

Cumberland County Subdivision and Land Development Review Report

Municipality:	Silver Spring	Surveyor/ Engineer:	Frederick Seibert & Assoc., Inc.	Owner/ Developer:	Sunrise Land Holdings		
Plat Title:	Sunrise Land Holdings LLC						
Plat Status:	Preliminary/Final	Plat Type:	Land Development				
# of New Lots:	1	# of New Dwelling Units:	0	New Acreage Subdivided/Developed:	10.20	Total Tract Acreage:	10.20
Zoning District:	Agricultural		Proposed Land Use:	Personal Care Home			
Date Received:	2/20/2020	County Review:	2/25/2020	Reviewed by:	SH	Checked by:	

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. Street trees should be provided along State Road (Zoning 345.1).
2. The Landscape Requirement Notes (Sheet L-101) should include the requirements found in Zoning Ordinance section 345.
3. Will any exterior lighting be provided? If so, the submission should include a Lighting Plan and proof of compliance with Zoning Ordinance section 347.
4. The plan should include a note that includes any conditions that accompanied the use variance (Docket 2019-003). For example, do the requirements of Zoning Ordinance section 420 (Health-Care Campus and Hospital), 425 (Medical Residential Campuses) or 428 (Nursing, Rest or Retirement Homes) apply to the development? The Township may want to verify these sections.
5. The scale of the Vicinity Map should be 1"=2,000'. The current scale does not adequately provide a location of the property (SLDO 402.02).
6. The Township should determine if the title of the plan should be changed to Final Subdivision and Land Development Plan (SLDO 402.02.1).
7. The plan should address the presence or absence of FEMA Floodplains (SLDO 402.03.1.C).
8. The required and provided sight distance measurements should be provided at the proposed access drive (SLDO 602.18.3.H).
9. The plan should address the Pennsylvania DEP Sewage Planning requirements (SLDO 613).
10. Silver Spring Township is currently mandated to recycle. The Township may want to request a recycling dumpster as part of the development.

11. Will the garbage haulers be permitted to utilize the access drive for maintenance and emergency access? Township should verify that there is adequate space for maneuverability.
12. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

SIGNATURES

CUMBERLAND COUNTY PLANNING COMMISSION
 Reviewed by the Cumberland County Planning Commission on this _____ day of _____, 2020.
 Director of Planning _____

FINAL PLAN APPROVAL STATEMENT
 Approved by the Silver Spring Township Board of Supervisors and all conditions imposed on such approval were completed on this _____ day of _____, 2020.
 Board of Township Supervisors - Chairman _____
 Attest
 Silver Spring Township Secretary _____

SILVER SPRING TOWNSHIP PLANNING RECOMMENDED APPROVAL
 At a meeting on _____ day of _____, 2020, the Silver Spring Township Planning Commission review this plan.
 Chairman _____
 Secretary _____

TOWNSHIP ENGINEER REVIEW STATEMENT
 This plan was reviewed on this _____ day of _____, 2020, by Township Engineer.
 Township Engineer _____

RECORDER OF DEEDS
 Recorded in the Office for Recording of Deeds, in and for Cumberland County, Pennsylvania, in Plan Book _____ Page _____, this _____ day of _____, 2020.

OWNER'S STATEMENT OF ACKNOWLEDGEMENT
 It is hereby certified that the undersigned has legal or equitable title to the land shown hereon, and all streets, if not previously dedicated, are hereby dedicated to the public.
 Owner: Sunrise Land Holdings, LLC PROPERTY ID #: 38-08-0567-021B
 c/o Rob Neidlinger, Managing Member 38-08-0567-304
 Signature _____
 Date _____
 State of: _____
 County of: _____
 On this _____ day of _____, 2020, Before Me _____ Notary Public - Print Name
 The Undersigned Officer, Personally Appeared
 Owner-Print Name _____
 Known to me to be the person(s) whose name is subscribed above and acknowledge that they executed the same for the purpose hereon contained.
 In witness whereof, I hereunto set my hand and official seals.
 _____ Notary Public

SURVEYOR'S CERTIFICATION
 I hereby certify to the best of my professional knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Silver Spring Township Subdivision and Land Development Ordinance. The error of closure no greater than one foot in ten thousand feet.

 Matthew B. Cessna
 Professional Land Surveyor
 License No. SU055706
 Expiration Date: 9/30/2021

ENGINEER'S CERTIFICATION
 I hereby certify that, to the best of my knowledge, the land development plan shown and described hereon is true and correct to the accuracy required by the Silver Spring Township Subdivision and Land Development Ordinance.

 Justin T. Doty
 Professional Engineer
 License No. PE080613
 Expiration Date: 9/30/2021

FINAL LAND DEVELOPMENT PLAN

for

SUNRISE LAND HOLDINGS LLC

Situated approximately 1 mile north of the intersection of Bare Road and W. Trindle Road (PA 0641)

Mechanicsburg, PA 17050
 Silver Spring Township
 Cumberland County, Pennsylvania

OWNER/DEVELOPER:
 Sunrise Land Holdings, LLC
 c/o Rob Neidlinger
 589 Greason Road
 Carlisle, Pennsylvania 17015
 717.226.2868

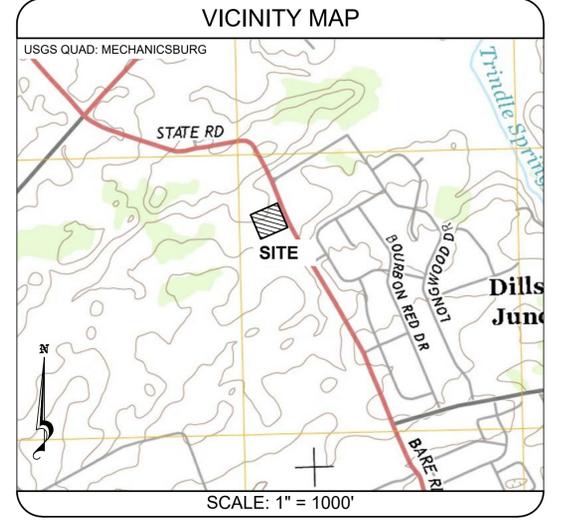
Land Survey and Site Engineering By:

FREDERICK SEIBERT & ASSOCIATES, INC. © 2020

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS

128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
 505 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
 5201 SPRING ROAD, SUITE 3, SHERMANS DALE, PENNSYLVANIA 17090

(301) 791-3650 (717) 597-1007 (717) 701-8111 (717) 567-3680 fsa-md.com



SHEET INDEX

TYPE	NUMBER	TITLE
G-001	SHEET 1	COVER SHEET
G-002	SHEET 2	GENERAL NOTES
V-101	SHEET 3	EXISTING CONDITIONS PLAN
V-102	SHEET 4	SUBDIVISION PLAN
C-101	SHEET 5	LAYOUT AND DIMENSION PLAN
C-102	SHEET 6	GRADING AND UTILITY PLAN
C-103	SHEET 7	UTILITY PLAN
C-104	SHEET 8	UTILITY PLAN
C-201	SHEET 9	UTILITY PROFILES
C-202	SHEET 10	STORM DRAIN PROFILES
L-101	SHEET 11	LANDSCAPE PLAN
C-501	SHEET 12	SITE DETAILS AND NOTES
C-502	SHEET 13	SITE DETAILS AND NOTES
ESC-001	SHEET 1	EROSION AND SEDIMENT CONTROL PLAN COVER
ESC-002	SHEET 2	EROSION AND SEDIMENT CONTROL PLAN
ESC-003	SHEET 3	EROSION AND SEDIMENT CONTROL PLAN DETAILS
ESC-004	SHEET 4	EROSION AND SEDIMENT CONTROL PLAN DETAILS
ESC-005	SHEET 5	EROSION AND SEDIMENT CONTROL PLAN DETAILS
PCSM-001	SHEET 1	POST CONSTRUCTION SWM COVER
PCSM-002	SHEET 2	POST CONSTRUCTION SWM PLAN
PCSM-003	SHEET 3	POST CONSTRUCTION SWM DETAILS AND NOTES
PCSM-004	SHEET 4	POST CONSTRUCTION SWM DETAILS AND NOTES

VARIANCE
 A use variance allowing personal care home in the agricultural district has been granted by Silver Spring Township on March 11, 2019 under Township Docket no. 2019-003.

WAIVERS
 A waiver has been requested from the Silver Spring Township Supervisors for the following:
 1. Section 360-10: Submission of preliminary plans
 2. Section 360-26.F: A minimum parking space size of 10' x 20'
 3. Section 360-26.H(1): A minimum two-way drive aisle of 26' in parking areas
 4. Section 360-26.H(2): A minimum lane width of 13' for drive aisles with no parking

AGRICULTURAL NUISANCE DISCLAIMER
 All lands within the Agricultural Zone are located within an area where land is used for commercial agricultural production. Owners, residents and other users of this property may be subjected to inconvenience discomfort and the possibility of injury to property and health arising from normal and accepted agricultural practices and operations including but not limited to noise, odors, dust, the operation of machinery of any kind including aircraft, the storage and disposal of manure, the application of fertilizers, soil amendments, herbicides and pesticides. Owners, occupants, and users of this property should be prepared to accept such inconveniences, discomfort and possibility of injury from normal agricultural operations, and are hereby put on official notice that Section 4 of the Pennsylvania Act 133 or 1982 "The Right to Farm Law" may bar them from obtaining a legal judgment against such normal agricultural operations.

