

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Silver Spring</u>	Surveyor/ Engineer:	<u>Akens Engineering Associates, Inc.</u>	Owner/ Developer:	<u>DS&BK LLC</u>
Plat Title:	<u>Kost Road Storage and Truck Parking Facility</u>				
Plat Status:	<u>Preliminary</u>	Plat Type:	<u>Land Development</u>		
# of New Lots:	<u>0</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>34.35</u>
				Total Tract Acreage:	<u>41.94</u>
Zoning District:	<u>Light Industrial</u>		Proposed Land Use:	<u>Mini Storage/Truck Parking</u>	
Date Received:	<u>2/4/2020</u>	County Review:	<u>2/24/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u>KS</u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The two storage unit buildings on the northeast corner of the site do not meet the 25' separation distance between multiple buildings on the same lot (Zoning 221.8.4).
2. The proposed office building should include a dumpster (Zoning 302.4).
3. The plan should address the Pennsylvania DEP Sewage Planning requirements (Zoning 311).
4. The light intensity information on sheet 7 should be labeled (Zoning 347). Are the red lines shown indicating a candle-power figure?
5. The plan date on Sheet 3 should be verified (SLDO 402.02.7).
6. The Existing Resources and Site Analysis Plan should be included (SLDO 402.03).
7. Sheets 3-5 should indicate that the access road, access aisles and parking spaces will be paved. The plan should also indicate the location of Mini-Storage paving and Access Drive paving as described in the details on Sheet 9. The township engineer should verify that the proposed paving is capable of handling the proposed truck traffic (SLDO 402.04.4).
8. The Zoning Data on sheet 3 indicates that the net lot area is 18.35 acres. The data also indicates that the proposed impervious coverage is 18.35 acres. Applicant should clarify these figures (SLDO 402.04.5).
9. The Parking Data on Sheet 3 indicates that 437 storage units are proposed. General Note #1 on the Cover Sheet indicates that 457 storage units are proposed. The applicant should clarify the information on the plan (SLDO 402.04.5).
10. It appears that heavy trucks may cross the Buckeye Pipeline Easement to access the truck storage areas. The Township should request a copy of an approval letter permitting large truck

traffic to traverse the Buckeye Pipeline. The applicant should provide evidence that the access drive will be designed per the Buckeye Pipeline specifications (SLDO 402.04.6).

11. The plan indicates that a 6-inch sanitary sewer lateral is proposed on the northeast corner of the property. The sewer lateral should be shown on the plan (SLDO 402.04.10).
12. A Carbonate Assessment Report should be included with the submission (SLDO 402.05.11).
13. The township may want to consider requiring stop signs or other methods of traffic control within the storage unit area and along all intersections proposed on the main access drive (SLDO 602.07).
14. It appears that the proposed truck and RV parking lot will be accessed by one-way aisles. Applicant should provide directional signage on the plan (SLDO 602.07).
15. A clear sight triangle should be provided at the intersection of the proposed access drive and Kost Road (SLDO 602.18.3.H).
16. The required and provided sight distances should be shown at the intersection of the proposed access drive and Kost Road (SLDO 602.18.3.H).
17. The plan should address whether parking is permitted along the access drive. If not permitted, signage should be provided (SLDO 602.18.5).
18. The end of the proposed parking stalls should include a physical barrier (SLDO 603.05 & 603.16).
19. Curbing should be shown around the access drive and the parking areas (SLDO 603.10).
20. A minimum of 5% of the total area of the proposed parking lots should be devoted to interior landscaping (SLDO 603.16). The Landscaping Requirements shown on sheet 3 should provide proof of compliance with this section.
21. Sidewalks and curbing should be provided along Kost Road (SLDO 604). Developer will install when deemed necessary (General Note 29).
22. The plan should be submitted to the Cumberland County Conservation District for review and approval.
23. The proposed land development is located adjacent to a Conceptual Greenway as indicated in the Cumberland County Land Partnerships Plan and shown on the Future Land Use Map in the Cumberland County Comprehensive Plan. It is recommended that the 15-foot screening be provided along the western side of the proposed development.
24. This property appears to be enrolled in the Cumberland County Clean and Green Program and may be subject to roll-back taxes. Contact the Cumberland County Tax Assessment Office for information.
25. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

GENERAL NOTES:

- THE PURPOSE OF THIS FINAL SUBDIVISION AND LAND DEVELOPMENT IS TO PROPOSE OFFICE BUILDING, 11- STORAGE BUILDINGS (457 UNITS) WITH OUTDOOR STORAGE, 143 RECREATIONAL VEHICLE PARKING SPACES AND 225 TRAILER TRUCK PARKING SPACES. THIS PLAN DOES NOT OFFER ANY LANDS FOR DEDICATION TO PUBLIC USE.
- WATER SUPPLY AND SANITARY SEWER DISPOSAL SERVICE SHALL BE PROVIDED BY PUBLIC UTILITIES.
- EXISTING FEATURES SHOWN ON THE SUBJECT PROPERTY WERE LOCATED BY AKENS ENGINEERING ASSOCIATES, INC. BY FIELD SURVEY TECHNIQUES. ON OCTOBER 9, 2019 EXISTING FEATURES SHOWN ON ADJOINING PROPERTIES ARE LOCATED BY FIELD SURVEY. ALL EXISTING UTILITIES HAVE BEEN APPROXIMATELY LOCATED BY SURVEY OR BY UTILITY COMPANY RECORDS AND MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IN COMPLIANCE WITH PENNSYLVANIA ACT 172, ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE A COMPILATION OF ACTUAL FIELD LOCATION AND DATA FURNISHED FROM INFORMATION SUPPLIED BY OTHERS. AKENS ENGINEERING ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF UNDERGROUND UTILITIES ON THIS DRAWING. ANY REQUEST FOR ADDITIONAL UNDERGROUND UTILITY INFORMATION SHOULD BE DIRECTED TO THAT SPECIFIC UTILITY COMPANY.
- NO PORTION OF THE SUBJECT PROPERTY LIE WITHIN THE DELINEATED 100 YEAR FLOOD FRINGE BOUNDARY AS SHOWN ON F.E.M.A. F.L.R.M. COMMUNITY-PANEL NUMBER 42041C0251E, EFFECTIVE DATE: MARCH 16, 2009, SILVER SPRING TOWNSHIP NUMBER 420370.
- THE SITE BENCHMARK IS REBAR W/CAP SET AT THE EASTSIDE OF KOST ROAD AND THE BUCKEYE PIPELINE. ELEV = 460.47. ELEVATION WAS SET BY OPUS DATA RESOLUTION. ALL ELEVATIONS SHOWN ARE REFERENCED TO THE SITE BENCHMARK SHOWN. THE VERTICAL DATUM OF THE ELEVATIONS SHOWN IS NAVD 1988 AS SHOWN ON U.S.G.S. MAPPING. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE ELEVATIONS SHOWN PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL ALSO ESTABLISH AND MAINTAIN TEMPORARY BENCHMARKS WITHIN THE PROJECT SITE AS NEEDED, AND SHALL BE RESPONSIBLE FOR THE TRANSFER OF THE BENCHMARK IDENTIFIED HEREON.
- NORTHING AND EASTING VALUES LABELED HEREON ARE BASED ON THE PENNSYLVANIA STATE PLAN COORDINATE SYSTEM, SOUTH ZONE.
- ALL PROPOSED STORM WATER MANAGEMENT AND DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE PROPERTY OWNER UNLESS THESE FACILITIES ARE LOCATED WITHIN A PUBLIC RIGHT OF WAY. IN WHICH CASE THE FACILITIES SHALL BE MAINTAINED BY THE OWNER OF THAT PARTICULAR RIGHT OF WAY.
- THE CONTRACTOR SHALL CONSULT THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SPECIFIED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN AS WELL AS ANY ADDITIONAL MEASURES THAT MAY BECOME NECESSARY THROUGHOUT THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO JUTE MATTING, GEOTEXTILE FABRICS, RIP-RAP LININGS, AND CONCRETE LININGS.
- BI-CYCLE SAFE GRATES SHALL BE PROVIDED FOR ALL STORM SEWER INLETS.
- ALL PROPERTY CORNER MONUMENTATION OTHER THAN THOSE ALREADY FOUND AND LABELED AS EXISTING, SHALL BE MARKED WITH IRON PINS BY A PROFESSIONAL LAND SURVEYOR UNLESS OTHERWISE INDICATED HEREON TO HAVE CONCRETE MONUMENTATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT AND SCHEDULE ALL REQUIRED INSPECTIONS WITH RESPECTIVE UTILITY COMPANIES, AUTHORITIES, OR SILVER SPRING TOWNSHIP AT LEAST 48 HOURS PRIOR TO ANY UTILITY CHANGES, MODIFICATIONS, OR TAP-INS.
- DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE TOWNSHIP ENGINEER FOR A PRE-CONSTRUCTION MEETING A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY INTENDED CONSTRUCTION OF STORMWATER FACILITIES FOR INSPECTION.
- THE PROPOSED STORM WATER MANAGEMENT FACILITIES, I.E. THE COLLECTION DITCHES, AND BASIN SHOWN WITHIN THE SUBJECT PROPERTY SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. SILVER SPRING TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO INSPECT, MAINTAIN, AND OPERATE THE STORMWATER MANAGEMENT FACILITIES PROPOSED BY THIS PLAN. DAILY AUTHORIZED REPRESENTATIVES OF SILVER SPRING TOWNSHIP SHALL HAVE THE RIGHT TO ENTER AT REASONABLE TIMES UPON THE PROPERTY TO INSPECT THE IMPLEMENTATION, CONDITION, OR OPERATION OF THE STORM WATER MANAGEMENT FACILITIES IN REGARD TO ANY ASPECT GOVERNED BY CHAPTER 22-706 OF THE SILVER SPRING TOWNSHIP CODE. THE OWNER SHALL INSPECT AND CLEAN THE 18" SLEPP AND TRENCH DRAIN TWICE PER YEAR AND SHALL KEEP THE GROUND COVER IN THE COLLECTION DITCH MOWED TO A HEIGHT OF NO MORE THAN 4". THE COLLECTION DITCH SHALL ALSO BE RE-SEED AS NEEDED. THIS PLAN IS A COMPONENT OF THE DRAINAGE PLAN FOR THE SUBJECT PROPERTY. OTHER DOCUMENTS THAT ARE ALSO COMPONENTS OF THE DRAINAGE PLAN ARE AS APPROVED BY THE SILVER SPRING TOWNSHIP COMMISSIONERS. AND, THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN INCLUDED IN THIS PLAN, AND APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT.
- THE SUBJECT PROPERTY WAS FIELD INSPECTED BY AKENS ENGINEERING ASSOCIATES, INC. ON OCTOBER 9, 2019. THE SUBJECT PROPERTY CONTAINS NO VISIBLE STREAMS, WETLANDS, ROCK OUTCROPS, SOIL SUBSIDENCES, FLOODPLAINS, OR CONTAMINATED SOILS.
- ALL SANITARY SEWER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS FOR SILVER SPRING TOWNSHIP (WITH LATEST REVISIONS) AND SHALL BE SUBJECT TO APPROVAL BY THE APPROPRIATE SILVER SPRING TOWNSHIP OFFICIAL OR THE SILVER SPRING TOWNSHIP ENGINEER.
- THERE ARE NO DEED RESTRICTIONS IMPOSED ON THE PROPERTY.
- AT TIME OF BUILDING PERMIT APPLICATION SUBMISSION, THE APPLICANT WILL NEED TO PAY A \$1,000/AC RECREATION FEE AND A \$100.00 DOWNSTREAM IMPROVEMENTS FEE.
- ALL PIPE AND STRUCTURE CONNECTIONS SHALL BE MADE WITH WATER TIGHT GASKETED JOINTS.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR ALTER ANY SWM BMP'S FACILITIES, AREA, OR STRUCTURES, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
- THE STORMWATER MANAGEMENT FACILITIES CONSTRUCTED AS THE RESULT OF THIS LAND DEVELOPMENT PROJECT SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AT THE OWNER'S SOLE EXPENSE AND IS SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT NUMBER ISSUED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PADEP), HELD BY SILVER SPRING TOWNSHIP FOR DISCHARGES FROM THE MUNICIPAL SEPARATE STORMSEWER SYSTEM (MS4).
- ALL CONSTRUCTION OR MODIFICATIONS OF PUBLIC FACILITIES SHALL COMPLY WITH ALL SECTIONS OF THIS ORDINANCE.
- THE PLAN THAT THE DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN AND ALL APPLICABLE ORDINANCE.
- AN "AS-BUILT" PLAN SHALL BE SUBMITTED UPON PROJECT COMPLETION AND MUST COMPLY WITH ALL SECTION OF THIS ORDINANCE.
- THE DEVELOPER/BUILDER MUST PROVIDE CERTIFICATION THAT THE SITE WORK WILL COMPLY TO THE APPROVED AND RECORDED LAND DEVELOPMENT PLAN AND ANY DEVIATION TO THE GRADING, IMPERVIOUS AREA, FINISHED FLOOR ELEVATIONS, OR UTILITIES WILL BE IDENTIFIED ON A PLAN WITH A DESCRIPTION OF THE CHANGES BEFORE A BUILDING PERMIT WILL BE ISSUED.
- THE PLAN MAY REQUIRE INSPECTIONS CONSISTENT WITH THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE FOR STRUCTURES THAT INCLUDE BUT ARE NOT LIMITED TO BUILDINGS, ANTENNAS, FLAG POLES, LIGHTING FIXTURES, BRIDGES, OUTLALT STRUCTURES, FENCES AND RETAINING WALLS. SPECIFICATIONS FOR THE REQUIRED ITEMS MUST BE SUBMITTED FOR REVIEW AS OR WITH A BUILDING PERMIT. THE TOWNSHIP RESERVES THE RIGHT TO REQUIRE SPECIAL INSPECTIONS AS REFERENCED IN SECTION 1704 OF THE 2009 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE PA UCC. SPECIFICATIONS FOR THESE ITEMS WILL BE REQUIRED TO BE SUBMITTED WITH A BUILDING PERMIT.
- THE DEVELOPER/OWNER WILL INSTALL SIDEWALKS AND CURBING ALONG ALL PUBLIC RIGHT-OF-WAYS AT SUCH TIME WHEN THE TOWNSHIP DEEMS SIDEWALKS TO BE NEEDED IN THE AREA. THE OWNER WILL INSTALL SIDEWALKS IN ACCORDANCE WITH THE TOWNSHIP'S STANDARDS FOR SIDEWALKS WITHIN 120 DAYS OF BEING NOTIFIED THAT SIDEWALKS ARE REQUIRED.
- ANY EXPANSION OF IMPERVIOUS SURFACE BEYOND THE MAXIMUM IMPERVIOUS LOT COVERAGE OF 66% SHALL BE REMOVED AT THE OWNER'S EXPENSE.

