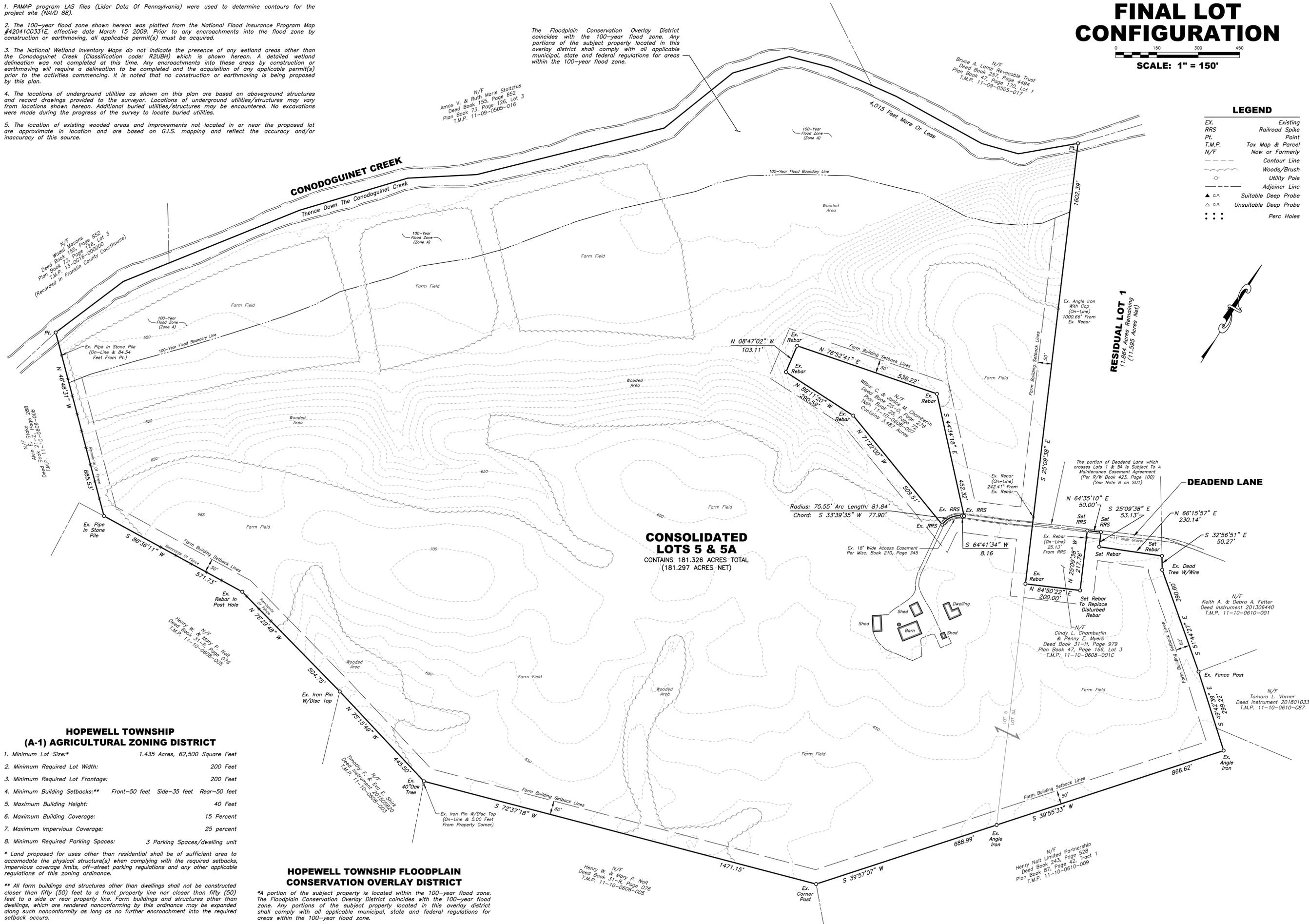
The Floodplain Conservation Overlay District coincides with the 100-year flood zone. Any portions of the subject property located in this overlay district shall comply with all applicable municipal, state and federal regulations for areas within the 100-year flood zone.

FINAL LOT CONFIGURATION



LEGEND

- EX. Existing
- RRS Railroad Spike
- Pl. Point
- T.M.P. Tax Map & Parcel
- N/F Now or Formerly
- Contour Line
- Woods/Brush
- o- Utility Pole
- Adjoiner Line
- ▲ D.P. Suitable Deep Probe
- △ D.P. Unsuitable Deep Probe
- Perc Holes



CONSOLIDATED LOTS 5 & 5A
CONTAINS 181.326 ACRES TOTAL
(181.297 ACRES NET)

HOPEWELL TOWNSHIP (A-1) AGRICULTURAL ZONING DISTRICT

1. Minimum Lot Size:* 1.435 Acres, 62,500 Square Feet
2. Minimum Required Lot Width: 200 Feet
3. Minimum Required Lot Frontage: 200 Feet
4. Minimum Building Setbacks:** Front-50 feet Side-35 feet Rear-50 feet
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6. Maximum Building Coverage: 15 Percent
7. Maximum Impervious Coverage: 25 percent
8. Minimum Required Parking Spaces: 3 Parking Spaces/dwelling unit

* Land proposed for uses other than residential shall be of sufficient area to accommodate the physical structure(s) when complying with the required setbacks, impervious coverage limits, off-street parking regulations and any other applicable regulations of this zoning ordinance.
 ** All farm buildings and structures other than dwellings shall not be constructed closer than fifty (50) feet to a front property line nor closer than fifty (50) feet to a side or rear property line. Farm buildings and structures other than dwellings, which are rendered nonconforming by this ordinance may be expanded along such nonconformity as long as no further encroachment into the required setback occurs.

HOPEWELL TOWNSHIP FLOODPLAIN CONSERVATION OVERLAY DISTRICT

*A portion of the subject property is located within the 100-year flood zone. The Floodplain Conservation Overlay District coincides with the 100-year flood zone. Any portions of the subject property located in this overlay district shall comply with all applicable municipal, state and federal regulations for areas within the 100-year flood zone.

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1.	Per Twp & CCPD review comments	01-24-2020

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 HOPEWELL TOWNSHIP - CUMBERLAND COUNTY - COMMONWEALTH OF PENNSYLVANIA



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Date	DECEMBER 30, 2019
Scale	1" = 150'
File No.	19078
Drawing Name	19078-SD3
Drawn By	J.B.M.
Project Manager	Michael L. Wadel, PE
Sheet No.	SD3