PROPERTY ID #: 38-08-0567-021B
 38-08-0567-304

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

POCS SERIAL NUMBER _____

PA 1 SYSTEM, INC.
 1-800-242-1776

GRADING CHK BY: JTD	DATE: 2-17-2020	PROJECT NUMBER: 50208
SEC CHK BY: JTD	DATE: 2-17-2020	
SWM CHK BY: JTD	DATE: 2-17-2020	COVER SHEET
PLAN CHK BY: JTD	DATE: 2-17-2020	
Initial Submittal to Silver Spring Township and County Agencies	2-17-2020	G-001
DESCRIPTION:	DATE:	SHEET 1 OF 13

ZONING DATA	
ZONING ORDINANCE	Silver Spring Township
ZONING DISTRICT	A (Agriculture)
EXISTING USE	Residential
PROPOSED USE	Personal Care Home <i>(Use Variance granted on March 11, 2019 under Township Docket NO. 2019-003)</i>
ADDRESS	125 State Road, 127 State Road
INSTRUMENT NUMBER	201911226, 201911227
PROPERTY ID	38-08-0567-021B, 38-08-0567-304
ZONING REGULATIONS	
AGRICULTURAL USES	
MINIMUM LOT SIZE	10 ac.
MINIMUM LOT WIDTH	100 ft. (at building setback line) 60 ft. (at street frontage)
MAXIMUM LOT COVERAGE	10 %
MAXIMUM PERMITTED HEIGHT	85 ft. (uninhabitable accessory farm structures) 35 ft. (other structures) <i>(Further provided that every structure is set back from each property line a distance at least equal to its height)</i>
MINIMUM SETBACK	Front - 50 ft. Side - 50 ft. Rear - 50 ft.
OTHER PERMITTED, SPECIAL EXCEPTION, OR CONDITIONAL USES	
MINIMUM LOT SIZE	1 ac.
MINIMUM LOT WIDTH	200 ft.
MAXIMUM LOT COVERAGE	20 %
MAXIMUM PERMITTED HEIGHT	35 ft.
MINIMUM SETBACK	Front - 50 ft. Side - 50 ft. each side (100 ft. total) Rear - 50 ft.
PARKING LOT SETBACK	25 ft. from all property lines
BEDS PER ACRE	No more than 27
TREES PER 15 PROPOSED PARKING SPACES	1
PARKING REQUIREMENTS (SLDO)	
NURSING, REST OR RETIREMENT HOMES	1 space per 3 beds in addition to those needed for doctors and support staff
PARKING SPACE SIZE	10' x 20'
DRIVE AISLE	26' - Two way
HANDICAP PARKING	10 % of required parking spaces

SITE DATA	
EXISTING SITE AREA	125 State Road - Gross area = 5.03 ac. 125 State Road - Net area = 5.00 ac. 127 State Road - Gross area = 5.56 ac. 127 State Road - Net area = 5.20 ac. ±0.4 ac. (4%) <i>Includes both lots</i>
EXISTING IMPERVIOUS COVERAGE	±1.00 ac. (10%) <i>Includes both lots</i>
PROPOSED IMPERVIOUS COVERAGE	< 35 ft.
PROPOSED BUILDING HEIGHT	38,620 sq. ft.
PROPOSED BUILDING COVERAGE	64
NUMBER OF ACCOMMODATIONS (BEDS)	±10
NUMBER OF EMPLOYEES	32
REQUIRED PARKING SPACES	2 (included within total required spaces)
REQUIRED HANDICAP PARKING SPACES	25 parking spaces
PROPOSED PARKING SPACES	4 handicap parking spaces 29 Total Parking Spaces

ABBREVIATION LEGEND		
AASHTO = AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	N.T.S. = NOT TO SCALE	
ADS = ADVANCED DRAINAGE SYSTEM	O.A.E. = OR APPROVED EQUAL	
ASTM = AMERICAN SOCIETY FOR TESTING & MATERIAL	O.C. = ON CENTER	
AWWA = AMERICAN WATER WORKS ASSOCIATION	PC = POINT OF CURVE	
BLDG = BUILDING	PCC = POINT OF COMPOUND CURVE	
BOT = BOTTOM	PRC = POINT OF REVERSE CURVE	
CIP = CAST IRON PIPE	PT = POINT OF TANGENT	
CL = CENTERLINE	PVC = POINT OF VERTICAL CURVE	
CMP = CORRUGATED METAL PIPE	PVI = POINT OF VERTICAL INTERSECTION	
CO = SANITARY SEWER CLEAN-OUT	PVT = POINT OF VERTICAL TANGENT	
CONC = CONCRETE	R/W = RIGHT-OF-WAY	
DA = DRAINAGE AREA	SAN = SANITARY	
DIA = DIAMETER	SCE = STABILIZED CONSTRUCTION ENTRANCE	
EGL = EXISTING GRADE LINE	SDR = STANDARD DIMENSION RATIO	
EX = EXISTING	SDMH = STORM DRAIN MANHOLE	
FH = FIRE HYDRANT	SF = SQUARE FEET	
GV = GATE VALVE	SSMH = SANITARY SEWER MANHOLE	
HGL = HYDRAULIC GRADE LINE	STA = STATION	
HDPE = HIGH DENSITY POLYETHYLENE	STD = STANDARD	
INV = INVERT	SY = SQUARE YARDS	
LF = LINEAR FEET	T.A.N. = TYPE AS NOTED	
MAX = MAXIMUM	TEMP = TEMPORARY	
MB = MAIL BOX	TG = TOP OF GRADE	
MIN = MINIMUM	TYP = TYPICAL	
MJ = MECHANICAL JOINT	VIF = VERIFY IN FIELD	
NO = NUMBER	WM = WATER VALVE	
N.T.C. = NOT THIS CONTRACT		

- GENERAL NOTES**
- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor to Silver Spring Township specifications.
 - No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
 - FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction. Contractor to contact PA One Call System Inc. at (800) 242-1776
 - The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
 - Utility easements are offered for dedication to their respective Authority upon approval and acceptance of said respective authority.
 - No trees, shrubs, fences, buildings, or improvements are permitted within the 100' clear sight triangle at any street intersection, existing or proposed.
 - No trees, shrubs, fences, buildings, or improvements are permitted within any easements, existing or proposed, as shown on this plan.
 - The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
 - All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
 - The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

PA One Call System	(800) 242-1776
Silver Spring Township	(717) 766-0178
Cumberland County Conservation District	(717) 240-7812
Gas Utility (UGI Utilities)	(717) 243-4219
Electric Utility (PPL Energy Plus)	(717) 685-7176
Cable/Telephone Utility (Comcast Xfinity)	(717) 412-1686
Water Utility (United Water)	(717) 766-4131
Sewer Authority (Silver Spring Township)	(717) 591-1370
 - The contractor shall be responsible for coordination of his construction with the construction of other contractors.
 - The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
 - The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
 - Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
 - The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
 - It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
 - Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
 - Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
 - All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.
 - Site Benchmark found on Sheet V-101 Existing Conditions. The benchmark is a gas valve located near the south east corner of the property along State Road.
 - All public improvements will comply with the latest edition of the Township's *Improvements Specifications Manual*.
 - The site has been visited by an experienced professional and there are no signs of watercourses, wetlands, marshes or rock outcrops in the proposed area of construction.

LEGEND		
EXISTING FEATURES		PROPOSED FEATURES
	SUBJECT BOUNDARY	
	ADJOINING BOUNDARY	
	CONTOUR (INDEX)	
	CONTOUR (INTERMEDIATE)	
	TREELINE	
	EDGE OF WATER	
	FLOW LINE	
	CENTERLINE	
	EASEMENT	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL	
	EDGE OF CONCRETE	
	CONCRETE CURB	
	GUARD RAIL	
	FENCE LINE	
	ELECTRIC LINE (UNDERGROUND)	
	ELECTRIC LINE (OVERHEAD)	
	GAS LINE	
	SANITARY SEWER	
	SANITARY SEWER FORCE MAIN	
	STORM DRAIN	
	TELEPHONE LINE	
	WATER LINE	