PRELIMINARY DEVELOPMENT PLAN

FOR

KOST ROAD STORAGE AND TRUCK PARKING FACILITY

195 KOST ROAD

MECHANICSBURG, PA 17050

SILVER SPRING TOWNSHIP, CUMBERLAND COUNTY, PA

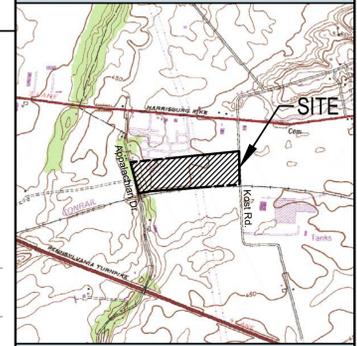
TAX PARCEL NUMBER:
PIN: 38-08-0571-032

LIST OF WAIVERS REQUESTED:

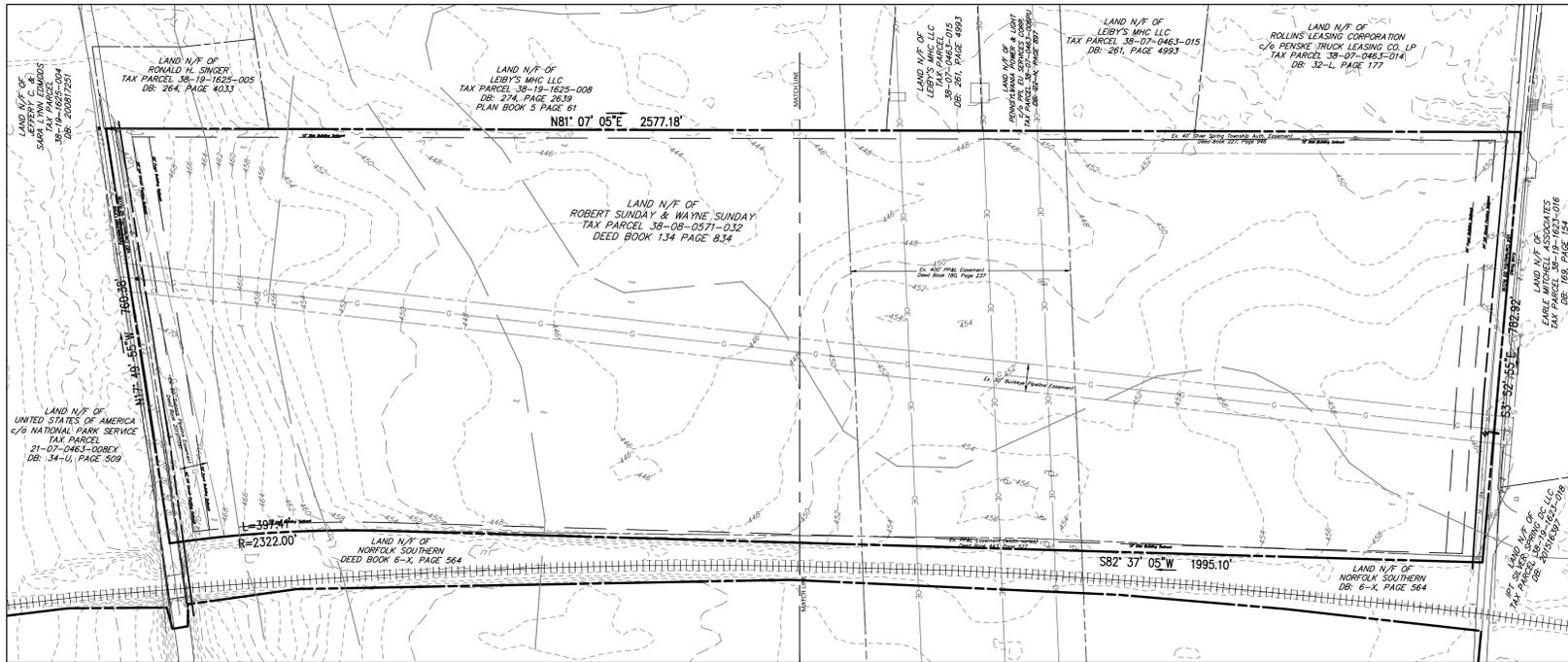
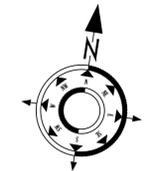
1.

Akens Engineering Associates, Inc.
219 E. Main St. Shiremanstown, Pa. 17011
(P) 717-975-9933 (F) 717-975-5507
www.akensengineering.com
"Providing Quality Engineering & Surveying Services since 1983."

LOCATION MAP



SCALE: 1" = 2000'



SHEET INDEX:

- SHEET 1 OF 9 - COVER
- SHEET 2 OF 9 - EXISTING CONDITIONS OVERALL SITE PLAN
- SHEET 3 OF 9 - PROPOSED OVERALL SITE PLAN
- SHEET 4 OF 9 - PROPOSED SITE PLAN - 50 SCALE
- SHEET 5 OF 9 - PROPOSED SITE PLAN - 50 SCALE
- SHEET 6 OF 9 - LANDSCAPING PLAN
- SHEET 7 OF 9 - LIGHTING PLAN
- SHEET 8 OF 9 - PROFILES
- SHEET 9 OF 9 - DETAILS

ZONING/SITE DATA:

ZONING: I-1 - LIGHT INDUSTRIAL ZONE

PROPERTY USE:

EXISTING: LOT: 38-08-0571-032 - VACANT LOT / AGRICULTURE

LOT AREA:

REQUIRED - UNLESS OTHERWISE SPECIFIED, EACH USE WITHIN THIS ZONE SHALL HAVE A MINIMUM LOT SIZE OF TWENTY THOUSAND (20,000) SQUARE FEET. SEE SECTION 319 FOR PUBLIC UTILITIES STRUCTURES.
PARCEL: 38-08-0571-032
GROSS AREA - 1,916,640 sq. ft. (44 Ac.)
NET AREA - 799,326 sq. ft. (18.35 Ac.)

LOT WIDTH:

REQUIRED: ONE HUNDRED (100) FEET. SEE SECTION 319 FOR PUBLIC UTILITIES STRUCTURES.
PARCEL: 38-08-0571-032 - 782.92 ft.

LOT COVERAGE:

REQUIRED: SIXTY PERCENT (60%); HOWEVER, LOT COVERAGE CAN BE INCREASED SUBJECT TO THE REQUIREMENTS OF SECTION 317 OF THIS ORDINANCE.
PARCEL: 38-08-0571-032 - EXISTING IMPERVIOUS: 0.0 sq. ft. (0.0 Ac.)
LOT COVERAGE - 0.0%
TOTAL EXISTING IMPERVIOUS: 0.0 sq. ft. (0.0 Ac.)
CALCULATED USING THE NET AREA.

MINIMUM SETBACK REQUIREMENTS:

FRONT YARD REQUIRED FROM LOCAL ROAD - BUILDINGS & STRUCTURES, EXCLUDING SIGNS - 50ft.
OFF STREET PARKING - 20ft.
OFF STREET LOADING - NOT PERMITTED IN FRONT YARD
OUTDOOR STORAGE AREAS - NOT PERMITTED IN FRONT YARD
OUTDOOR DISPLAY AREA - 20ft.

SIDE YARD SETBACKS REQUIRED:

ALL BUILDINGS AND STRUCTURES SHALL BE SET BACK AT LEAST TWENTY-FIVE (25) FEET FROM THE SIDE LOT LINES. OFF-STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS SHALL BE SET BACK AT LEAST FIFTEEN (15) FEET FROM THE SIDE LOT LINES, UNLESS JOHN PARKING FACILITIES ARE SHARED BY ADJOINING USES. IN SUCH INSTANCES, ONE OF THE SIDE YARD SETBACKS CAN BE WAIVED SOLELY FOR PARKING FACILITIES.

REAR YARD SETBACK REQUIRED:

ALL BUILDINGS AND STRUCTURES SHALL MAINTAIN A TWENTY-FIVE (25) FOOT REAR YARD SETBACK, OFF-STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS SHALL BE SET BACK AT LEAST FIFTEEN (15) FEET FROM THE REAR LOT LINE.

MAXIMUM PERMITTED HEIGHT:

REQUIRED: FORTY (40) FEET, PROVIDED THAT NO HABITABLE SPACE BE LOCATED ABOVE THIRTY-FIVE (35) FEET, AND THAT ALL STRUCTURES EXCEEDING THIRTY-FIVE (35) FEET IN HEIGHT SHALL BE SET BACK A DISTANCE AT LEAST EQUAL TO THEIR HEIGHT FROM EACH PROPERTY LINE.
38-08-0571-032 - LESS THAN 45 ft.

BUILDING SEPARATION SETBACKS:

FOR MULTIPLE BUILDINGS CONTAINED ON THE SAME LOT, THERE SHALL BE PROVIDED A MINIMUM OF TWENTY-FIVE (25) FEET BETWEEN THE CLOSEST POINTS OF SUCH BUILDINGS.

RESIDENTIAL BUFFER STRIP:

ANY LOT ADJOINING LAND PRINCIPALLY USED AS A RESIDENCE OR WITHIN A RESIDENTIAL ZONE SHALL MAINTAIN A FIFTY (50) FOOT SETBACK FOR BUILDINGS, STRUCTURES, OFF STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS FROM RESIDENTIALLY USED AND/OR ZONED PARCELS.

SCREENING:

A VISUAL SCREEN MUST BE PROVIDED ALONG ANY ADJOINING LANDS WITHIN A RESIDENTIAL ZONE, REGARDLESS OF WHETHER OR NOT THE RESIDENTIALLY ZONED PARCEL IS DEVELOPED.

