

Cumberland County Subdivision and Land Development Review Report

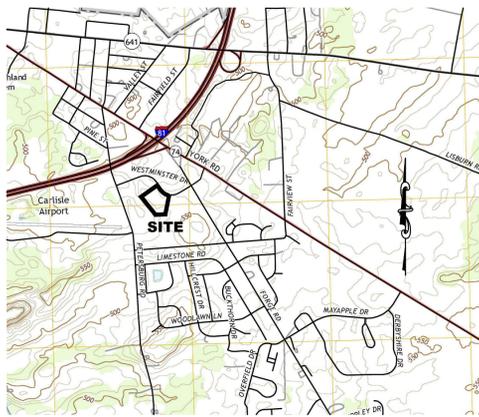
Municipality:	South Middleton	Surveyor/ Engineer:	Diffenbaugh Wadel	Owner/ Developer:	Carlisle Reformed Presbyterian Church		
Plat Title:	Carlisle Reformed Presbyterian Church						
Plat Status:	Preliminary/Final	Plat Type:	Land Development				
# of New Lots:	0	# of New Dwelling Units:	0	New Acreage Subdivided/Developed:	0	Total Tract Acreage:	6.16
Zoning District:	C-2	Proposed Land Use:	Same as existing				
Date Received:	3/27/2020	County Review:	4/4/2020	Reviewed by:	SH	Checked by:	

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The Township should verify that the Lot Coverage calculations are correct. It appears that the gravel parking area is included in the definition of Impervious Coverage (Zoning 300.104).
2. The plan should include required and proposed building coverage figures (Zoning 1202.4.A).
3. The width of interior drives between parking spaces should be indicated on the plan (Zoning 1802.1)
4. The required and provided sight distance should be shown on the plan (Zoning 1807.5).
5. The plan should reference the date of the Conditional Use Hearing and any additional requirements as a result of the Hearing (Zoning Article XX).
6. Will the proposed building addition result in additional sewage flow rates? The plan should address Pennsylvania DEP Sewage Planning requirements (SLDO 502.B).
7. The size and species of all proposed trees should be indicated on the plan (SLDO 502.F.6).
8. An Erosion and Sedimentation Control Plan should be submitted to the Cumberland County Conservation District for review and approval (SLDO 602.D).
9. The plan should indicate a dedication of recreation land or a fee in lieu of dedication (SLDO 606).
10. The plan should include curbing or some other method to protect the proposed grass islands (SLDO 711.B.2.J.iii.2).
11. A lighting plan should be included with the submission. The plan should include foot-candle measurements.
12. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel

boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



LOCATION MAP 1" = 2000'

STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION

Commonwealth Of Pennsylvania:
County Of Cumberland:

On this, the _____ day of _____, 2020 before me, the undersigned officer, personally appeared _____, who being duly sworn, according to law deposes and says that he/she is a representative of Carlisle Reformed Presbyterian Church, which is the owner of the property shown on this plan and that he/she acknowledges the same to be his/her plan and desire the same to be recorded as such according to law; and all roads or parts thereof, if not previously dedicated, are hereby tendered for dedication to public use.

Representative of Carlisle Reformed Presbyterian Church

Notary Public
Witness my hand and seal the above day and date written.

SOUTH MIDDLETON TOWNSHIP BOARD OF SUPERVISORS APPROVAL

Approved this _____ day of _____, 2020. Said approval being given by the Board of Supervisors of the Township of South Middleton based upon this plan's conformity with the standards of the South Middleton Township Subdivision And Land Development Ordinance, Zoning Ordinance and all conditions of approval.

South Middleton Township Board of Supervisors:

Member _____ Member _____

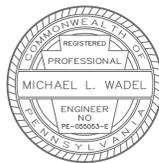
Member _____ Attest South Middleton Township Secretary _____

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW

Reviewed by the Cumberland County Planning Department this _____ day of _____, 2020.

Cumberland County Planning Department

Director Of Planning _____



ENGINEER'S CERTIFICATION Michael L. Wadel, P.E. _____ Date _____

I hereby certify that I have been to the project site, that I have observed the present conditions and that this plan indicates the actual condition of the site. I further certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the South Middleton Township Subdivision & Land Development Ordinance and the Township may rely upon the accuracy thereof.