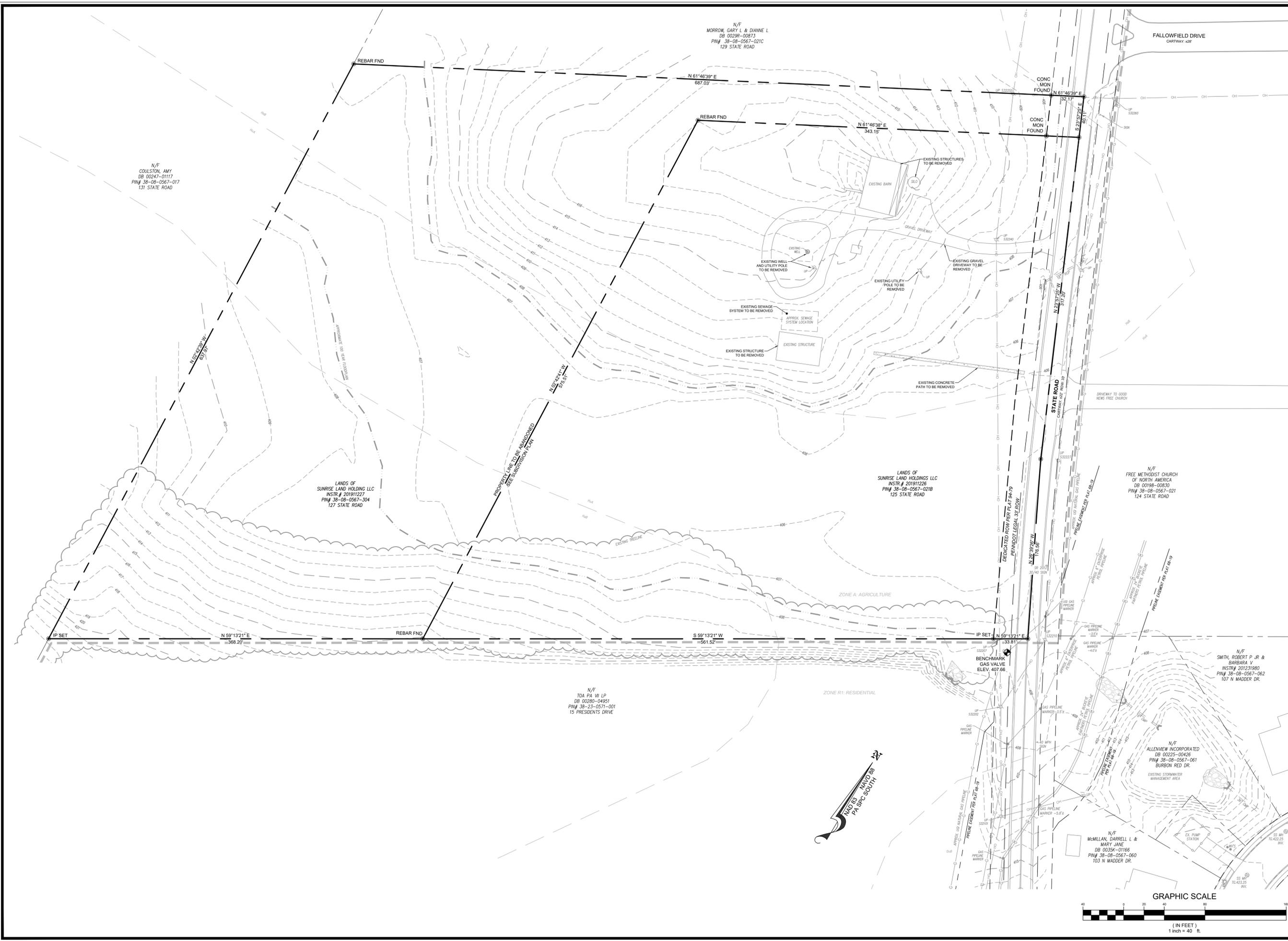
LEGEND		
EXISTING FEATURES		PROPOSED FEATURES
	FIRE HYDRANT	
	WATER GATE VALVE	
	WATER METER SINGLE / DOUBLE	
	WATER METER VAULT	
	CAP / PLUG, REDUCER, BEND	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER STUB	
	SANITARY SEWER CLEAN-OUT	
	SANITARY SEWER METER SINGLE / DOUBLE	
	STORM DRAIN INLET	
	STORM DRAIN MANHOLE	
	STORM DRAIN END SECTION	
	STORM DRAIN HEADWALL	
	UTILITY POLE	
	LIGHTING	
	GAS VALVE	
	CONCRETE BOLLARD	
	HANDICAP PARKING SYMBOL	
	ROAD SIGN	
	SITE SIGN	
	CONCRETE WHEEL STOP	
	PARKING SPACE COUNT	
	SPOT ELEVATION	
	BUILDING / HOUSE	
	CONTROL POINT	
	DETAIL REFERENCE	

FREDERICK & SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
 5201 SPRING ROAD, SUITE 100, SHERMANDALE, PENNSYLVANIA 17080
 (717) 992-9007
 www.fsa.com

SUNRISE LAND HOLDINGS LLC
 Situated approximately 1 mile north of the intersection of State Route 100 and State Route 1001
 Silver Spring Township, Cumberland County, PENNSYLVANIA
 CLIENT: Sunrise Land Holdings LLC, c/o Rob Neidinger, 388 Greasboro, PA 17015, 717-226-2888

PROJECT NO.	50208
CAD DWG FILE	50208-02 General Notes
DWN BY	RCH
DATE	10-14-2019
CHK BY	JTD
DATE	02-17-2020
PROPERTY ID #	38-08-0567-021B
SCALE	NTS
SHEET TITLE	GENERAL NOTES

G-002
SHEET 2 OF 13



N/F
COULSTON, AMY
DB 00243-0117
PIN# 38-08-0567-017
131 STATE ROAD

N/F
MORROW, CARY L & DIANNE L
DB 00298-00873
PIN# 38-08-0567-021C
129 STATE ROAD

LANDS OF
SUNRISE LAND HOLDING LLC
INSTR. # 201911227
PIN# 38-08-0567-304
127 STATE ROAD

LANDS OF
SUNRISE LAND HOLDINGS LLC
INSTR. # 201911226
PIN# 38-08-0567-021B
125 STATE ROAD

N/F
FREE METHODIST CHURCH
OF NORTH AMERICA
DB 00198-00830
PIN# 38-08-0567-021
124 STATE ROAD

N/F
TOA PA VII LP
DB 00280-04951
PIN# 38-23-0571-001
15 PRESIDENTS DRIVE

N/F
SMITH, ROBERT P, JR &
BARBARA V
INSTR. # 201231980
PIN# 38-08-0567-022
107 N MADDER DR.

N/F
ALLENVIEW INCORPORATED
DB 00225-00426
PIN# 38-08-0567-061
BURSON RED DR.

N/F
MCMILLAN, DARRELL L &
MARY JANE
DB 00358-01166
PIN# 38-08-0567-060
103 N MADDER DR.

SUNRISE LAND HOLDINGS LLC
SUNRISE LAND HOLDINGS LLC, c/o Rob Neidlinger
589 Gresson Road, Carlisle, PA 17015
717-226-8888

UNDER AGENCY REVIEW - NOT APPROVED

F REDERICK & SEIBERT ASSOCIATES, INC. P.A.
FREDERICK & SEIBERT ASSOCIATES, INC. P.A.
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740-2225
505 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17013
501 SPRING ROAD, SUITE 3, SHERMANSVILLE, PENNSYLVANIA 17090
(717) 239-1000 (717) 239-1002 (717) 239-1004

MARK	DESCRIPTION	DATE

PROJECT NO: 50208

CAD DWG FILE: 50208-03 Existing Conditions

DWN BY: RCH DATE: 10-14-2019

CHK BY: JTD DATE: 02-17-2020

PROPERTY ID #: 38-08-0567-021B

SCALE: 1" = 40'

SHEET TITLE: EXISTING CONDITIONS

V-101 SHEET 3 OF 13

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

N/F
COULSTON, AMY
DB 00247-01117
PIN# 38-08-0567-017
131 STATE ROAD

N/F
MORROW, GARY L & DIANNE L
DB 00298-00873
PIN# 38-08-0567-021C
129 STATE ROAD

LOT 1 - 125 STATE ROAD
PIN# 38-08-0567-304
EXISTING GROSS LOT AREA: 5.03 ACRES
EXISTING NET LOT AREA: 5.00 ACRES

PROPOSED LANDS OF SUNRISE LAND HOLDINGS
5.03 ACRES (LOT 1)
+ 5.56 ACRES (LOT 2)
PROPOSED GROSS AREA: 10.59 ACRES

5.00 ACRES (LOT 1)
+ 5.20 ACRES (LOT 2)
PROPOSED NET AREA: 10.20 ACRES

LANDS OF
SUNRISE LAND HOLDING LLC
INSTR# 20191227
PIN# 38-08-0567-304
127 STATE ROAD

LOT 2 - 127 STATE ROAD
PIN# 38-08-0567-021B
EXISTING GROSS LOT AREA: 5.56 ACRES
EXISTING NET LOT AREA: 5.20 ACRES

LANDS OF
SUNRISE LAND HOLDINGS LLC
INSTR# 20191226
PIN# 38-08-0567-021B
125 STATE ROAD

N/F
TOA PA VII LP
DB 00280-04951
PIN# 38-08-0571-001
15 PRESIDENTS DRIVE

N/F
FREE METHODIST CHURCH
OF NORTH AMERICA
DB 00168-00830
PIN# 38-08-0567-021
124 STATE ROAD

N/F
SMITH, ROBERT P. JR &
BARBARA V
INSTR# 201231980
PIN# 38-08-0567-082
107 N MADDER DR.

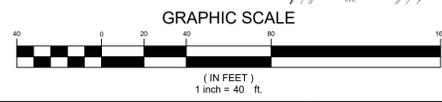
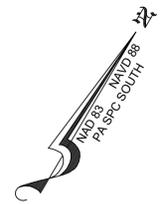
N/F
ALLENVIEW INCORPORATED
DB 00223-00426
PIN# 38-08-0567-061
BURBON RED DR.
EXISTING STORMWATER
MANAGEMENT AREA

N/F
MCMILLAN, DARRELL L &
MARY JANE
DB 0035K-01166
PIN# 38-08-0567-060
103 N MADDER DR.



LANDS OF SUNRISE LAND HOLDINGS CALCULATIONS			
PROPERTY	CALCULATIONS		NEW TRACT SIZE
SUNRISE LAND HOLDINGS GROSS LOT AREA	5.03 ACRES 5.56 ACRES	LOT 1 + LOT 2	10.59 ACRES
SUNRISE LAND HOLDINGS NET LOT AREA	5.00 ACRES 5.20 ACRES	LOT 1 + LOT 2	10.20 ACRES

- NOTES:
- The gross area for these lots includes the total property area to the center line of State Road.
 - The net area includes property only to the dedicated right of way.



FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
505 SOUTH HANOVER STREET, CHARLESTON, PENNSYLVANIA 17133
501 SPRING ROAD, SUITE 3, BERMANSDALE, PENNSYLVANIA 17090
www.fsa.com (717) 791-0200 (717) 791-0204

SUNRISE LAND HOLDINGS LLC
Shaded approximately 1 mile north of the intersection of Blue Ridge and W. Temple Roads (PA09811) along Spring Township, CUMBERLAND COUNTY, PENNSYLVANIA
CLIENT: Sunrise Land Holdings LLC, c/o Rob Nedlinger
586 Gression Road, Carlisle, PA 17015
717-226-2888

UNDER REVIEW - NOT APPROVED

DATE	DESCRIPTION

PROJECT NO: 50208
CAD DWG FILE: 50208-04 Subdivision Plan
DWN BY: CMC DATE: 10-14-2019
CHK BY: JTD DATE: 02-17-2020
PROPERTY ID #: 38-08-0567-021B
SCALE: 1" = 40'

SUBDIVISION PLAN

V-102
SHEET 4 OF 13

N/F
COULSTON, AMY
DB 00247-01117
PIN# 38-08-0567-017
131 STATE ROAD

N/F
MORROW, GARY L & DIANNE L
DB 00298-00873
PIN# 38-08-0567-021C
129 STATE ROAD

LANDS OF
SUNRISE LAND HOLDING LLC
NSTR# 201911227
PIN# 38-08-0567-304
127 STATE ROAD

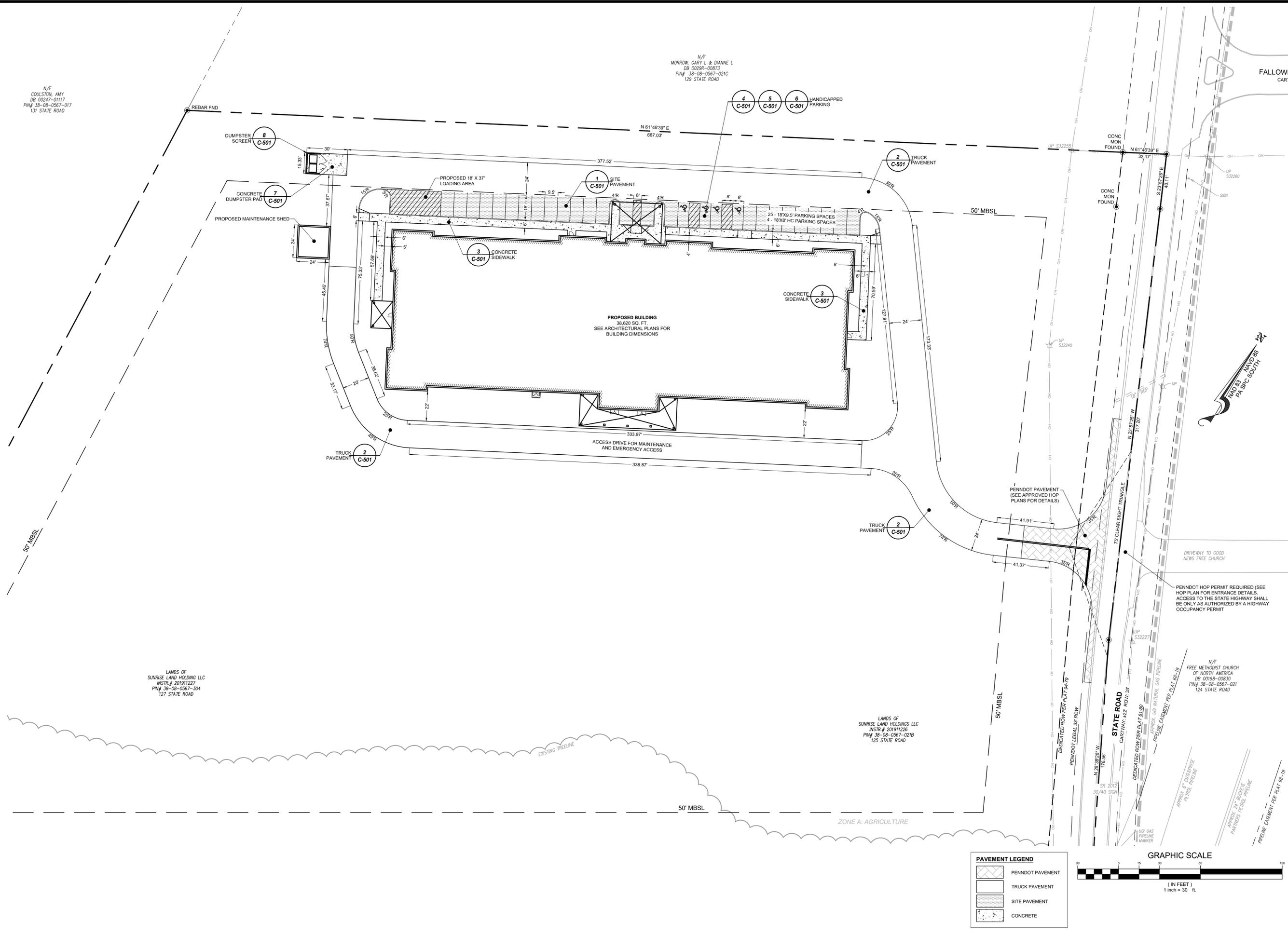
LANDS OF
SUNRISE LAND HOLDING LLC
NSTR# 201911226
PIN# 38-08-0567-021B
125 STATE ROAD

N/F
FREE METHODIST CHURCH
OF NORTH AMERICA
DB 00198-00830
PIN# 38-08-0567-021
124 STATE ROAD

CLIENT:
Sunrise Land Holdings LLC, c/o Rob Neidinger
699 Grasson Road, Carlisle, PA 17015
717.228-2888

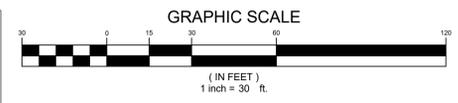
SUNRISE LAND HOLDINGS LLC
Sited approximately 1 mile north of the intersection
of Blue Road and W. Triple Road (PA 041)
Silver Spring Township
CUMBERLAND COUNTY, PENNSYLVANIA

FREDERICK SEIBERT & ASSOCIATES, INC. PRO CONSTRUCTION
© 2020
CIVIL ENGINEER, SURVEYOR, LANDSCAPE ARCHITECT, LAND PLANNER
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
606 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17015
501 SPRING ROAD, SUITE 3, SHERMANSDALE, PENNSYLVANIA 17090
DB# 00178-00000 001 183-878 www.fsa.com (717) 681-0027



PAVEMENT LEGEND

	PENNDOT PAVEMENT
	TRUCK PAVEMENT
	SITE PAVEMENT
	CONCRETE



MARK	DESCRIPTION	DATE

PROJECT NO:	50208
CAD DWG FILE:	50208-05 Layout & Dimensioning
DWN BY:	RCH
DATE:	10-14-2019
CHK BY:	JTD
DATE:	02-17-2020
PROPERTY ID #	38-08-0567-021B
SCALE:	1" = 30'

LAYOUT & DIMENSION PLAN
C-101
SHEET 5 OF 13

BUCKEYE PARTNERS GAS LINE CROSSING NOTES

- Before any work within the Buckeye Partners ROW may commence, contractor must contact Brian Barr at 717-215-7028 to schedule a pre-construction meeting.
- The following items are taken directly from the "Right-of-Way Use Restrictions Version 6.2" provided by Buckeye Partners. The contractor should familiarize themselves with all requirements found in this document as well as their own.

1.0 General Guidelines

- 1.1 The safety of the pipeline must be considered at all times. No attempt to probe for or engage in any construction activities which might damage the pipeline is permitted. Page 3 of 27
- 1.2 Before any preliminary field work or construction begins in the vicinity of Buckeye's pipeline, a determination of the exact location and elevation of the pipeline must be made. To coordinate this procedure, please contact our local Field Operations Manager at the Buckeye facility nearest to your proposed project (see Attachment 1 for a listing of Buckeye's facilities and telephone numbers). Buckeye makes no assurance that its permanent pipeline markers are positioned directly over its pipeline(s). Line markers should be placed at intervals determined by "line of sight". The relocation, removal, or destruction of Buckeye's pipeline markers are prohibited by federal law. Pipeline markers damaged or made unusable shall be repaired or replaced at the Encroaching Party's expense.
- 1.3 All proposed drawings/plans must be submitted to Buckeye's Right of Way Department for review to determine to what extent, if any, the pipeline or right-of-way will be affected and/or encroached upon. These drawings/plans must be prepared in strict compliance to Attachment 4, "Requirements for Submission of Design Plans".
- 1.4 Buckeye may require the property owner to provide proof of current ownership of the land where the proposed encroachment is to occur. Such proof may be in the form of a Title Commitment, Title Policy, or a certified copy of a recorded Conveyance Deed.
- 1.5 When any construction activity is conducted in or around our pipeline right-of-way, Buckeye's On-Site Inspector must be present at all times. NO WORK SHALL TAKE PLACE WITHOUT A BUCKEYE ON-SITE INSPECTOR PRESENT. For its free-of-charge services, contact our local Field Operations Manager at the Buckeye facility nearest to your proposed project.
- 1.6 The Crossing Party shall contact Buckeye for re-marking of a pipeline if the existing markers are inadequate for any reason, including disturbance due to construction activities. Note: Federal law prohibits the removal of pipeline markers.
- 1.7 The Crossing Party shall not burn trash, brush, or other items or substances within 50 feet of the pipeline.
- 1.8 The Crossing Party shall not store any equipment or materials on the right-of-way. Full access must be maintained to the pipeline(s) at all times. The stockpiling of items including soil, or topsoil over the pipeline(s) is not permitted.
- 1.9 During routine or emergency maintenance on the pipeline, the cost to restore approved surface improvements (e.g., pavement, landscaping, sidewalks, etc.) shall be the responsibility of the Crossing Party.
- 1.10 Depending on the type and nature of the encroachment, Buckeye may require the pipeline(s) within the proposed encroachment to be exposed, visually inspected, and backfilled by a Buckeye representative at the full expense of the Crossing Party. Buckeye will evaluate the pipeline(s) and the protection system, including the coating type and condition, for suitability of service in relation to the proposed encroachment. Should Buckeye deem that the cathodic protection system and/or coating system is insufficient for any reason, Buckeye will repair or upgrade the system at the Crossing Party's expense to accommodate the proposed encroachment. Potential cathodic protection modifications can include, but are not limited to equipment such as rectifiers, anode systems, test stations, casing pipe, and coating. Page 4 of 27