LANDSCAPING:

ANY PORTION OF THE SITE NOT USED FOR BUILDINGS, STRUCTURES, PARKING COMPOUNDS, LOADING AREAS, OUTDOOR STORAGE AREAS, AND SIDEWALKS SHALL BE MAINTAINED WITH A VEGETATIVE GROUND COVER AND OTHER ORNAMENTAL PLANTINGS. A MINIMUM FIFTEEN (15) FOOT LANDSCAPE STRIP SHALL BE PROVIDED ALONG PROPERTY LINES.

WASTE PRODUCTS:

STORAGE OF INDUSTRIAL WASTE MATERIALS SHALL NOT BE PERMITTED, EXCEPT WITHIN AN ENCLOSED BUILDING. DUMPSTERS USED FOR DOMESTIC GARBAGE MAY BE PERMITTED WITHIN THE SIDE OR REAR YARD, PROVIDED SUCH DUMPSTERS ARE SCREENED FROM ANY ADJOINING ROADS OR PROPERTIES. SUCH DUMPSTERS SHALL NOT BE USED FOR INDUSTRIAL WASTES. ALL DUMPSTERS SHALL BE SET BACK TWENTY-FIVE (25) FEET FROM ALL LOT LINES AND FIFTY (50) FEET FROM ANY ADJOINING RESIDENTIALLY ZONED PROPERTY. ALL TRASH DUMPSTERS SHALL BE LOCATED WITHIN A SIDE OR REAR YARD, SCREENED FROM ADJOINING ROADS OR PROPERTIES, AND COMPLETELY ENCLOSED WITHIN A MASONRY OR FENCED ENCLOSURE EQUIPPED WITH A SELF-LATCHING DOOR OR GATE. ALL USES SHALL COMPLY WITH SECTION 302.4 OF THIS ORDINANCE.

OUTDOOR STORAGE AND DISPLAY:

WITHIN THIS ZONE, OUTDOOR STORAGE IS PERMITTED, PROVIDED ALL OUTDOOR STORAGE AREAS ARE SCREENED FROM ADJOINING ROADS AND PROPERTIES, AND THE OUTDOOR STORAGE AREAS COMPLY WITH THE SETBACKS IMPOSED WITHIN THIS SECTION. OUTDOOR DISPLAY AREAS NEED NOT BE SCREENED FROM ADJOINING ROADS IF THEY ARE LOCATED WITHIN THE FRONT YARD.

LIST OF UTILITIES:

INFORMATION CONCERNING UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR IS RESPONSIBLE TO CONTACT ALL UTILITY OWNERS, AND TO DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES, PRIOR TO EXCAVATION BY USE OF POWER-OPERATED EQUIPMENT.

PA ONE-CALL SERIAL NUMBER - 2019364263

PENNSYLVANIA AMERICAN WATER
852 WESLEY DRIVE
MECHANICSBURG, PA. 17055
CONTACT: RON FELKER
EMAIL: ronald.felker@amwater.com

SILVER SPRING TOWNSHIP AUTHORITY
5 WILLOW MILL PARK RD
SUITE 3
MECHANICSBURG, PA. 17050
CONTACT: JAMES STEVENS
EMAIL: silverspringauth@comcast.net

VERIZON PENNSYLVANIA LLC
15 E MONTGOMERY AVE
PITTSBURGH, PA. 15212
CONTACT: OFFICE PERSONNEL

BUCKEYE PARTNERS
FIVE TEK PARK
9999 HAMILTON BLVD
BRIDGESSVILLE, PA. 18031
CONTACT: DAVE JONES
EMAIL: DAJONES@BUCKEYE.COM

PPL ELECTRIC UTILITIES
1 LARCH STREET
SCRANTON, PA. 18509
CONTACT: MICHELLE GERITTY-DRUTHER
EMAIL: mgeritty-druther@pplweb.com

COMPANY-COMCAST CABLE COMMUNICATIONS INC
ADDRESS: C/O USIC LOCATING SERVICES INC
1308 HAMILTON CROSSING BLVD
STE 200
CARMEL, IN. 46032
CONTACT: USIC OFFICE PERSONNEL

COMCAST
4601 SMITH ST
HARRISBURG, PA. 17109
CONTACT: MICHAEL SWEIGARD
EMAIL: mike_sweigard@cable.comcast.com

SILVER SPRING TOWNSHIP
6475 CARLISLE PIKE
MECHANICSBURG, PA. 17050
CONTACT: LONNIE MILLER
EMAIL: lmillner@silverpringwp-pa.gov

UGI UTILITIES INC
1301 A 1 P DR
MIDDLETOWN, PA. 17057
CONTACT: JOANNE ARCHFIELD
EMAIL: jarchfield@ugi.com

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4601 SMITH ST
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CONTACT: MICHAEL SWEIGARD
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OWNER OF EXISTING LOT:

ROBERT SUNDAY & WAYNE SUNDAY
84 APPALACHIAN DRIVE
MECHANICSBURG, PA 17050

PIN NUMBER: 38-08-0571-032
SITE ADDRESS: 100 APPALACHIAN DRIVE
DEED BOOK: 134-834

APPLICANT/EQUITABLE OWNER:

ATTN: SAM LONGIA
10 HIDDEN MEADOWS DRIVE
MECHANICSBURG, PA 17055
EMAIL: SLONGIA@MSN.COM
PHONE: 717-266-2127

PROJECT ENGINEER/SURVEYOR

AKENS ENGINEERING ASSOCIATES, INC.
SCOTT W. AKENS, P.E., P.L.S.
219 E. Main St. Shiremanstown, Pa. 17011 (P)
717-975-9933 (F) 717-975-5507
www.akensengineering.com
scott@akensengineering.com

STATEMENT OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CUMBERLAND
On this, the _____ day of _____, 2020, before me, the undersigned officer, personally appeared _____ being _____ of DS&BK, LLC., the owner of the property shown on this plan, that he/she is authorized to execute said plan on behalf of the corporation, that the plan is to be the act and deed of the corporation, that the corporation desires the same to be recorded and on behalf of the corporation.

My Commission Expires _____, 20_____

- * Signature of the individual
- ** Signature/Seal of Notary Public

PLANNING COMMISSION REVIEW STATEMENT

At a meeting on _____, 2020, the Silver Spring Township Planning Commission reviewed this plan.
TOWNSHIP OF SILVER SPRING
PLANNING COMMISSION

Chairman

ATTEST
Silver Spring Township Secretary

TOWNSHIP ENGINEER REVIEW STATEMENT

Reviewed on _____, 2020 by Township Engineer

Township Engineer

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW STATEMENT

Reviewed on _____, 2020 by the Cumberland County Planning Department.

Director of Planning

Director of Planning

FINAL PLAN APPROVAL STATEMENT

Approved by the Silver Spring Township Board of Supervisors and all conditions imposed on such approval were completed on this _____ day of _____, 2020.

TOWNSHIP OF SILVER SPRING
BOARD OF SUPERVISORS

ATTEST
Silver Spring Township Secretary

STATEMENT OF ACCURACY SURVEY DATA

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Silver Spring Township Subdivision and Land Development Ordinance. The error of closure no greater than one foot in ten thousand feet.

_____, 2020

GENERAL PLAN/REPORT DATA

I hereby certify that, to the best of my knowledge, the Final Land Development Plan for Groff Tractor and Equipment shown and described hereon is true and correct to the accuracy required by the Silver Spring Township Subdivision and Land Development Ordinance.
_____, 2020



RECORDER OF DEEDS CERTIFICATE

Recorded in the Office for Recording of Deeds, in and for Cumberland County, Pennsylvania, in Plan Book _____, Page _____, this _____ day of _____, 2019.

PRELIMINARY LAND DEVELOPMENT PLAN FOR KOST ROAD STORAGE AND TRUCK PARKING FACILITY

**195 KOST ROAD
MECHANICSBURG, PA 17050**

**SILVER SPRING TOWNSHIP
CUMBERLAND COUNTY, PA**

PROPOSED SITE PLAN

SCALE: 1" = 150'

PLAN DATE: 1 of 9

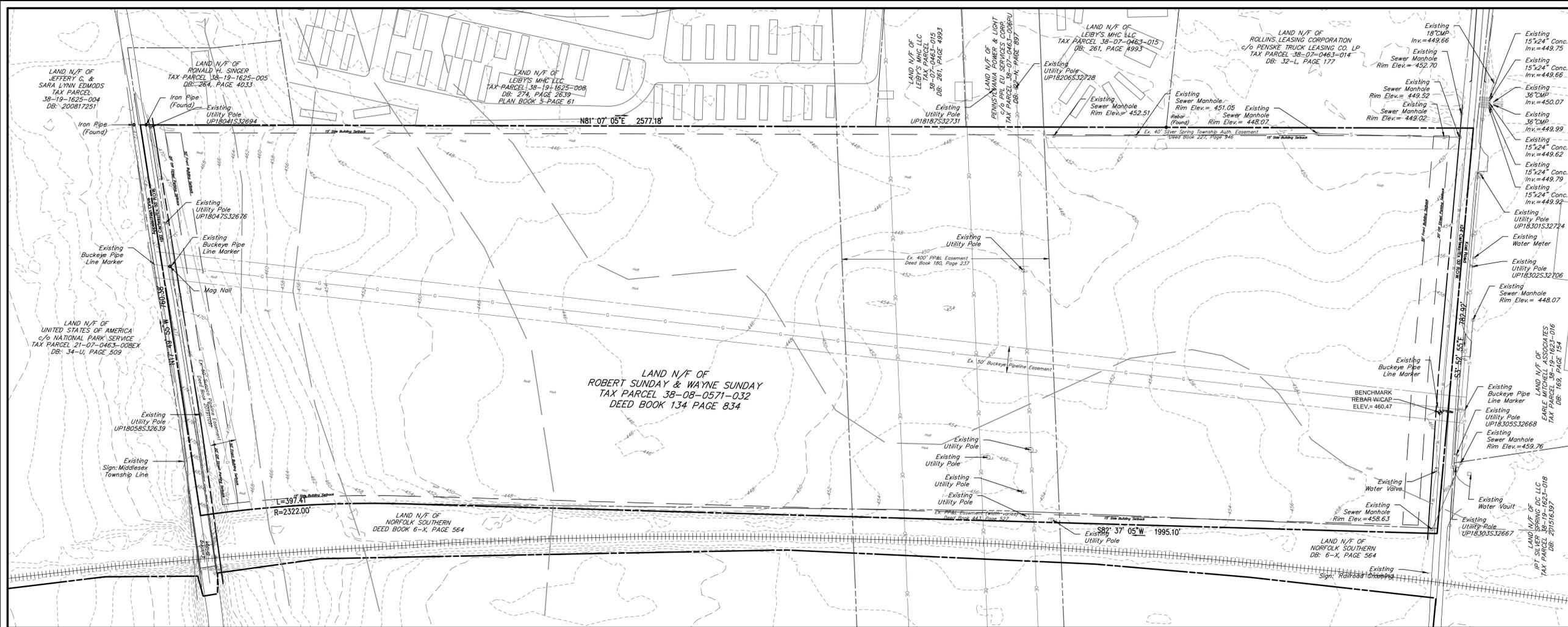
FEBRUARY 4, 2020

FILE NAME:

703-2 DS&BK LLC Storage Facility - BASE.dwg

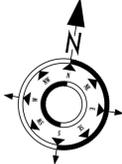
CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE
STOPI - CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776



EXISTING LEGEND

EX. PROPERTY BOUNDARY LINE	---
EX. ADJOINER PROPERTY LINE	---
EX. EASEMENT	---
EX. BUILDING SETBACK LINE	---
EX. CONTOUR LINE	---
EX. CONCRETE CURB	---
EX. UTILITY POLES & WIRES	---
EX. WATER PIPES, VALVES & HYDRANTS	---
EX. NATURAL GAS PIPES & VALVES	---
EX. SANITARY SEWER PIPE & MANHOLES	---
EX. STORM SEWER PIPES & INLETS	---
EX. EDGE OF MACADAM SURFACE	---
EX. EDGE OF GRAVEL SURFACE	---
EX. WHITE LINE	---
EX. CENTER LINE OF ROAD	---
EX. LEGAL RIGHT OF WAY	---
EX. SOIL BOUNDARY	---
EX. ZONING BOUNDARY	---
EX. TREE LINES AND SHRUBS	---
EX. AREA LIGHTING	---
EX. MISCELLANEOUS SIGNS	---
EX. 4" WIDE CONCRETE SIDEWALK	---



ZONING/SITE DATA:
 ZONING: I-1 - LIGHT INDUSTRIAL ZONE

PROPERTY USE:
 EXISTING:
 LOT: 38-08-0571-032 - VACANT LOT / AGRICULTURE

LOT AREA:
 REQUIRED - UNLESS OTHERWISE SPECIFIED, EACH USE WITHIN THIS ZONE SHALL HAVE A MINIMUM LOT SIZE OF TWENTY THOUSAND (20,000) SQUARE FEET. SEE SECTION 319 FOR PUBLIC UTILITIES STRUCTURES.
 PARCEL: 38-08-0571-032
 GROSS AREA - 1,916,640 sq. ft. (44 Ac.)
 NET AREA - 799,326 sq. ft. (18.35 Ac.)