2.0 Excavation and Construction Restrictions

- 2.1 Excavation operations shall be performed in accordance with appropriate State "One-Call" utility locating system requirements. As a matter of State law, anyone undertaking excavation work is required to call three (3) working days before excavating in MA, ME, MI, MN, NJ, NY, RI, SC, TN, and WI, two (2) working days in all other states (see Attachment 3 for State "One-Call" numbers).
- 2.2 The Crossing Party will conduct "one-calling" of any proposed excavation areas. Buckeye will erect temporary pipeline markers/flags (yellow) identifying the location of the pipeline within the work area, and will provide information on how to respond should the pipeline be damaged or a commodity release occur. All personnel operating equipment over or around the pipeline must be made aware of its location and what to do if they make contact with the pipeline.
- Note: The Encroaching Party must utilize a qualified contractor of Buckeye's choice to locate and mark the existing Buckeye operated pipeline(s) using industry practices and agree to mark the location of the pipeline with buoys or by electronic location methods as approved by Buckeye for the duration of the construction activity in the vicinity of Buckeye's operated pipeline(s). If proposing dredging activities within 150-foot of Buckeye's pipeline(s), a dredging plan must be submitted to Buckeye for review and approval.
- 2.3 When a Crossing Party excavates near Buckeye's pipeline, a Buckeye representative must locate the pipeline and determine the depth of cover before excavation. The Buckeye representative shall mark the pipeline with buoys or by electronic location methods and complete an Excavation Safety Checklist (Attachment 9). The Crossing Party shall not perform any excavation, crossing, backfilling, or construction operations until Buckeye's On-Site Inspector has reviewed the proposed work on site and given approval for work to proceed. Buckeye's On-Site Inspector shall have the authority to stop the work if it is determined that the work is being performed in an unsafe manner.
- 2.4 No equipment shall work directly over the pipeline. The Crossing Party shall install temporary fencing along Buckeye's right-of-way boundaries so that equipment will not inadvertently pass over the pipeline at locations other than those established for crossing (see Section 3.6).
- 2.5 When excavating within the right-of-way, the Crossing Party's backhoe shall have a plate welded over the teeth of the backhoe bucket, and the side cutters must be removed prior to excavation. However, if within 24 inches of the outer edge of the pipe (this "tolerance zone" extends on all sides of the pipe), only hand excavation, air cutting, and vacuum excavation are permitted.
- 2.6 No excavations shall be made on land adjacent to the pipeline that will in any way impede or obstruct the pipeline, cause subsidence, create the accumulation of water, or cause damage to the pipeline or right-of-way.
- 2.7 The Crossing Party shall ensure all excavation work complies with OSHA's excavation standards outlined in 29 CFR 1926 and correct any non-compliance at the excavation site before Buckeye's On-Site Inspector or the Crossing Party enters the site to perform work. Page 5 of 27
- 2.8 If conditions require, the Crossing Party shall be directed by Buckeye to install sand or cement bags or other suitable insulating materials to maintain proper vertical clearance from the pipeline.
- 2.9 At any location where the pipeline is exposed, the Crossing Party shall provide Buckeye the opportunity to inspect the pipeline condition, install cathodic protection test leads, and/or install underground warning mesh.
- 2.10 The maximum unsupported exposed length of pipe shall be 20 feet for 4-inch-diameter pipe, 25 feet for 6-inch to 10-inch-diameter pipe, and 30 feet for 12-inch to 24-inch-diameter pipe. When required, the pipeline shall be supported with ground and sand bags or padded skids. At no time shall the pipeline be used as a brace to support equipment or shelving/storage materials. Note: The Crossing Party shall submit a support plan for Buckeye's review and approval.
- 2.11 No buried pipeline may be left exposed for any duration of time without concurrence of Buckeye's On-Site Inspector.
- 2.12 Backfill and compaction shall be performed to the satisfaction of the Buckeye's On-Site Inspector. Within 5 feet of the pipeline crossing location, the Crossing Party shall place at least 12 inches of sand with no sharp gravel, rock, hard clods, vegetation, or other debris, and remaining backfill shall be placed in 6-inch lifts to compact the backfill to the required density or damage the pipeline (see Attachment 7 for Foreign Utility Crossing Details). Backfill over the pipe shall be compacted by hand until 18 inches of cover is achieved. The disturbed ground shall be compacted to the same degree of compaction of surrounding areas. The Crossing Party shall restore the site to its original condition except for items that are part of the Buckeye approved change.

3.4 Foreign Utility Crossings

- 3.4.1 General Requirements:
 - a. Utilities shall cross perpendicular to the pipeline.
 - b. Utilities are required to cross beneath the pipeline with a minimum clearance of 24 inches. Exceptions to Buckeye's clearance requirements for underground service entrances to single family dwellings will be reviewed on a case-by-case basis.
 - c. Sand or select fill shall be placed between the pipeline and utility (see Section 2.8).
 - d. Utilities installed parallel to the pipeline shall be reviewed by Buckeye on a case-by-case basis. If approved, the utility shall be no closer than 15 feet from the pipeline.
 - e. Warning tape, in accordance with A.P.W.A. Uniform Color Code, shall be placed above utility, 12 inches below ground, for a distance of 25 feet on either side of crossing.
 - f. Signage shall be placed at crossing as determined appropriate by Buckeye.
 - g. Splice boxes, service risers, energized equipment, etc., are not permitted within the right-of-way.
 - h. Trenchless Installation:
 - [1] Utilities installed by a trenchless excavation method (directional drilling, jacking, slick boring, etc.) shall be reviewed by Buckeye on a case-by-case basis.
 - [2] Buckeye reserves the right to select the method of crossing for the proposed utility.
 - [3] A minimum clearance of 60 inches (5 feet) below the pipeline is required.
 - [4] For directional drilling operations, a tracking system is required to verify the exact location of the drill head.
 - [5] For perpendicular crossings, a 4 feet by 4 feet excavation window, 24 inches below the pipeline is required for visual inspection of the pipeline to ensure the drill (or bore) does not impact the pipeline.
 - [6] Blind boring is not permitted within Buckeye's right-of-way.
 - [7] When trenchless excavations are authorized by Buckeye parallel to and within 10 feet of an existing pipeline, observation holes shall be excavated at 25-foot intervals to monitor the progress and horizontal/vertical location of the drill head.
 - [8] Buckeye must be provided with an advance copy of the horizontal directional drill (HDD) plan for the trenchless excavation which specifies how the HDD will be tracked, monitored and controlled at least two weeks before work is to commence. The plan must detail preventative measures to prevent conflicts with Buckeye's existing facility. The plan must state the planned HDD bore diameters, rod lengths, ream diameters, method of guidance, method of drill head tracking, etc. Additionally, the plan needs to include procedures for continuous monitoring and reporting of the drill head location, and state the appropriate vertical and horizontal deviation tolerances for the HDD operations in accordance with API RP 1172, "6 Final Design". The procedure must include reporting requirements and procedures to correct or shut down the HDD trajectory should the operation exceeds the established tolerances. Buckeye Operations must be notified immediately if tolerances are compromised and should be involved in the recommencement of operations after tolerances are exceeded.

- 3.4.2 Metallic Utilities:
 - a. Bonds and test leads shall be installed at the expense of and by the Crossing Party where Buckeye deems necessary.
 - b. Utilities shall be coated with a non-conductive coating for a distance of 50 feet on either side of the pipeline crossing.
 - c. Ductile water pipe shall include risible gaskets within 50 feet of the pipeline crossing or anywhere within 25 feet of horizontal offset locations.
- 3.4.3 Non-Metallic Utilities:
 - a. Utilities shall be wrapped with tracer wire within the width of the right-of-way.
 - b. Natural gas (or other industrial gases) lines shall be encased in a 6-inch envelope of yellow 3,000 psi concrete across the right-of-way for a minimum distance of 10 feet to each side of each BUCKEYE Pipeline(s) across the right-of-way.
 - c. PVC water pipe shall include risible gaskets within 50 feet of the pipeline crossing or anywhere within 25 feet of horizontal offset locations.

- 3.4.4 Underwater Line Crossings:
 - a. For underwater line location procedures, refer to section 2.2.
 - b. The Encroaching Party must provide qualified diving inspectors to Buckeye for use during the crossing activity at no cost to Buckeye.
 - c. The Encroaching Party must place sacks filled with sand and cement between Buckeye's pipeline(s) and the encroaching utility to provide and maintain the required minimum vertical clearance between the two utilities.

- 3.4.5 Electrical, Fiber-Optic, and Communications Cables:
 - a. Buried Cables:
 - [1] Electrical conductors/cable installations shall meet minimum requirements of National Electric Code for buried conductors and be adequately shielded and be impervious to hydrocarbon liquids.
 - [2] Cables are required to cross beneath the pipeline with a minimum clearance of 24 inches. Exceptions to Buckeye's clearance requirements for underground service entrances to single family dwellings will be reviewed on a case-by-case basis.
 - [3] Sand or select fill shall be placed between the pipeline and cable (see Section 2.8), Page 9 of 27
 - [4] All cables shall be installed in Schedule 80 PVC pipe and encased in a 6-inch envelope of color coated (i.e. red for electrical cable, orange for communication cable) 3,000 psi concrete for a minimum distance of 10 feet to each side of each BUCKEYE Pipeline(s) across the right-of-way.
 - [5] Warning tape, in accordance with A.P.W.A. Uniform Color Code, shall be placed above the utility, 12 inches below ground, for a distance of 25 feet on either side of the crossing.
 - [6] Signage for the crossing shall be placed as determined appropriate by Buckeye.
 - b. Aboveground Cables:
 - [1] A minimum of 20 feet of above-grade clearance for a distance of 25 feet on each side of the pipeline is required.
 - [2] Mechanical supports and service drops including poles, towers, guy wires, ground rods, anchors, etc., are not permitted within 25 feet of the pipeline.

PUBLIC UTILITIES NOTES:

- All aspects of the project shall conform to the requirements of SUEZ for water service and the Silver Spring Sewer Authority for sewer service.
- All sanitary sewer mains and sanitary sewer laterals shall be provided with metallic-backed warning/location tape 18" below ground directly above the pipe.
- Existing valves, risers, cleanouts and lids shall be field reset to proposed grade.
- Any damage to the utilities shall be the sole responsibility of the contractor, and all cost for repairs shall be borne by the contractor.
- All trenches shall be backfilled without delay. Open trenches shall be kept to a minimum. Open trenches shall be covered with steel plate when work is not in progress. No excavated areas are to remain open overnight.
- Limit daily trench excavation to the length of pipe which can be completed the same day.
- Water that accumulates in the open trench will be completely removed by pumping before pipe placement and/or backfilling begins. Water must be pumped through a filter bag to a stable surface or into the sediment basin.
- All drawings should be prepared in autocad, using or saved to the current version in use by authority's engineers.
- On the day following pipe placement and trench backfilling, the disturbed area will be graded to final contours. Seeding and mulching of all disturbed areas must be done immediately.
- Excavations or trenching within proximity to underground facilities or utility poles will require protection to prevent damage or interruption of service. The cost to provide the protection will be borne by the contractor.
- Over-excavation of utility trenches shall be backfilled with AASHTO #57 crushed stone.
- Compaction in fill area beneath all proposed utilities and structures should meet all manufacturer and Township requirements and be equal to the minimum 95% modified proctor density.
- The water and sewer mains and related appurtenances within road rights-of-way and dedicated easements are hereby offered for dedication to Suez and the Silver Spring Township Authority.
- The conditions of any Permit/DOT or Township issued Highway Occupancy Permits must be followed in compliance with any conditions contained in the permits.
- When pipe is laid in fill, the embankment shall be brought to a height of at least 1 foot above the top of the pipe before trench is excavated.

SANITARY SEWER NOTES:

- All sanitary sewer construction shall be designed and constructed in accordance with the requirements and standards of PA DEP, Silver Spring Township Municipal Authority and Silver Spring Township and subject to inspection by the Authority and its engineer.
- The contractor shall provide the following:
 - a. A list of the proposed suppliers for all materials to be used in connection with the sewer construction.
 - b. Shop drawings of any precast manholes, manhole steps and manhole frames and covers to be used.
 - c. Certification from the pipe manufacturer that the pipe meets or exceeds the requirement of the Authority's specifications.
- All sanitary sewer lines shall be SDR-35 pvc except as noted and shall be bedded to meet manufacturer's specifications and/or approval of the Township. All laterals shall be Schedule 40 or SDR-35 pvc.
- Contractor to ensure that all sanitary mains and laterals have minimum 18-inch vertical clearance and 5-foot horizontal clearance between any other utility crossing.
- Cleanouts to be placed as per Township requirements.
- All sanitary sewer and appurtenances shall be installed and tested in accordance with Silver Spring Township requirements.
- All sewer main and sewer laterals shall have a minimum of 3 feet cover.
- Any sewer cleanouts in paved areas need traffic-rated frames and covers.

WATER LINE NOTES:

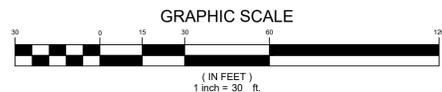
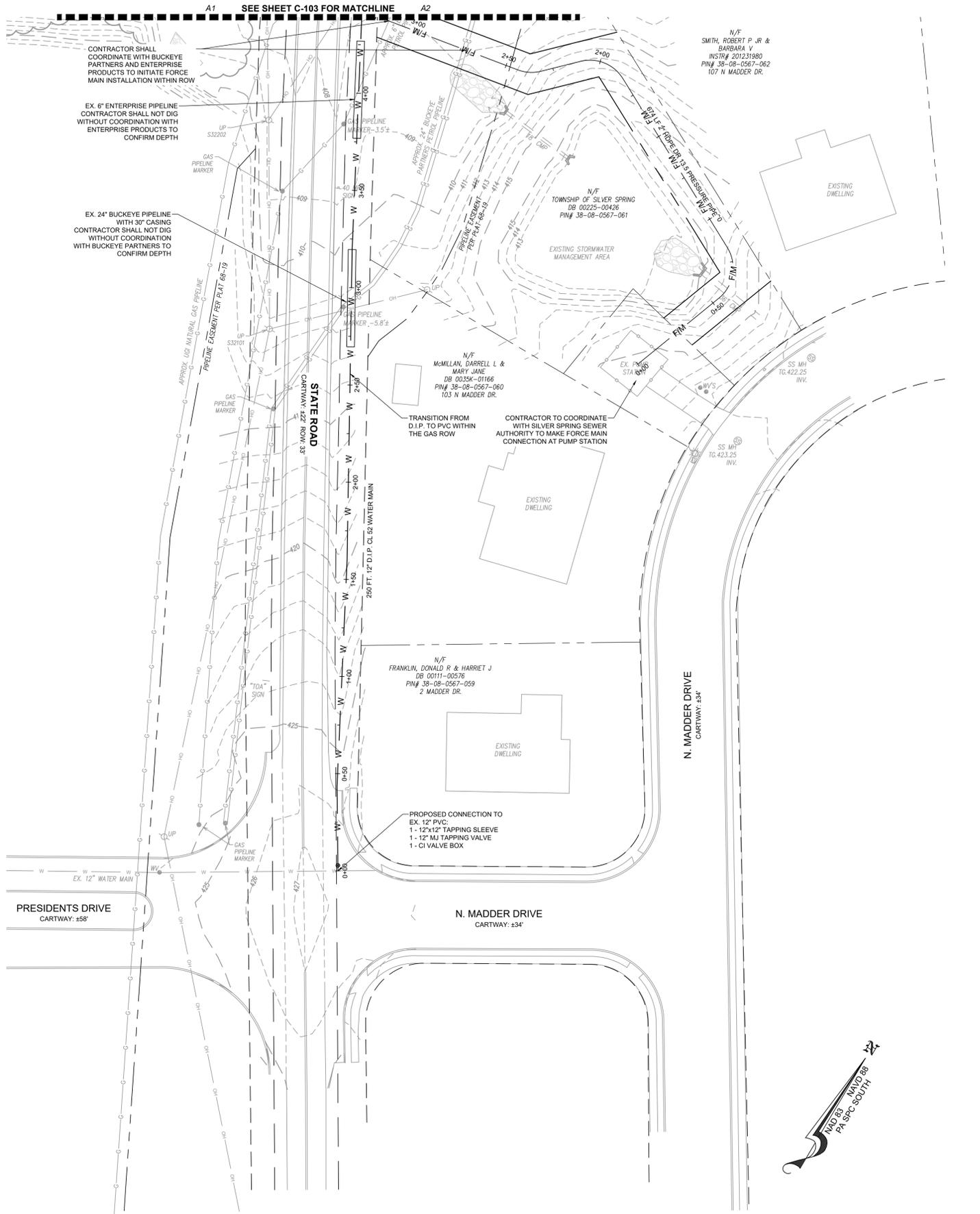
- The Water Authority ("Authority") for this project is Suez.
- A sketch plan of the water meter vault is provided and should be provided to the vault manufacturer for the vault design and construction. Prior to construction a copy of the water meter shop drawing design and cut sheets for all appurtenances must be provided to SUEZ for approval. The vault may be constructed after SUEZ vault design approval.
- SUEZ must be contacted to schedule inspection of the vault and vault installation after the vault is set and connected to the influent and effluent piping prior to backfill. Please call Chandra Flurkey to schedule the inspection at 717-443-6066.
- Prior to a new water service(s) being initiated, the Customer is required to complete an Application for Service by contacting SUEZ Customer Service at (717) 920-6060 or (888) 298-8972.
- Customer to purchase fire meter assembly from SUEZ. Contact Matt Bloom 717-901-6332 to order.
- All potable water pipes shall have a minimum cover of four (4) feet. Potable water and sanitary sewer line crossings shall have a minimum vertical clearance of eighteen (18) inches or a minimum horizontal separation of ten (10) feet. If these clearances cannot be met, the sewer line joints must have FERNCO couplings installed for ten (10) ft. on each side of the crossing. If the potable water passes beneath the sanitary, no matter how much clearance, the sewer line joints must have FERNCO couplings installed for ten (10) ft. on each side of the crossing.
- Proposed water service shall be standard Type K—seamless copper pipe, unless shown otherwise.
- All water line construction to be completed in accordance with the requirements and standards of DEP, Silver Spring Township Municipal Authority and Silver Spring Township.
- All water line valves, fitting, etc. shall be installed with MEGALUG thrust restraints.
- All water lines are to be pressure tested to 150 p.s.i. in sections between valves. The test pressure shall be maintained for a period not less than one hour. Should any pressure test disclose an inability to hold the test pressure, the contractor shall locate and correct defects and retest to the satisfaction of the Authority.
- All water lines must be surveyed prior to construction, with stakes provided at intervals of 50 feet, as well as all fitting locations with utility crossings. Stakes should be marked with written elevations for bottom of water pipe (including bottom of other utility pipe elevations at all utility crossings to verify clearance). Fire hydrants and water service curb stops must also be field staked and elevations indicating top-of-curb or finished grade shown on the plans.
- The contractor shall provide the following:
 - a. A list of proposed suppliers for all materials to be used in connection with the water line construction.
 - b. Shop drawings of any valves, fitting, and hydrants to be used.
 - c. Certification from the pipe manufacturer that the pipe meets or exceeds the requirement of the authority's specifications.

PIPELINE AND UTILITY LINE EROSION AND SEDIMENT CONTROL NOTES

- All excavated material must be placed on the high side of trench. Excess material shall be hauled away to a site with an approved Erosion and Sediment Control Plan.
- All Erosion & Sediment Control measures that are disturbed/damaged shall be repaired the same day.
- The total length of excavated trench open at any one time should not be greater than the total length of pipeline/utility line that can be placed in the trench and back-filled in one working day.
- No more than 50 linear feet of open trench should exist when pipeline/utility line installation ceases at the end of the workday.
- Soil supplements, seed and mulch shall be applied within seven days after the pipeline/utility line is installed.
- Erosion & Sediment Control devices shall be inspected daily and maintained in working condition.