LOT WIDTH:
 REQUIRED: ONE HUNDRED (100) FEET. SEE SECTION 319 FOR PUBLIC UTILITIES STRUCTURES.
 PARCEL: 38-08-0571-032 - 782.92 ft.

LOT COVERAGE:
 REQUIRED: SIXTY PERCENT (60%); HOWEVER, LOT COVERAGE CAN BE INCREASED SUBJECT TO THE REQUIREMENTS OF SECTION 317 OF THIS ORDINANCE.
 PARCEL: 38-08-0571-032 - EXISTING IMPERVIOUS: 0.0 sq. ft. (0.0 Ac.)
 LOT COVERAGE - 0.0%
 TOTAL EXISTING IMPERVIOUS: 0.0 sq. ft. (0.0 Ac.)
 CALCULATED USING THE NET AREAS.

MAXIMUM PERMITTED HEIGHT:
 REQUIRED: FORTY (40) FEET, PROVIDED THAT NO HABITABLE SPACE BE LOCATED ABOVE THIRTY-FIVE (35) FEET, AND THAT ALL STRUCTURES EXCEEDING THIRTY-FIVE (35) FEET IN HEIGHT SHALL BE SET BACK A DISTANCE AT LEAST EQUAL TO THEIR HEIGHT FROM EACH PROPERTY LINE.
 38-08-0571-032 - LESS THAN 45 ft.

BUILDING SEPARATION SETBACKS:
 FOR MULTIPLE BUILDINGS CONTAINED ON THE SAME LOT, THERE SHALL BE PROVIDED A MINIMUM OF TWENTY-FIVE (25) FEET BETWEEN THE CLOSEST POINTS OF SUCH BUILDINGS.

RESIDENTIAL BUFFER STRIP:
 ANY LOT ADJOINING LAND PRINCIPALLY USED AS A RESIDENCE OR WITHIN A RESIDENTIAL ZONE SHALL MAINTAIN A FIFTY (50) FOOT SETBACK FOR BUILDINGS, STRUCTURES, OFF STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS FROM RESIDENTIALLY USED AND/OR ZONED PARCELS.

SCREENING:
 A VISUAL SCREEN MUST BE PROVIDED ALONG ANY ADJOINING LANDS WITHIN A RESIDENTIAL ZONE, REGARDLESS OF WHETHER OR NOT THE RESIDENTIALLY ZONED PARCEL IS DEVELOPED.

LANDSCAPING:
 ANY PORTION OF THE SITE NOT USED FOR BUILDINGS, STRUCTURES, PARKING COMPOUNDS, LOADING AREAS, OUTDOOR STORAGE AREAS, AND SIDEWALKS SHALL BE MAINTAINED WITH A VEGETATIVE GROUND COVER AND OTHER ORNAMENTAL PLANTINGS. A MINIMUM FIFTEEN (15) FOOT LANDSCAPE STRIP SHALL BE PROVIDED ALONG PROPERTY LINES.

MINIMUM SETBACK REQUIREMENTS:
 FRONT YARD REQUIRED FROM LOCAL ROAD:
 BUILDINGS & STRUCTURES, EXCLUDING SIGNS - 50ft.
 OFF STREET PARKING - 20ft.
 OFF STREET LOADING - NOT PERMITTED IN FRONT YARD
 OUTDOOR STORAGE AREAS - NOT PERMITTED IN FRONT YARD
 OUTDOOR DISPLAY AREA - 20ft.

SIDE YARD SETBACKS REQUIRED:
 ALL BUILDINGS AND STRUCTURES SHALL BE SET BACK AT LEAST TWENTY-FIVE (25) FEET FROM THE SIDE LOT LINES, OFF-STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS SHALL BE SET BACK AT LEAST FIFTEEN (15) FEET FROM THE SIDE LOT LINES, UNLESS JOINT PARKING FACILITIES ARE SHARED BY ADJOINING USES. IN SUCH INSTANCES, ONE OF THE SIDE YARD SETBACKS CAN BE WAIVED SOLELY FOR PARKING FACILITIES.

REAR YARD SETBACK REQUIRED:
 ALL BUILDINGS AND STRUCTURES SHALL MAINTAIN A TWENTY-FIVE (25) FOOT REAR YARD SETBACK; OFF-STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS SHALL BE SET BACK AT LEAST FIFTEEN (15) FEET FROM THE REAR LOT LINE.

WASTE PRODUCTS:
 STORAGE OF INDUSTRIAL WASTE MATERIALS SHALL NOT BE PERMITTED, EXCEPT WITHIN AN ENCLOSED BUILDING. DUMPSTERS USED FOR DOMESTIC GARBAGE MAY BE PERMITTED WITHIN THE SIDE OR REAR YARD, PROVIDED SUCH DUMPSTERS ARE SCREENED FROM ANY ADJOINING ROADS OR PROPERTIES. SUCH DUMPSTERS SHALL NOT BE USED FOR INDUSTRIAL WASTES. ALL DUMPSTERS SHALL BE SET BACK TWENTY-FIVE (25) FEET FROM ALL LOT LINES AND FIFTY (50) FEET FROM ANY ADJOINING RESIDENTIALLY ZONED PROPERTY. ALL TRASH DUMPSTERS SHALL BE LOCATED WITHIN A SIDE OR REAR YARD, SCREENED FROM ADJOINING ROADS OR PROPERTIES, AND COMPLETELY ENCLOSED WITHIN A MASONRY OR FENCED ENCLOSURE EQUIPPED WITH A SELF-LATCHING DOOR OR GATE. ALL USES SHALL COMPLY WITH SECTION 302.4. OF THIS ORDINANCE.

OUTDOOR STORAGE AND DISPLAY:
 WITHIN THIS ZONE, OUTDOOR STORAGE IS PERMITTED, PROVIDED ALL OUTDOOR STORAGE AREAS ARE SCREENED FROM ADJOINING ROADS AND PROPERTIES, AND THE OUTDOOR STORAGE AREAS COMPLY WITH THE SETBACKS IMPOSED WITHIN THIS SECTION. OUTDOOR DISPLAY AREAS NEED NOT BE SCREENED FROM ADJOINING ROADS IF THEY ARE LOCATED WITHIN THE FRONT YARD.

SOIL MAP UNITS

HbA	HAGERSTOWN SILT LOAM, 0 - 3% SLOPES, (HSG-B)
HbB	HAGERSTOWN SILT LOAM, 8 - 15% SLOPES, (HSG-B)
NeB	NESHAMINY GRAVELLY SILT LOAMS, 3 - 8% SLOPES, (HSG-C)

0 100' 200'

REVISIONS:

MONTH, DAY, YEAR: REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR KOST ROAD STORAGE AND TRUCK PARKING FACILITY

**195 KOST ROAD
 MECHANICSBURG, PA 17050**

**SILVER SPRING TOWNSHIP
 CUMBERLAND COUNTY, PA**

**EXISTING CONDITIONS
 OVERALL SITE PLAN**

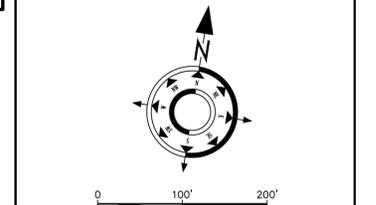
SCALE:	SHEET NUMBER:
1" = 100'	2 of 9
PLAN DATE:	
FEBRUARY 4, 2020	
FILE NAME:	
703-2 DS&BK LLC Storage Facility - BASE.dwg	

EXISTING LEGEND

EX. PROPERTY BOUNDARY LINE	---
EX. ADJOINER PROPERTY LINE	---
EX. EASEMENT	---
EX. BUILDING SETBACK LINE	---
EX. CONTOUR LINE	---
EX. CONCRETE CURB	---
EX. UTILITY POLES & WIRES	---
EX. WATER PIPES, VALVES & HYDRANTS	---
EX. NATURAL GAS PIPES & VALVES	---
EX. SANITARY SEWER PIPE & MANHOLES	---
EX. STORM SEWER PIPES & INLETS	---
EX. EDGE OF MACADAM SURFACE	---
EX. EDGE OF GRAVEL SURFACE	---
EX. WHITE LINE	---
EX. CENTER LINE OF ROAD	---
EX. LEGAL RIGHT OF WAY	---
EX. SOL. BOUNDARY	---
EX. ZONING BOUNDARY	---
EX. TREE LINES AND SHRUBS	---
EX. AREA LIGHTING	---
EX. MISCELLANEOUS SIGNS	---
EX. 4' WIDE CONCRETE SIDEWALK	---

PROPOSED LEGEND

PROPOSED STORAGE BUILDING	---
PROPOSED EDGE OF MACADAM / MILLINGS	---
PROPOSED 15' LANDSCAPE STRIP AND BUFFER SCREENING	---
PROPOSED CONTOUR LINE	---
PROPOSED FENCE	---
PROPOSED UNDERGROUND ELECTRIC	---
PROPOSED OVERHEAD ELECTRIC	---
PROPOSED WATER LINE	---
PROPOSED SANITARY SEWER LATERAL	---



REVISIONS:

MONTH, DAY, YEAR: REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR KOST ROAD STORAGE AND TRUCK PARKING FACILITY

**195 KOST ROAD
MECHANICSBURG, PA 17050**

**SILVER SPRING TOWNSHIP
CUMBERLAND COUNTY, PA**

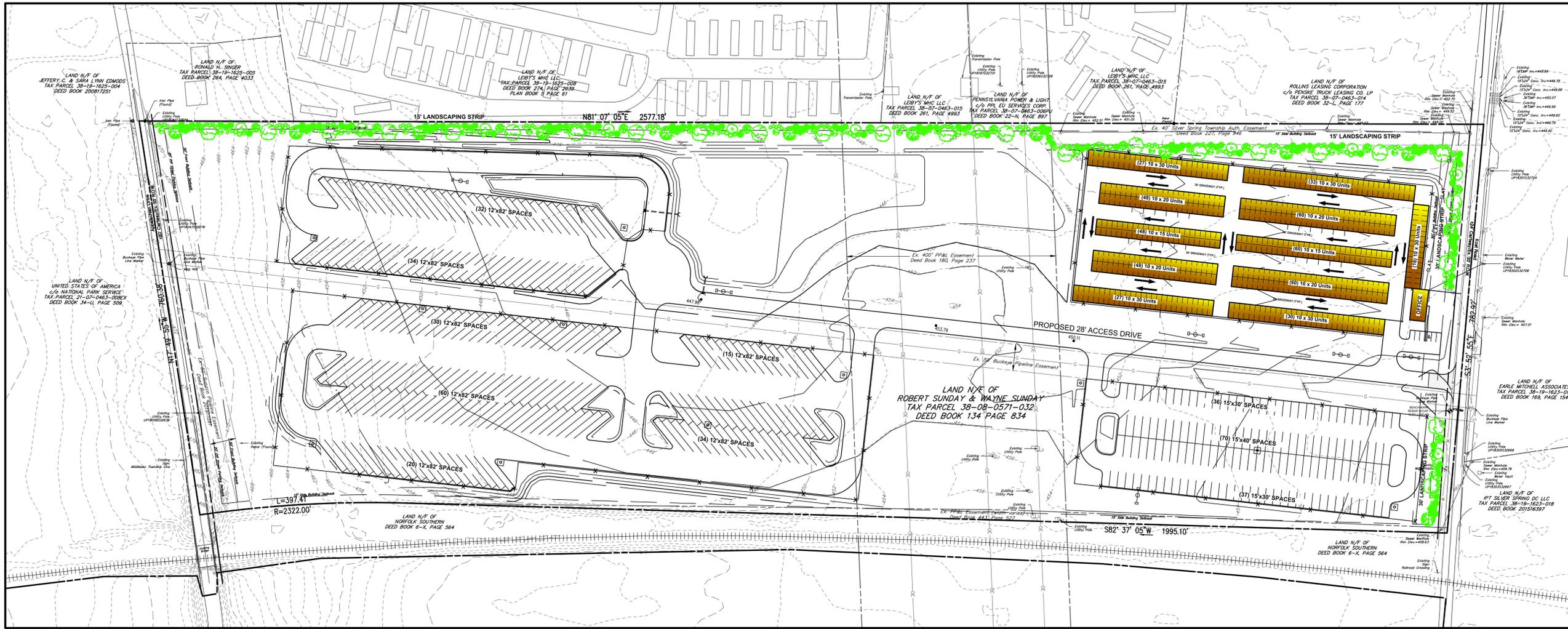
PROPOSED OVERALL PLAN

SCALE: 1" = 100'