ENTERPRISE PRODUCTS GAS LINE CROSSING NOTES

- Before any work within the Enterprise Products ROW may commence, contractor must contact Nathan McCory at 518-390-8499 to schedule a pre-construction meeting.
- The following items are taken directly from the "Encroachment Guidelines 2019" provided by Enterprise Products. The contractor should familiarize himself with all requirements found in this document as these notes are not exhaustive.
- Tolerance Zone: Enterprise defines the tolerance zone as 18 inches from the outer edge of the pipe (in all directions), or as defined by State regulations, whichever is greater. Pennsylvania State Tolerance Zone is also 18 inches.
- Mechanized equipment is not allowed within the tolerance zone.
- Any excavation taking place within the tolerance zone must be done by hand.
- Always make a One-Call prior to performing any excavation activities. Dial 811 or go to www.call811.com.
- Do not perform any excavation activities on Enterprise's right-of-way without approval from Enterprise. Enterprise will review plans for excavation within Enterprise's right-of-way, locate and mark the pipeline assets (if necessary) and an Enterprise representative will be on-site to monitor the excavation activity.
- No heavy equipment is allowed to work directly over the pipeline. The right-of-way boundary should be marked with temporary fencing or white line to assist the operator with positioning heavy equipment.
- All mechanical digging equipment must dig parallel to pipelines and have the teeth removed or barred with a plate welded across the bucket.
- An Enterprise representative has the authority to suspend excavation activities if an equipment operator appears to be unqualified or equipment maintenance is not in accordance with applicable regulations.
- Crossings should be at an angle as close to 90 degrees as possible in order to minimize the area of potential impact.
- Enterprise prefers that no foreign lines run parallel to Enterprise pipelines within the rights-of-way. Any plan to run a foreign line parallel to Enterprise's pipeline should be submitted to Enterprise's Land Encroachments Group for review and approval.
- The preferred method is to have foreign lines cross below Enterprise pipelines.
- In general, foreign pipeline and utility crossings should maintain a minimum clearance of 24 inches between the bottom of Enterprise's pipeline and the top of the pipeline/utility when installed via open cut excavation. Trenchless crossings may require additional clearance, among other things.
- Metallic pipe crossing Enterprise pipelines may be subject to a cathodic protection study. Foreign metallic pipe crossings shall be coated with an appropriate non-conductive coating to full width of Enterprise's rights-of-way.
- All buried electrical cables shall be installed in accordance with the National Electric Safety Code (NESC) or the National Electrical Code (NEC). All power cables shall be installed in non-metallic or high impact PVC conduit. In the event the conduit crosses over or below Enterprise's pipeline by open cut trench excavation, it shall be encased in red concrete the full width of the right-of-way.
- All buried communication cables, such as telephone, TV, Internet services and other data lines shall cross Enterprise pipelines with a minimum clearance of 24 inches and encased in a rigid, non-metallic conduit. Exceptions will be reviewed on a case-by-case basis.
- Warning tape shall be placed over the foreign utility for a minimum of 20 feet (perpendicular to the utility and 10 feet on both sides) in such a manner that it would be unearthed before damage could result to the pipeline.
- In general, utility poles and guy anchors are not permitted within Enterprise's rights-of-way. Overhead electrical or telephone lines shall be installed so that a minimum of 25 feet vertical clearance is maintained between the lowest point of the overhead crossing and the natural ground level above Enterprise's pipeline.



SUNRISE LAND HOLDINGS LLC
 Situated approximately 1 mile north of the intersection of State Road 33 and Madder Road (PA 6041) in Silver Spring, Maryland.

UNDER A REVIEW - NOT APPROVED FOR CONSTRUCTION

F. REDERICK & SEIBERT ASSOCIATES, INC.
 LICENSED ARCHITECTS - LAND PLANNERS
 CIVIL ENGINEERS - SURVEYORS - ENVIRONMENTAL ARCHITECTS
 1218 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 566 SOUTH HANOVER STREET, CARLEISLE, PENNSYLVANIA 17015
 501 SPRING ROAD, SUITE 315, SHERMANVILLE, PENNSYLVANIA 17090

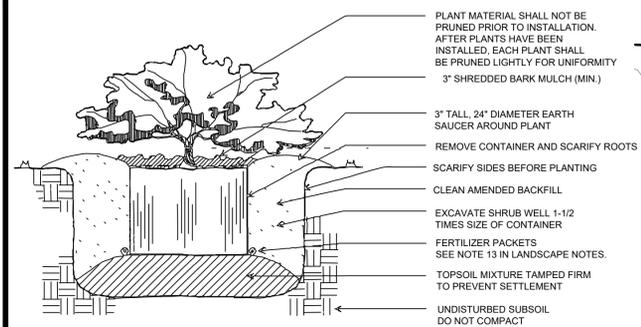
CLIENT:
 Sunrise Land Holdings LLC, c/o Rob Neidinger
 659 Grasson Road, Carlisle, PA 17015
 717-226-2888

MARK:	DATE:
DESCRIPTION:	

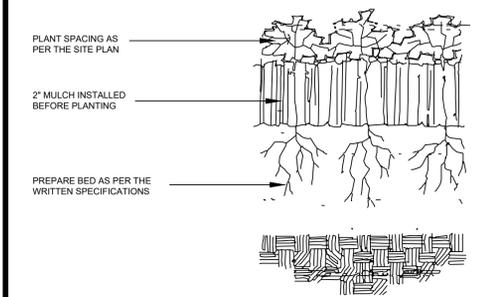
PROJECT NO: 50208
 CAD DWG FILE: 50208-07-08 Utility Plan
 DWN BY: RCH DATE: 10-14-2019
 CHR BY: JTD DATE: 2-17-2020
 PROPERTY ID #: 38-08-0567-0218
 SCALE: 1" = 30'
 SHEET TITLE: UTILITY PLAN

C-104
 SHEET 8 OF 13

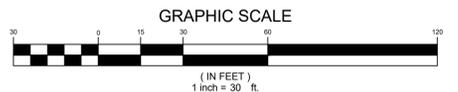
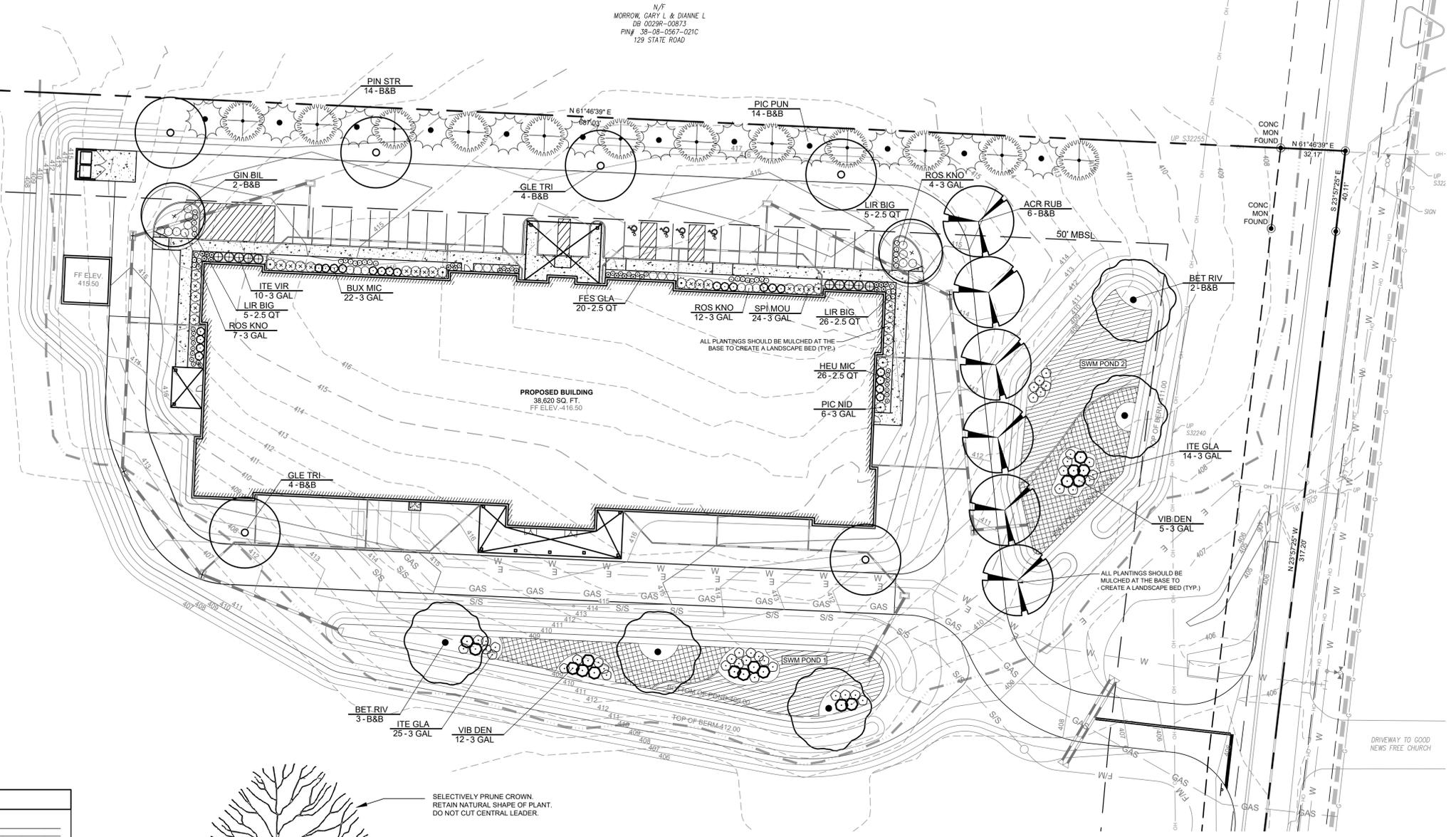
N/F
MORROW, CARY L & DIANNE L
DB 00298-00873
PIN# 38-08-0567-021C
129 STATE ROAD