SHEET NUMBER: 3 of 9

PLAN DATE: JANUARY 2, 2010

FILE NAME: X:\1703-2 Storage Facility\Drawings\703-2 DS&BK LLC Storage Facility - BASE.dwg



ZONING/SITE DATA:

ZONING: I-1 - LIGHT INDUSTRIAL ZONE

ZONING STATEMENT:

TO PERMIT AND ENCOURAGE SMALL-SCALE LIGHT INDUSTRIAL DEVELOPMENT AND TO CONSOLIDATE LOCATIONS OF LIGHT INDUSTRIAL RELATED LAND USES THAT BECAUSE OF THEIR SHIPPING, STORAGE AND OTHER REQUIREMENTS EXERT SPECIAL DEMANDS IN SILVER SPRING TOWNSHIP. NEW CONSTRUCTION FOR NON-RESIDENTIAL USES SHALL BE ENCOURAGED WHILE COMPLEMENTING AND SERVING THE LOCAL COMMUNITY. THE INTENT OF THE PROVIDED DESIGN STANDARDS IS TO ENCOURAGE FUNCTIONAL, ATTRACTIVE SITES WHILE CONSERVING THE VALUE OF NEIGHBORING RESIDENTIAL AREAS AND PROMOTING ECONOMIC DEVELOPMENT. THE PROVIDED DESIGN STANDARDS SHALL REGULATE THE INTENSITY OF ALL PERMITTED USES AND TO MINIMIZE NEGATIVE IMPACTS FOR ADJUTING RESIDENTIAL AREAS AND LOCAL ROADWAYS THAT MAY BE EFFECTED BY INCREASED TRUCK TRAFFIC.

PROPERTY USE:

EXISTING: LOT: 38-08-0571-032 - VACANT LOT / AGRICULTURE
 PROPOSED: SELF STORAGE FACILITY AND RELATED SITE IMPROVEMENTS.

LOT AREA:

REQUIRED - UNLESS OTHERWISE SPECIFIED, EACH USE WITHIN THIS ZONE SHALL HAVE A MINIMUM LOT SIZE OF TWENTY THOUSAND (20,000) SQUARE FEET. SEE SECTION 319 FOR PUBLIC UTILITIES STRUCTURES.
 LOT: 38-08-0571-032
 GROSS AREA - 1,916,640 sq. ft. (44 Ac.)
 NET AREA - 799,326 sq. ft. (18.35 Ac.)

LOT WIDTH:

REQUIRED: ONE HUNDRED (100) FEET. SEE SECTION 319 FOR PUBLIC UTILITIES STRUCTURES.
 LOT: 38-08-0571-032 - 782.92 ft.

LOT COVERAGE:

REQUIRED: SIXTY PERCENT (60%); HOWEVER, LOT COVERAGE CAN BE INCREASED SUBJECT TO THE REQUIREMENTS OF SECTION 317 OF THIS ORDINANCE.
 EXISTING: LOT: 38-08-0571-032 - IMPERVIOUS: 0.0 sq. ft. (0.0 Ac.)
 LOT COVERAGE - 0.0%
 PROPOSED: LOT: 38-08-0571-032 - IMPERVIOUS: 799,326 sq. ft. (18.35 Ac.)
 LOT COVERAGE - 43.75%
 CALCULATED USING THE NET AREA.

MINIMUM SETBACK REQUIREMENTS:

FRONT YARD REQUIRED FROM LOCAL ROAD, BUILDINGS & STRUCTURES, EXCLUDING SIGNS - 50ft.
 OFF STREET PARKING - 20ft.
 OFF STREET LOADING - NOT PERMITTED IN FRONT YARD
 OUTDOOR STORAGE AREAS - NOT PERMITTED IN FRONT YARD
 OUTDOOR DISPLAY AREA - 20ft.

SIDE YARD SETBACKS REQUIRED:

ALL BUILDINGS AND STRUCTURES SHALL BE SET BACK AT LEAST TWENTY-FIVE (25) FEET FROM THE SIDE LOT LINES. OFF-STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS SHALL BE SET BACK AT LEAST FIFTEEN (15) FEET FROM THE SIDE LOT LINES. UNLESS JOINT PARKING FACILITIES ARE SHARED BY ADJOINING USES. IN SUCH INSTANCES, ONE OF THE SIDE YARD SETBACKS CAN BE WAIVED SOLELY FOR PARKING FACILITIES.

REAR YARD SETBACK REQUIRED:

ALL BUILDINGS AND STRUCTURES SHALL MAINTAIN A TWENTY-FIVE (25) FOOT REAR YARD SETBACK, OFF-STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS SHALL BE SET BACK AT LEAST FIFTEEN (15) FEET FROM THE REAR LOT LINE.

MAXIMUM PERMITTED HEIGHT:

REQUIRED: FORTY (40) FEET, PROVIDED THAT NO HABITABLE SPACE BE LOCATED ABOVE THIRTY-FIVE (35) FEET, AND THAT ALL STRUCTURES EXCEEDING THIRTY-FIVE (35) FEET IN HEIGHT SHALL BE SET BACK A DISTANCE AT LEAST EQUAL TO THEIR HEIGHT FROM EACH PROPERTY LINE.
 38-08-0571-032 - LESS THAN 45 ft.

BUILDING SEPARATION SETBACKS:

FOR MULTIPLE BUILDINGS CONTAINED ON THE SAME LOT, THERE SHALL BE PROVIDED A MINIMUM OF TWENTY-FIVE (25) FEET BETWEEN THE CLOSEST POINTS OF SUCH BUILDINGS.

RESIDENTIAL BUFFER STRIP:

ANY LOT ADJOINING LAND PRINCIPALLY USED AS A RESIDENCE OR WITHIN A RESIDENTIAL ZONE SHALL MAINTAIN A FIFTY (50) FOOT SETBACK FOR BUILDINGS, STRUCTURES, OFF STREET PARKING LOTS, LOADING AREAS, AND OUTDOOR STORAGE AREAS FROM RESIDENTIALLY USED AND/OR ZONED PARCELS.

SCREENING:

A VISUAL SCREEN MUST BE PROVIDED ALONG ANY ADJOINING LANDS WITHIN A RESIDENTIAL ZONE, REGARDLESS OF WHETHER OR NOT THE RESIDENTIALLY ZONED PARCEL IS DEVELOPED.

LANDSCAPING:

ANY PORTION OF THE SITE NOT USED FOR BUILDINGS, STRUCTURES, PARKING COMPOUNDS, LOADING AREAS, OUTDOOR STORAGE AREAS, AND SIDEWALKS SHALL BE MAINTAINED WITH A VEGETATIVE GROUND COVER AND OTHER ORNAMENTAL PLANTINGS. A MINIMUM FIFTEEN (15) FOOT LANDSCAPE STRIP SHALL BE PROVIDED ALONG PROPERTY LINES.

WASTE PRODUCTS:

STORAGE OF INDUSTRIAL WASTE MATERIALS SHALL NOT BE PERMITTED, EXCEPT WITHIN AN ENCLOSED BUILDING. DUMPSTERS USED FOR DOMESTIC GARBAGE MAY BE PERMITTED WITHIN THE SIDE OR REAR YARD, PROVIDED SUCH DUMPSTERS ARE SCREENED FROM ANY ADJOINING ROADS OR PROPERTIES. SUCH DUMPSTERS SHALL NOT BE USED FOR INDUSTRIAL WASTES. ALL DUMPSTERS SHALL BE SET BACK TWENTY-FIVE (25) FEET FROM ALL LOT LINES AND FIFTY (50) FEET FROM ANY ADJOINING RESIDENTIALLY ZONED PROPERTY. ALL TRASH DUMPSTERS SHALL BE LOCATED WITHIN A SIDE OR REAR YARD, SCREENED FROM ADJOINING ROADS OR PROPERTIES, AND COMPLETELY ENCLOSED WITHIN A MASONRY OR FENCED ENCLOSURE EQUIPPED WITH A SELF-LATCHING DOOR OR GATE. ALL USES SHALL COMPLY WITH SECTION 302.4 OF THIS ORDINANCE.

INDUSTRIAL OPERATIONS STANDARDS:

ALL INDUSTRIAL OPERATIONS SHALL BE IN COMPLIANCE WITH ANY COMMONWEALTH OF PENNSYLVANIA AND/OR FEDERAL GOVERNMENT REGULATIONS, AS REQUIRED BY THE MOST RECENT REGULATIONS MADE AVAILABLE FROM THESE GOVERNMENTAL BODIES. (SEE SECTION 315 FOR A PARTIAL LISTING.)

OUTDOOR STORAGE AND DISPLAY:

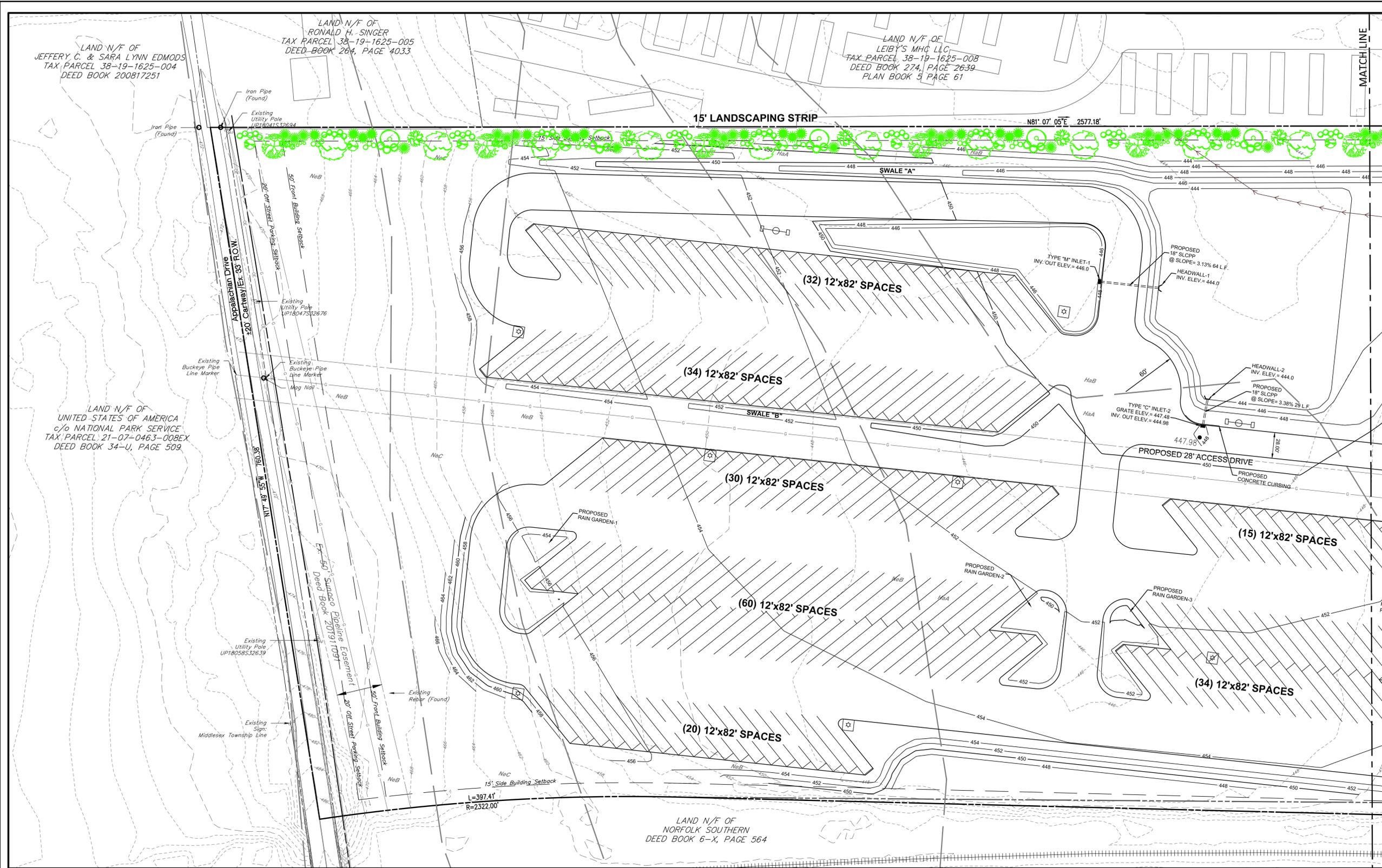
WITHIN THIS ZONE, OUTDOOR STORAGE IS PERMITTED, PROVIDED ALL OUTDOOR STORAGE AREAS ARE SCREENED FROM ADJOINING ROADS AND PROPERTIES, AND THE OUTDOOR STORAGE AREAS COMPLY WITH THE SETBACKS IMPOSED WITHIN THIS SECTION. OUTDOOR DISPLAY AREAS NEED NOT BE SCREENED FROM ADJOINING ROADS IF THEY ARE LOCATED WITHIN THE FRONT YARD.

PARKING DATA:

1. PROPOSED USE - MINI-WAREHOUSE
2. REQUIRED PARKING: ONE SPACE PER EACH TWENTY-FIVE (25) UNITS, PLUS ONE (1) SPACE PER TWO HUNDRED FIFTY (250) FEET OF OFFICE SPACE.
3. NUMBER STORAGE OF UNITS - 437 UNITS
4. OFFICE SPACE - 1,815 sq. ft.
5. NUMBER OF PARKING SPACES REQUIRED - 26
6. NUMBER OF PARKING SPACES PROVIDED: VEHICULAR PARKING - 26 RECREATION VEHICLE PARKING: 15' x 30' SPACES - 73 15' x 40' SPACES - 70 TOTAL SPACES - 143 TRACTOR TRAILER PARKING: 12' x 82' SPACES - 225
7. STANDARD PARKING SPACES TO BE
8. OFF-STREET PARKING FACILITIES SHALL CONFORM TO BOTH THE AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES AND THE INTERNATIONAL BUILDING CODE REQUIREMENTS FOR ACCESSIBLE PARKING AND PASSENGER LOADING FACILITIES IN ACCORDANCE WITH THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE AS ADOPTED BY THE TOWNSHIP.

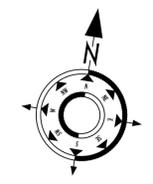
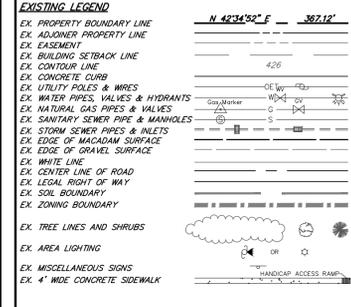
LANDSCAPING REQUIREMENTS:

1. AN AVERAGE OF ONE (1) DECIDUOUS TREE SHALL BE PLANTED FOR EACH 15 NEW PARKING SPACES.
 PROPOSED PARKING SPACES: 26
 PROPOSED DECIDUOUS TREES: 2 (26/15 = 1.7)
 PROPOSED DECIDUOUS TREES WITHIN PARKING LOT:
2. FOR EACH 750 sq. ft. OF REQUIRED AREA FOR LANDSCAPE STRIPS, ONE (1) SHADE/ORNAMENTAL TREE SHALL BE PROVIDED.
 AREA OF LANDSCAPE STRIP: 52,019 sq. ft.
 REQUIRED SHADE/ORNAMENTAL TREES: 70 TREES (52,019/750 sq. ft. = 69.35)
 PROPOSED SHADE/ORNAMENTAL TREES: 228 TREES



Akens Engineering Associates, Inc.
 219 E. Main St. Shiremanstown, Pa. 17011
 (P) 717-975-9933 (F) 717-975-5507
 www.akensengineering.com
 "Providing Quality Engineering & Surveying Services since 1983."

LOCATION MAP



SOIL MAP UNITS
 HbA HAGERSTOWN SILT LOAM, 0 - 3% SLOPES, (HSG B)
 HbB HAGERSTOWN SILT LOAM, 8 - 15% SLOPES, (HSG B)
 NoB NESHAMINY GRAVELLY SILT LOAMS, 3 - 8% SLOPES, (HSG C)



REVISIONS:

NO.	DATE	REVISION

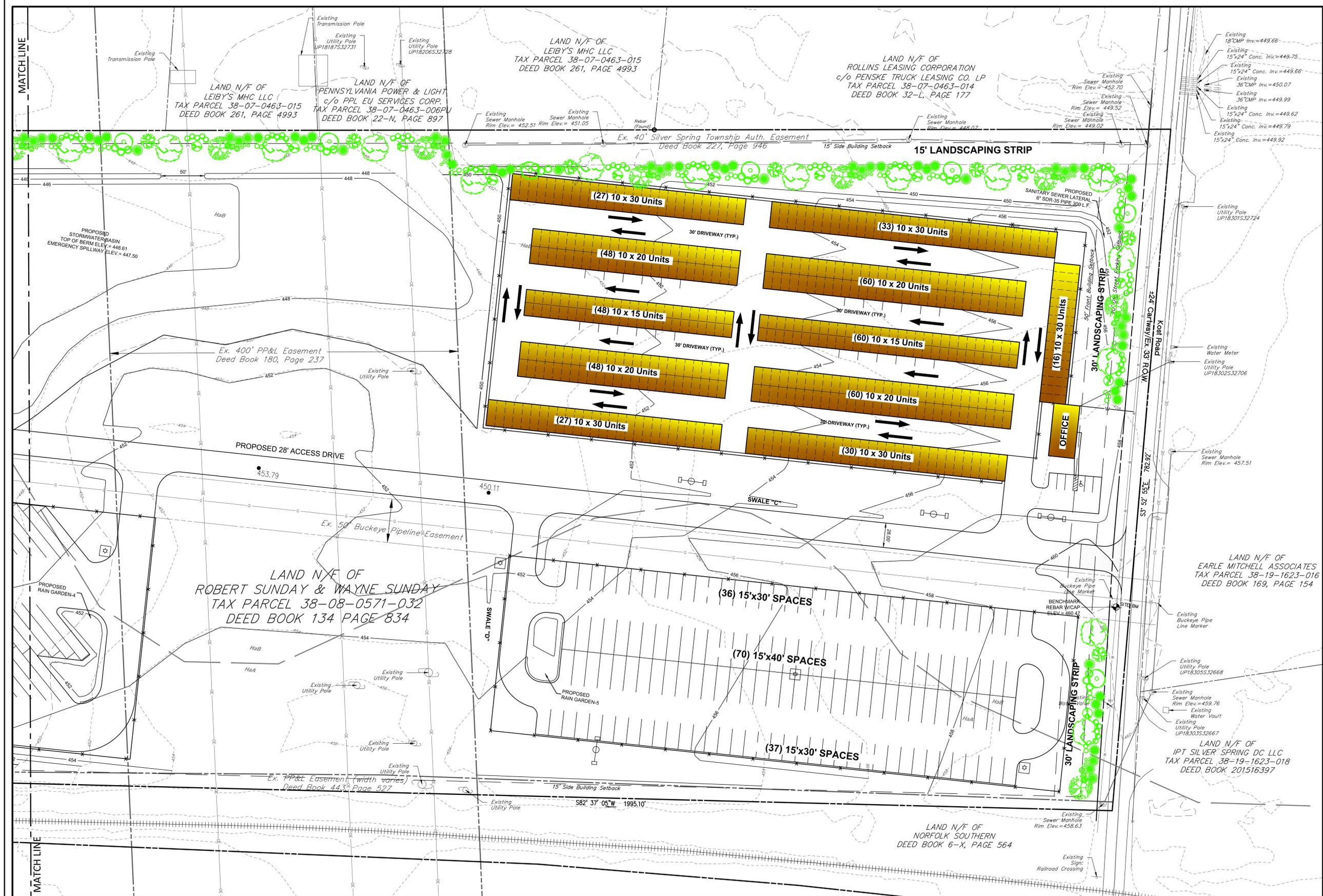
PRELIMINARY LAND DEVELOPMENT PLAN FOR KOST ROAD STORAGE AND TRUCK PARKING FACILITY

**195 KOST ROAD
 MECHANICSBURG, PA 17050**

**SILVER SPRING TOWNSHIP
 CUMBERLAND COUNTY, PA**

**PROPOSED SITE PLAN -
 50 SCALE**

SCALE: 1" = 50'	SHEET NUMBER: 4 of 9
PLAN DATE: FEBRUARY 4, 2020	
FILE NAME: 703-2 DS&BK LLC Storage Facility - BASE.dwg	



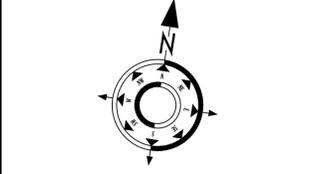
Akens Engineering Associates, Inc.
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 (P) 717-975-9933 (F) 717-975-5507
 www.akensengineering.com
 "Providing Quality Engineering & Surveying Services since 1983."

EXISTING LEGEND

EX. PROPERTY BOUNDARY LINE	---
EX. ADJACENT PROPERTY LINE	---
EX. EASEMENT	---
EX. BUILDING SETBACK LINE	---
EX. CONTOUR LINE	---
EX. CONCRETE CURB	---
EX. UTILITY POLES & WIRES	---
EX. WATER PIPES, VALVES & HYDRANTS	---
EX. NATURAL GAS PIPES & VALVES	---
EX. SANITARY SEWER PIPE & MANHOLES	---
EX. STORM SEWER PIPE & INLETS	---
EX. EDGE OF MACADAM SURFACE	---
EX. EDGE OF GRAVEL SURFACE	---
EX. WHITE LINE	---
EX. CENTER LINE OF ROAD	---
EX. LEGAL RIGHT OF WAY	---
EX. SOIL BOUNDARY	---
EX. ZONING BOUNDARY	---
EX. TREE LINES AND SHRUBS	---
EX. AREA LIGHTING	---
EX. MISCELLANEOUS SIGNS	---
EX. 4' WIDE CONCRETE SIDEWALK	---

PROPOSED LEGEND

PROPOSED STORAGE BUILDING	---
PROPOSED EDGE OF MACADAM / MILLINGS	---
PROPOSED 15' LANDSCAPE STRIP AND BUFFER SCREENING	---
PROPOSED CONTOUR LINE	---
PROPOSED FENCE	---
PROPOSED UNDERGROUND ELECTRIC	---
PROPOSED OVERHEAD ELECTRIC	---
PROPOSED WATER LINE	---
PROPOSED SANITARY SEWER LATERAL	---



SOIL MAP UNITS
 HaA HAGERSTOWN SILT LOAM, 0 - 3% SLOPES, (HSG-B)
 HaB HAGERSTOWN SILT LOAM, 8 - 15% SLOPES, (HSG-B)
 NbB NESHAMINY GRAVELLY SILT LOAMS, 3 - 8% SLOPES, (HSG-C)

REVISIONS:

MONTH, DAY, YEAR: REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR KOST ROAD STORAGE AND TRUCK PARKING FACILITY

**195 KOST ROAD
 MECHANICSBURG, PA 17050**
**SILVER SPRING TOWNSHIP
 CUMBERLAND COUNTY, PA**

**PROPOSED SITE PLAN-
 50 SCALE**

SCALE: 1" = 50'

PLAN DATE: FEBRUARY 4, 2020

FILE NAME: 703-2 DS&BK LLC Storage Facility - BASE.dwg

SHEET NUMBER: 5 of 9

EXISTING LEGEND

EX. PROPERTY BOUNDARY LINE	N 42°34'32" E 367.12'
EX. ADJOINER PROPERTY LINE	
EX. EASEMENT	
EX. BUILDING SETBACK LINE	4.26'
EX. CONTOUR LINE	
EX. CONCRETE CURB	
EX. UTILITY POLES & WIRES	
EX. WATER PIPES, VALVES & HYDRANTS	
EX. NATURAL GAS PIPES & VALVES	
EX. SANITARY SEWER PIPE & MANHOLES	
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EX. EDGE OF MACADAM SURFACE	
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EX. WHITE LINE	
EX. CENTER LINE OF ROAD	
EX. LEGAL RIGHT OF WAY	
EX. SOIL BOUNDARY	
EX. ZONING BOUNDARY	

PROPOSED LEGEND

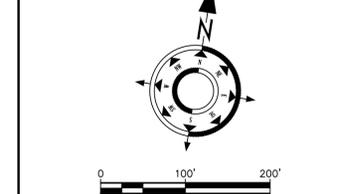
PROPOSED STORAGE BUILDING	
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PROPOSED CONTOUR LINE	
PROPOSED CONTOUR LINE	
PROPOSED FENCE	UE
PROPOSED UNDERGROUND ELECTRIC	OE
PROPOSED WATER LINE	W
PROPOSED SANITARY SEWER LATERAL	

PROPOSED LEGEND

PROPOSED STORAGE BUILDING	
PROPOSED EDGE OF MACADAM / MILLINGS	
PROPOSED 15' LANDSCAPE STRIP AND BUFFER SCREENING	
PROPOSED CONTOUR LINE	
PROPOSED CONTOUR LINE	
PROPOSED FENCE	UE
PROPOSED UNDERGROUND ELECTRIC	OE
PROPOSED WATER LINE	W
PROPOSED SANITARY SEWER LATERAL	

PROPOSED LEGEND

PROPOSED STORAGE BUILDING	
PROPOSED EDGE OF MACADAM / MILLINGS	
PROPOSED 15' LANDSCAPE STRIP AND BUFFER SCREENING	
PROPOSED CONTOUR LINE	
PROPOSED CONTOUR LINE	
PROPOSED FENCE	UE
PROPOSED UNDERGROUND ELECTRIC	OE
PROPOSED WATER LINE	W
PROPOSED SANITARY SEWER LATERAL	



RAIN GARDEN MIX - ERNMX-180: MIX COMPOSITION

- 39.0% Schizachyrium scoparium, 'Camper' (Little Bluestem, 'Camper')
- 15.0% Elymus virginicus, PA Ecotype (Virginia Wildrye, PA Ecotype)
- 8.0% Chasmanthium latifolium, WV Ecotype (River Oats, WV Ecotype)
- 6.4% Panicum rigidulum, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 4.0% Chamaecrista fasciculata, PA Ecotype (Partridge Pea, PA Ecotype)
- 4.0% Echinacea purpurea (Purple Coneflower)
- 3.0% Coreopsis lanceolata (Lanceoleaf Coreopsis)
- 3.0% Rutbeckia hirta, Coastal Plain NC Ecotype (Blackeyed Susan, Coastal Plain NC Ecotype)
- 2.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype)
- 2.0% Helianthus helianthoides, PA Ecotype (Oxeye Sunflower, PA Ecotype)
- 2.0% Verbena hastata, PA Ecotype (Blue Vervain, PA Ecotype)
- 1.5% Asclepias incarnata, PA Ecotype (Swamp Milkweed, PA Ecotype)
- 1.0% Juncus effusus (Soft Rush)
- 1.0% Liatris spicata, PA Ecotype (Marsh Blazing Star, PA Ecotype)
- 1.0% Panicum sphaerocarpon (Round Seed Panicgrass)
- 1.0% Penstemon digitalis, PA Ecotype (Tail White Bearclaw, PA Ecotype)
- 0.5% Baptisia australis, Southern WV Ecotype (Blue False Indigo, Southern WV Ecotype)
- 0.5% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
- 0.5% Eupatorium coelestinum, VA Ecotype (Mastflower, VA Ecotype)
- 0.5% Pycnanthemum tenuifolium (Narrowleaf Mountainmint)
- 0.5% Senna hebecarpa, VA & WV Ecotype (Wild Senna, VA & WV Ecotype)
- 0.5% Tradescantia ohiensis, PA Ecotype (Ohio Spiderwort, PA Ecotype)
- 0.5% Zizia aurea, PA Ecotype (Golden Alexanders, PA Ecotype)
- 0.4% Geum canadense, PA Ecotype (White Avena, PA Ecotype)
- 0.4% Monarda fistulosa, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)
- 0.3% Agrostis perennans, Albany Pine Bush-NY Ecotype (Autumn Bentgrass, Albany Pine Bush-NY Ecotype)
- 0.3% Aster laevis, NY Ecotype (Smooth Blue Aster, NY Ecotype)
- 0.3% Aster novae-angliae, PA Ecotype (New England Aster, PA Ecotype)
- 0.3% Helianthus autumnalis, PA Ecotype (Common Sneezeweed, PA Ecotype)
- 0.2% Aster umbellatus, PA Ecotype (Flat Topped White Aster, PA Ecotype)
- 0.2% Solidago patula, PA Ecotype (Roughleaf Goldenrod, PA Ecotype)
- 0.1% Veronicastrum virginicum, PA Ecotype (Culver's Root, PA Ecotype)

RAIN GARDEN OPERATION AND MAINTENANCE SCHEDULE:

- THE PROPERTY OWNER SHALL OWN, MAINTAIN AND BE REASONABLE FOR ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES (I.E. RAIN GARDENS, SWALES AND LEVEL SPREADERS) THAT ARE LOCATED OUTSIDE OF STREET RIGHT-OF-WAY AS PROPOSED ON THE PLANS.
- THE OWNER SHALL CONDUCT A VISUAL INSPECTION OF ALL STORMWATER MANAGEMENT BMP FACILITIES AT LEAST ONCE EVERY THREE MONTHS AND IMMEDIATELY AFTER STORM EVENTS. SUCH VISUAL EXAMINATION SHALL AT LEAST INVOLVE AN EXAMINATION OF THE STORMWATER COLLECTION, CONVEYANCE AND BMP FACILITIES FOR DEBRIS DEPOSITION (SUCH DEBRIS MAY INCLUDE, BUT SHALL NOT BE LIMITED TO AGGREGATE MATERIAL, LEAVES, GRASS CLIPPINGS, SOIL AND TRASH), AND AN EXAMINATION OF THE STORMWATER BMP FACILITIES FOR SOIL AND STRUCTURAL SETTLEMENT, DEPRESSIONS, SINKHOLES, SEEPS, STRUCTURAL CRACKING, ANIMAL BOUNDARIES, EXCESSIVE VEGETATION, CLOGGING, EROSION AND FOUNDATION MOVEMENT.
- THE OWNER SHALL REMOVE ANY ACCUMULATION OF DEBRIS AND REPAIR ANY DAMAGE TO THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES. REPAIRS SHALL BE MADE USING MATERIAL THAT MEETS OR EXCEEDS THE SPECIFICATIONS PROVIDED ON THE PLANS.
- THE OWNER IS REQUIRED TO MAINTAIN A RECORD OF ALL INSPECTIONS, REPAIRS AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT THIS PROJECT SITE. THE OWNER SHALL IMMEDIATELY NOTIFY THE TOWNSHIP AND THE LANCASTER COUNTY CONSERVATION DISTRICT PRIOR TO INITIATING ANY MAJOR REPAIR ACTIVITIES (SUCH AS REPAIRS THAT MAY BE REQUIRED BECAUSE OF SETTLEMENT, SINKHOLES, SEEPS, STRUCTURAL CRACKING OR FOUNDATION MOVEMENT).
- THE OWNER SHALL ALSO COMPLY WITH ANY OTHER MAINTENANCE NOTES INCLUDED ON THE DEVELOPMENT PLANS.

RAIN GARDEN SEQUENCE OF CONSTRUCTION:

- INSTALL TEMPORARY SEDIMENT CONTROL BMP'S AS SHOWN ON THE PLANS.
- COMPLETE SITE GRADING, IF APPLICABLE. CONSTRUCT CURB CUTS OR OTHER INFLOW ENTRANCE BUT PROVIDE PROTECTION SO THAT THE DRAINAGE IS PROHIBITED FROM ENTERING THE CONSTRUCTION AREA.
- STABILIZE GRADING WITHIN THE LIMIT OF DISTURBANCE EXCEPT WITHIN THE RAIN GARDEN AREA. RAIN GARDEN BED AREAS MAY BE USED AS TEMPORARY SEDIMENT TRAPS PROVIDED THAT THE PROPOSED FINISHED ELEVATION OF THE BED IS 12" LOWER THAN THE BOTTOM ELEVATION OF THE SEDIMENT TRAP.
- EXCAVATE RAIN GARDEN TO PROPOSED, INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES. DO NOT COMPACT IN-SITU SOILS.
- BACKFILL RAIN GARDEN WITH AMENDED SOIL AS SHOWN ON PLANS AND SPECIFICATION. OVERFLOWING IS RECOMMENDED TO ACCOUNT FOR SETTLEMENT. LIGHT HAND TAMPING IS ACCEPTABLE IF NECESSARY.
- PREOAK THE PLANTING SOIL PRIOR TO PLANTING VEGETATION TO AID IN SETTLEMENT.
- COMPLETE FINAL GRADING TO ARCHIVE PROPOSED DESIGN ELEVATIONS. LEAVING SPACE FOR UPPER LAYER OF COMPOST, MULCH OR TOPSOIL AS SPECIFIED ON PLANS.
- PLANT VEGETATION USING ERNST CONSERVATION SEED MIX ERNMX-180.
- MULCH AND INSTALL EROSION PROTECTION AT SURFACE FLOW ENTRANCES WHERE NECESSARY.