1 CONTAINER SHRUB PLANTING
L-101 NOT TO SCALE



2 GROUNDCOVER/PLUG PLANTING DETAIL
L-101 NOT TO SCALE

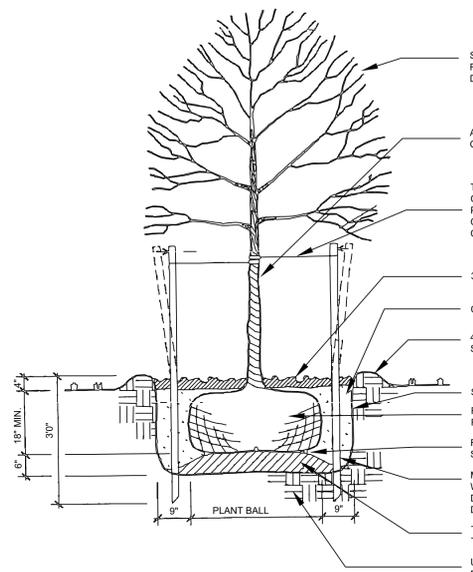


PLANTING SCHEDULE						
CODE	QTY	COMMON NAME/ BOTANICAL NAME	CONT.	SIZE	DETAIL	REMARK / NOTE
DECIDUOUS TREES						
ACR RUB	6	Red Maple / <i>Acer rubrum</i>	B&B	MIN. 12"	3/L-101	Limp trees up to a minimum of 5'
BET RIV	5	River Birch / <i>Betula nigra</i>	B&B	10' - 12'	3/L-101	Multi-stem, minimum 3 stems
GIN BIL	2	Princeton Sentry Ginkgo / <i>Ginkgo biloba</i> 'Princeton Sentry'	B&B	2" cal.	3/L-101	Limb when planted next to sidewalks
GLE TRI	6	Thornless Honeylocust / <i>Gleditsia triacanthos</i> var. <i>inermis</i>	B&B	2" cal.	3/L-101	
CONIFEROUS TREES						
PIC PUN	12	Blue Spruce / <i>Picea pungens</i>	B&B	7' - 8'	4/L-101	
PIN STR	12	Eastern White Pine / <i>Pinus strobus</i>	B&B	7' - 8'	4/L-101	
SHRUBS						
BUX MIC	22	Winter Gem Boxwood / <i>Buxus microphylla japonica</i> 'winter gem'	3 gal		1/L-101	
ITE GLA	39	Inkberry Holly / <i>Ilex glabra</i>	3 gal		1/L-101	
ITE VIR	10	Dwarf Virginia Sweetpire / <i>Itea virginica</i> 'little henry'	3 gal		1/L-101	
PIC NID	6	Nest Spruce / <i>Picea abies</i> 'Nidiformis'	3 gal		1/L-101	
ROS KNO	23	Knockout Rose / <i>Rosa</i> 'knockout'	3 gal		1/L-101	
SPI MOU	24	Gold Mound Spirea / <i>Spiraea x bumalda</i> 'goldmound'	3 gal		1/L-101	
VIB DEN	17	Viburnum / <i>Viburnum dentatum</i>	3 gal		1/L-101	
PERENNIALS						
FES GLA	20	Elijah Blue Fescue / <i>Festuca glauca</i> 'elijah blue'	2.5 qt.		1/L-101	1.5' - 2' O.C.
HEU MIC	26	Palace Purple Coral Bells / <i>Heuchera micrantha</i> var. <i>diversifolia</i>	2.5 qt.		1/L-101	
LIR BIG	36	Big Blue Lilyturf / <i>Liriope muscari</i> 'big blue'	2.5 qt.		1/L-101	1.5' - 2' O.C.

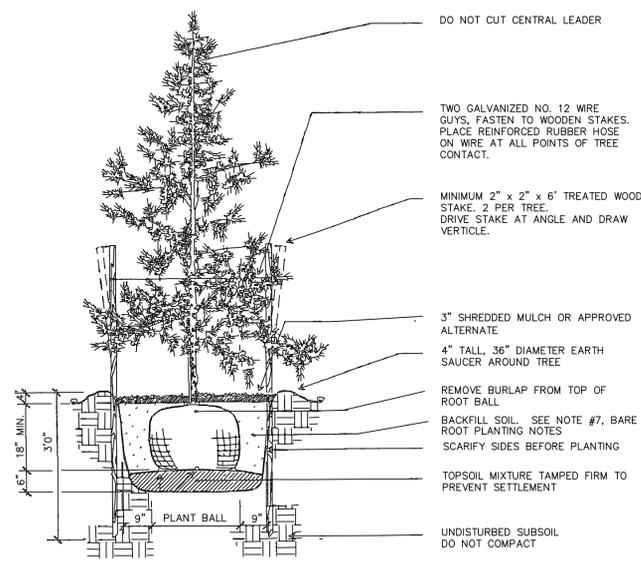
HERBACEOUS PLANTING SCHEDULE								
QUANTITY	SWM POND 1		SWM POND 2		BOTANICAL NAME	COMMON NAME	SIZE	DETAIL
	PLUG	PLUG	PLUG	PLUG				
1,500 SF	375	2,250 SF	560			MIXED GRASSES	2" PLUGS	DETAIL 2/L-101
1,850 SF	460	2,500 SF	625			MIXED PERENNIALS	2" PLUGS	DETAIL 2/L-101

MIXED PERENNIALS		MIXED GRASSES	
COMMON NAME	SCIENTIFIC NAME	COMMON NAME	SCIENTIFIC NAME
Aster, New England	<i>Aster novae-angliae</i>	Rush, soft	<i>Juncus effusus</i>
Butterflyweed	<i>Asclepias tuberosa</i>	Sedge, broom	<i>Carex scoparia</i>
Cardinal Flower	<i>Lobelia cardinalis</i>	Sedge, Pennsylvania	<i>Carex pennsylvanica</i>
Coneflower, orange	<i>Rudbeckia fulgida</i>	Switchgrass	<i>Panicum virgatum</i>
Trumpetweed	<i>Eupatorium fistulosum</i>		
Phlox, meadow	<i>Phlox maculata</i>		

THE MINIMUM SIZE FOR MIXED GRASSES AND PERENNIALS SHALL BE 2" PLUGS. GRASSES AND PERENNIALS SHALL BE PLANTED 2 FOOT ON CENTER WITH A RANDOM MIX OF PLANTS. PLANTING SHOWN IS RECOMMENDED. OTHER PLANT SPECIES SPECIFIED IN THE PA STORMWATER BEST MANAGEMENT PRACTICES MANUAL *APPENDIX B - PENNSYLVANIA NATIVE PLANT LIST* ARE PERMITTED.



3 SMALL TREE PLANTING (UP TO 2-1/2" CAL.)
L-101 NOT TO SCALE



4 EVERGREEN TREE PLANTING
L-101 NOT TO SCALE

- GENERAL LANDSCAPE NOTES:**
- Landscape contractor is to call PA One Call and have all underground utilities marked prior to any digging or planting.
 - Landscape Contractor shall install all plant material in a timely fashion.
 - Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
 - NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
 - Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
 - All plants shall be watered thoroughly during installation and prior to final acceptance.
 - All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
 - All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
 - Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
 - Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
 - All plant material shall be warranted for one year, 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be an 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
 - The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
 - Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
- MAINTENANCE:**
- Owner to remove silt/sediment if the accumulation of sediment exceeds one inch over the bioretention area.
 - All trash and debris should be removed from the top of the bioretention area as necessary.
 - Areas devoid of mulch shall be re-mulched on an annual basis.
 - All areas of turfgrass that have been disturbed from construction or is not growing properly should be seeded with an appropriate grass seed mix.

- LANDSCAPE REQUIREMENT NOTES:**
- Section 603.16 - Parking lots over 25 parking spaces should provide a minimum of 5% of the total area of interior landscaping
Parking Lot Area = 6,000 sq. ft.
Proposed Interior Landscaping Area = 550 sq. ft.
- Section 611.03 - For every 300 sq. ft. of required interior landscaping for parking lots, one shade tree shall be provided.
Parking Lot Interior Landscaping Area = 550 sq. ft.
Trees Required = 2
Trees Provided = 2 (within islands in parking lot)

SUNRISE LAND HOLDINGS LLC
Sited approximately 1 mile north of the intersection of Blue Bell Road and W. Triangle Road (PA0641) in Shrewsbury Township, Cumberland County, Pennsylvania.
CLIENT: Sunrise Land Holdings LLC, c/o Rob Neidinger, 689 Grasson Road, Carlisle, PA 17015, 717-226-2888

FREDERICK SEIBERT & ASSOCIATES, INC.
128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
CIVIL ENGINEER, SURVEYOR, LANDSCAPE ARCHITECT, LAND PLANNERS
500 SPRING ROAD, SUITE 3, SHERMANSDALE, PENNSYLVANIA 17013
901-716-1818 | www.fsa.com

UNDER AGENCY REVIEW - NOT APPROVED FOR CONSTRUCTION

PROJECT NO: 50208
CAD DWG FILE: 50208-11 Landscape
DWN BY: CMC DATE: 10-14-2019
CHK BY: JTD DATE: 02-17-2020
PROPERTY ID #: 38-08-0567-021B
SCALE: 1" = 30'
SHEET TITLE: LANDSCAPE PLAN
L-101
SHEET 11 OF 13