REVISIONS:

NO.	DATE	REVISION

MONTH, DAY, YEAR: REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR KOST ROAD STORAGE AND TRUCK PARKING FACILITY

195 KOST ROAD
MECHANICSBURG, PA 17050

SILVER SPRING TOWNSHIP
CUMBERLAND COUNTY, PA

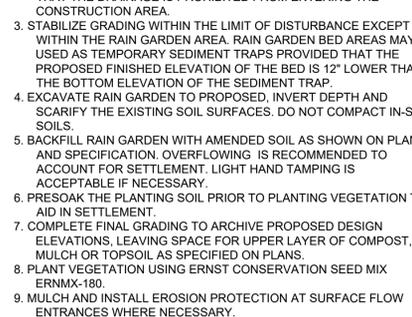
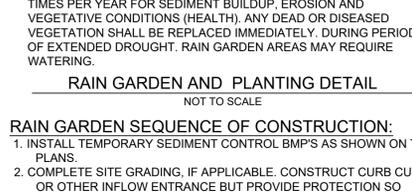
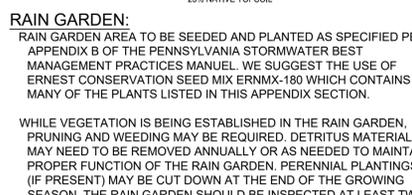
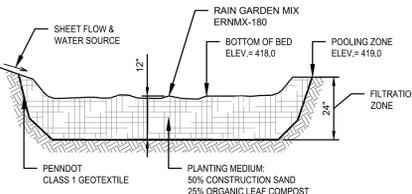
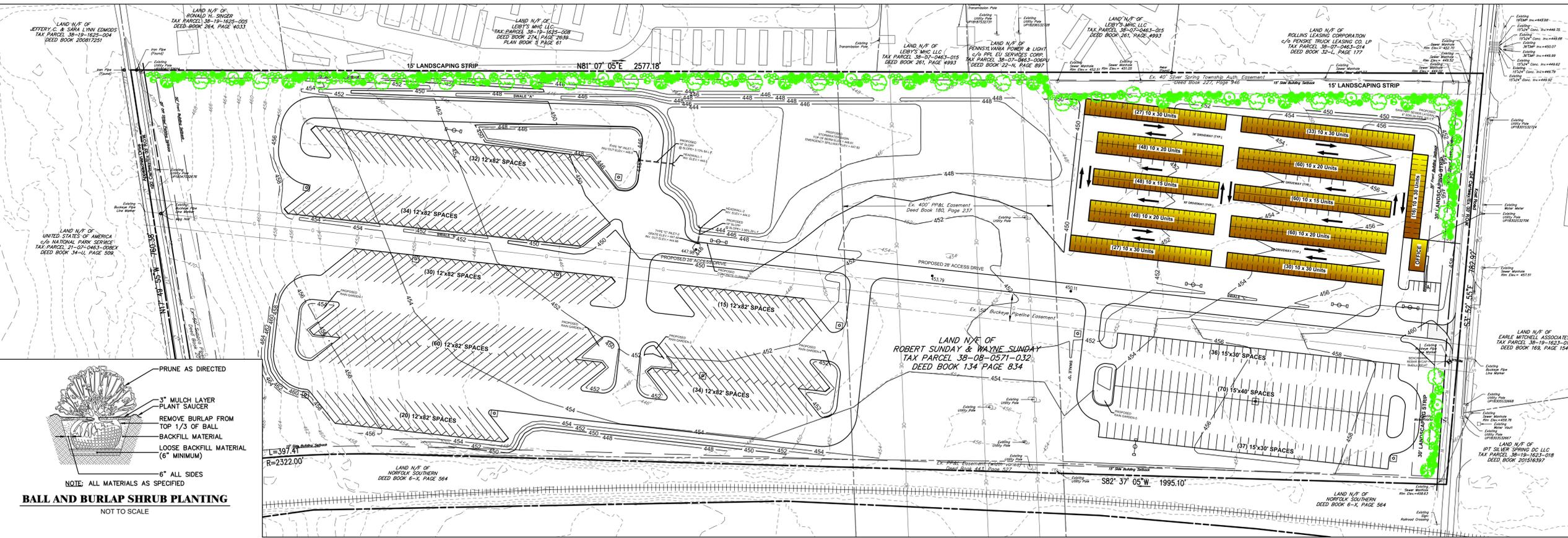
LANDSCAPING PLAN

SCALE: 1" = 100'

SHEET NUMBER: 6 of 9

PLAN DATE: FEBRUARY 4, 2020

FILE NAME: X:\1703-2 Storage Facility\Drawings\1703-2 DS&B LLC Storage Facility - BASE.dwg



RAIN GARDEN

RAIN GARDEN AREA TO BE SEEDED AND PLANTED AS SPECIFIED PER APPENDIX B OF THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL. WE SUGGEST THE USE OF ERNST CONSERVATION SEED MIX ERNMX-180 WHICH CONTAINS MANY OF THE PLANTS LISTED IN THIS APPENDIX SECTION.

WHILE VEGETATION IS BEING ESTABLISHED IN THE RAIN GARDEN, PRUNING AND WEEDING MAY BE REQUIRED. DETRITUS MATERIAL MAY NEED TO BE REMOVED ANNUALLY OR AS NEEDED TO MAINTAIN PROPER FUNCTION OF THE RAIN GARDEN. PERENNIAL PLANTINGS (IF PRESENT) MAY BE CUT DOWN AT THE END OF THE GROWING SEASON. THE RAIN GARDEN SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION AND VEGETATIVE CONDITIONS (HEALTH). ANY DEAD OR DISEASED VEGETATION SHALL BE REPLACED IMMEDIATELY. DURING PERIODS OF EXTENDED DROUGHT, RAIN GARDEN AREAS MAY REQUIRE WATERING.

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- THE OWNER SHALL ALSO COMPLY WITH ANY OTHER MAINTENANCE NOTES INCLUDED ON THE DEVELOPMENT PLANS.

RAIN GARDEN

- MULCH AND INSTALL EROSION PROTECTION AT SURFACE FLOW ENTRANCES WHERE NECESSARY.
- WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED.
- DETRITUS MAY ALSO NEED TO BE REMOVED EVERY YEAR. PERENNIAL PLANTINGS MAY BE CUT DOWN AT THE END OF THE GROWING SEASON.
- MULCH SHOULD BE RE-SPREAD WHEN EROSION AND BE REPLISHED AS NEEDED. ONCE EVERY 2 TO 3 YEARS THE ENTIRE AREA MAY REQUIRE MULCH REPLACEMENT.
- BIORETENTION AREAS SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC.
- DURING PERIODS OF EXTENDED DROUGHT, BIORETENTION AREAS MAY REQUIRE WATERING.
- TREES AND SHRUBS SHOULD BE INSPECTED TWICE PER YEAR TO EVALUATE HEALTH.
- WEEDING WILL BE NEEDED THE FIRST COUPLE OF YEARS. REMOVE BY HAND ONLY THOSE PLANTS THAT ARE POSITIVELY IDENTIFIED AS WEEDS. IN THE THIRD YEAR AND BEYOND, THE NATIVE GRASSES, SEDGES, RUSHES, AND WILDFLOWERS WILL BEGIN TO MATURE AND WILL OUT-COMPETE THE WEEDS. WEEDING ISOLATED PATCHES MIGHT STILL BE NEEDED ON OCCASION AND INVASIVE SPECIES SHOULD ALWAYS BE REMOVED.

LANDSCAPING & PLANTING NOTE:

GENERAL

- NOTHING SHALL BE PLANTED OR PLACED WITHIN THE EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT.
- REPLACE DAMAGED, DISEASED, OR DEAD TREES AND SHRUBS.

TREE & SHRUB MAINTENANCE

GENERAL

- THE CONTRACTOR SHALL WARRANT AND GUARANTEE THE GROWTH OF ALL LAWN AND PLANT MATERIALS FOR 18 MONTHS. THE WARRANTY PERIOD BEGINS WHEN THE MAINTENANCE BOND FOR PUBLIC IMPROVEMENTS BEGINS.
- TREES SHALL BE PROTECTED AT ALL TIMES DURING HANDLING, SHIPPING, STORAGE, AND PLANTING. TREES SHALL BE PROTECTED FROM WINDBURN DURING TRANSIT, EXTREME WEATHER CONDITIONS, AND DRYING OF ROOTS OR ROOT BALLS. ANY TREES SHOWING SUBSTANTIAL DAMAGE SHALL BE REJECTED AND REPLACED BY THE CONTRACTOR.
- DO NOT DIG A HOLE UNTIL NEARBY UNDERGROUND UTILITIES HAVE BEEN MARKED.
- HOLE SHALL BE AT LEAST 24" WIDER AND 6" DEEPER THAN THE ROOT BALL. SCARIFY AND LOOSEN THE SIDES AND BOTTOM OF THE HOLE.
- PLANTS MAY BE PLACED WITH WRAPPING IN PLACE ONLY IF ALL MATERIALS ARE UNTREATED AND ARE BIODEGRADABLE. WHEN BURLAP IS LEFT AROUND PLANTS, ALL STRING SHALL BE REMOVED AND THE BURLAP FOLDED DOWN FROM THE TOP THIRD OF THE ROOT BALL.
- SET THE PLANT BALL. ALL PLANTS SHALL BE SET SO THAT, AFTER SETTLEMENT, THEY ARE AT THE SAME LEVEL AS WHEN GROWING IN THE NURSERY.
- BACKFILL SHALL BE OF DESIRABLE STRUCTURE, TEXTURE, AND pH TO SUPPORT VIGOROUS PLANT GROWTH.
- A WATERING BERM SHALL BE CONSTRUCTED AROUND EVERY TREE OR SHRUB. PLANTS SHALL BE WATERED IN AT THE TIME OF PLANTING TO ELIMINATE AIR POCKETS. EXCESSIVE SOIL SHALL BE REMOVED BY THE CONTRACTOR.
- APPLY 3 TO 4 INCHES OF SHREDDED HARDWOOD MULCH AFTER PLANTING IS COMPLETED. TO A DIAMETER OF 3 TO 10 FEET FROM THE BASE OF THE TREE OR SHRUB, DEPENDING ON THE SIZE OF THE PLANT. DO NOT ALLOW THE MULCH TO CONTACT THE TRUNK OF THE PLANT.
- ALL TREES MUST BE STAKED AS SHOWN.
- AT PLANTING TIME, PRUNE AND TRIM CLOSE TO THE TRUNK BROKEN BRANCHES, BRANCHES COMPETING WITH THE LEADER, AND BRANCHES SWOLLEN FROM INSECT EGGS OR STINGS. REMOVE ALL TAGS.
- WATERING
- APPLY ABOUT 3 GALLONS OF WATER PER INCH OF TRUNK DIAMETER TO THE ROOT BALL 2 OR 3 TIMES PER WEEK FOR THE FIRST GROWING SEASON.
- INCREASE VOLUME OF WATER AND DECREASE FREQUENCY OF APPLICATION AS THE TREE BECOMES ESTABLISHED.
- IRRIGATE YOUR TREE WEEKLY DURING THE SECOND YEAR. ONCE ESTABLISHED, IRRIGATION REQUIREMENTS ARE DEPENDENT ON SPECIES, PLANTING SITE, CLIMATE, AND SOIL CONDITIONS.

PRUNING

- WINTER PRUNING DURING DORMANCY RESULTS IN A VIGOROUS BURST OF NEW GROWTH IN THE SPRING AND SHOULD BE USED IF THAT IS THE DESIRED EFFECT. IT IS USUALLY BEST TO WAIT UNTIL THE COLDEST PART OF WINTER HAS PASSED, SOME SPECIES, SUCH AS MAPLE, WALNUTS AND BIRCHES, MAY "BLEED" WHEN THE SAP BEGINS TO FLOW. THIS IS NOT HARMFUL AND WILL CEASE WHEN THE TREE LEAFS OUT.
- SUMMER PRUNING IS TO DIRECT THE GROWTH BY SLOWING THE BRANCHES YOU DON'T WANT, OR TO SLOW "DWARF" THE DEVELOPMENT OF A TREE OR BRANCH. PRUNING SHOULD BE DONE SOON AFTER SEASONAL GROWTH IS COMPLETE. THE REASON FOR THE SLOWING EFFECT IS THAT THE TOTAL LEAF SURFACE IS REDUCED, THEREBY REDUCING THE AMOUNT OF FOOD MANUFACTURED AND SENT TO THE ROOTS. ANOTHER REASON TO PRUNE IN THE SUMMER IS FOR CORRECTIVE PURPOSES: DEFECTIVE OR OVERWEIGHTED LIMBS CAN BE SEEN MORE EASILY. FOR TREES AND SHRUBS THAT BLOOM IN SPRING, PRUNE WHEN THEIR FLOWERS FADE. TREES AND SHRUBS THAT FLOWER IN MID- TO LATE SUMMER SHOULD BE PRUNED IN WINTER OR EARLY SPRING.
- DO NOT PRUNE DURING THE AUTUMN BECAUSE DECAY FUNGI SPREAD THEIR SPORES PROFUSELY IN THE FALL AND HEALING OF WOUNDS IS SLOWER DURING AUTUMN.
- LEAVE AS MUCH OF THE ENTIRE LEAF SURFACE AS POSSIBLE TO MANUFACTURE FOOD THAT WILL BUILD A LARGER ROOT SYSTEM. ROOTS WILL BE LARGER AFTER ONE YEAR IF LEFT UNPRUNED.

DISEASES

- TO PROPERLY DIAGNOSE A PEST OR DISEASE PROBLEM BEGIN BY CONTACTING THE COOPERATIVE EXTENSION SERVICE IN YOUR COUNTY. WITH THE HELP OF VOLUNTEER MASTER GARDENERS, YOUR COUNTY COOPERATIVE EXTENSION CAN QUICKLY ANSWER MOST INQUIRIES ABOUT PLANT HEALTH CARE AND LOCAL CONDITIONS.