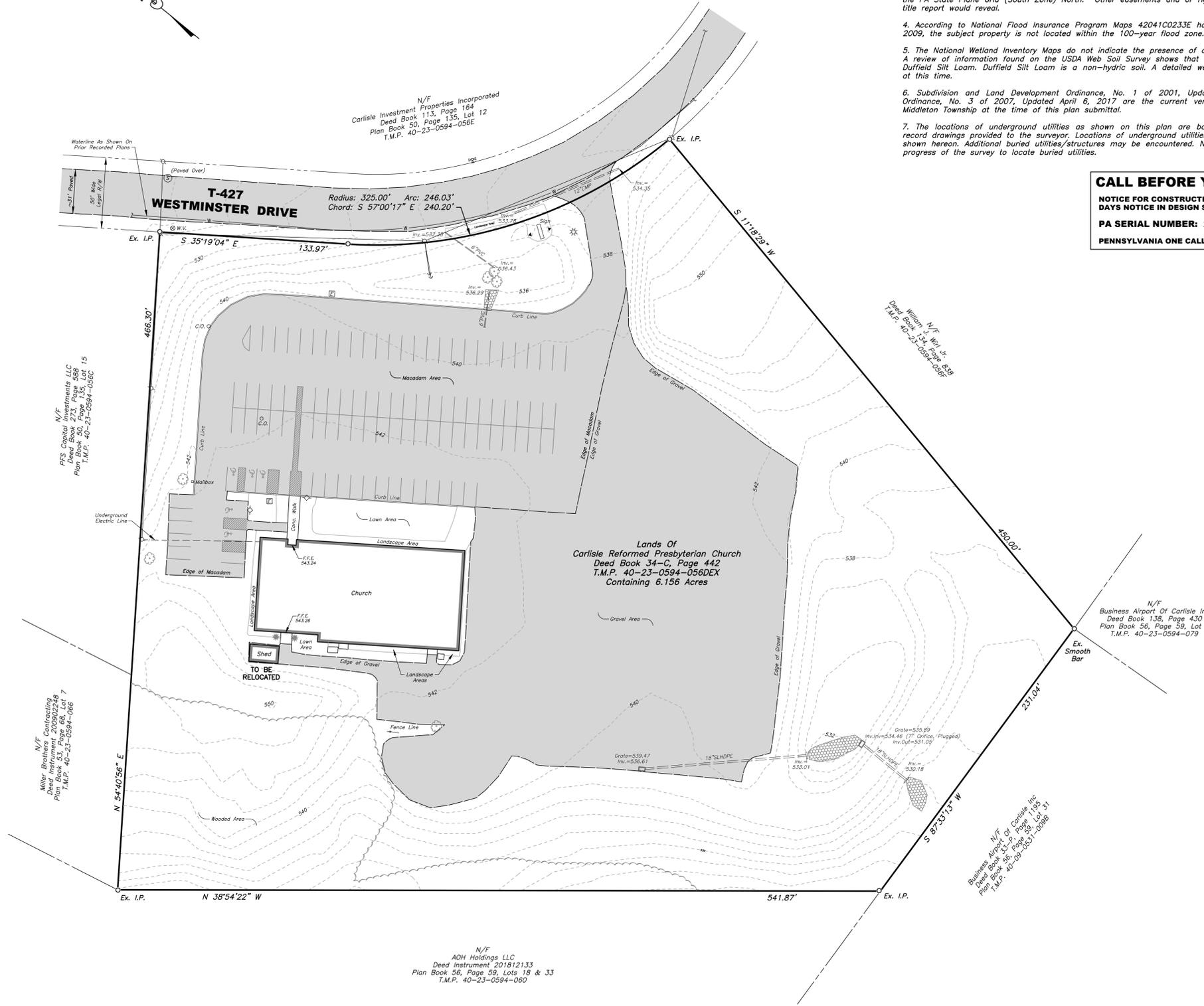
WAIVER REQUEST/APPROVAL BLOCK

REQUESTED WAIVER	APPROVED	DISAPPROVED
South Middleton SALDO Article V - Preliminary Plan		
South Middleton SALDO Section 502 g. - EIA Report		
South Middleton SALDO Section 707 - Sidewalks		
South Middleton SALDO Section 708 - Curbs and Gutters		

PLAN SHEET INDEX

Sheet LD1	Existing Site Conditions / Coversheet
Sheet LD2	Proposed Site Improvements
Sheet LD3	Proposed Grading Plan
Sheet LD4	Proposed Lighting Plan
Sheet LD5	Misc. Details & Notes

EXISTING SITE CONDITIONS



GENERAL PLAN NOTES

1. Purpose Of Plan: Carlisle Reformed Presbyterian Church proposes to expand the existing church building to provide additional space for fellowship and classroom areas. In conjunction with the building additions, a covered drop-off area will be constructed and the parking areas will be reconfigured. A driveway extension will also be constructed on the western side of the church to permit one-way traffic flow around the building. There will be no change in the use of the property as a result of the proposed construction, nor will there be any increase in the seating capacity of the sanctuary.
2. The subject property is located in the (C-2) Commercial General Zoning District and also the Airport Hazard Overlay District of South Middleton Township. Zoning District requirements are listed on Sheet LD5 of this plan.
3. The existing conditions as shown hereon are based on a field survey performed by Burget & Associates in January of 2020. All elevations are referenced to the NAVD-88 vertical datum. All bearings are referenced to the PA State Plane Grid (South Zone) North. Other easements and or right of ways may exist that complete title report would reveal.
4. According to National Flood Insurance Program Maps 42041C0233E having an effective date of March 16, 2009, the subject property is not located within the 100-year flood zone.
5. The National Wetland Inventory Maps do not indicate the presence of any wetlands on the subject property. A review of information found on the USDA Web Soil Survey shows that the only soil type located on-site is Duffield Silt Loam. Duffield Silt Loam is a non-hydric soil. A detailed wetland delineation was not completed at this time.
6. Subdivision and Land Development Ordinance, No. 1 of 2001, Updated April 6, 2017 and the Zoning Ordinance, No. 3 of 2007, Updated April 6, 2017 are the current versions of said ordinances for South Middleton Township at the time of this plan submittal.
7. The locations of underground utilities as shown on this plan are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities.

CALL BEFORE YOU DIG!
NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE - STOP CALL
PA SERIAL NUMBER: 20200492126-000
PENNSYLVANIA ONE CALL SYSTEM, INC. PH. 1-800-242-1776

PLAN REVISIONS	DATE

FINAL LAND DEVELOPMENT PLAN FOR
CARLISLE REFORMED
PRESBYTERIAN CHURCH
SOUTH MIDDLETON TOWNSHIP · CUMBERLAND COUNTY · COMMONWEALTH OF PENNSYLVANIA



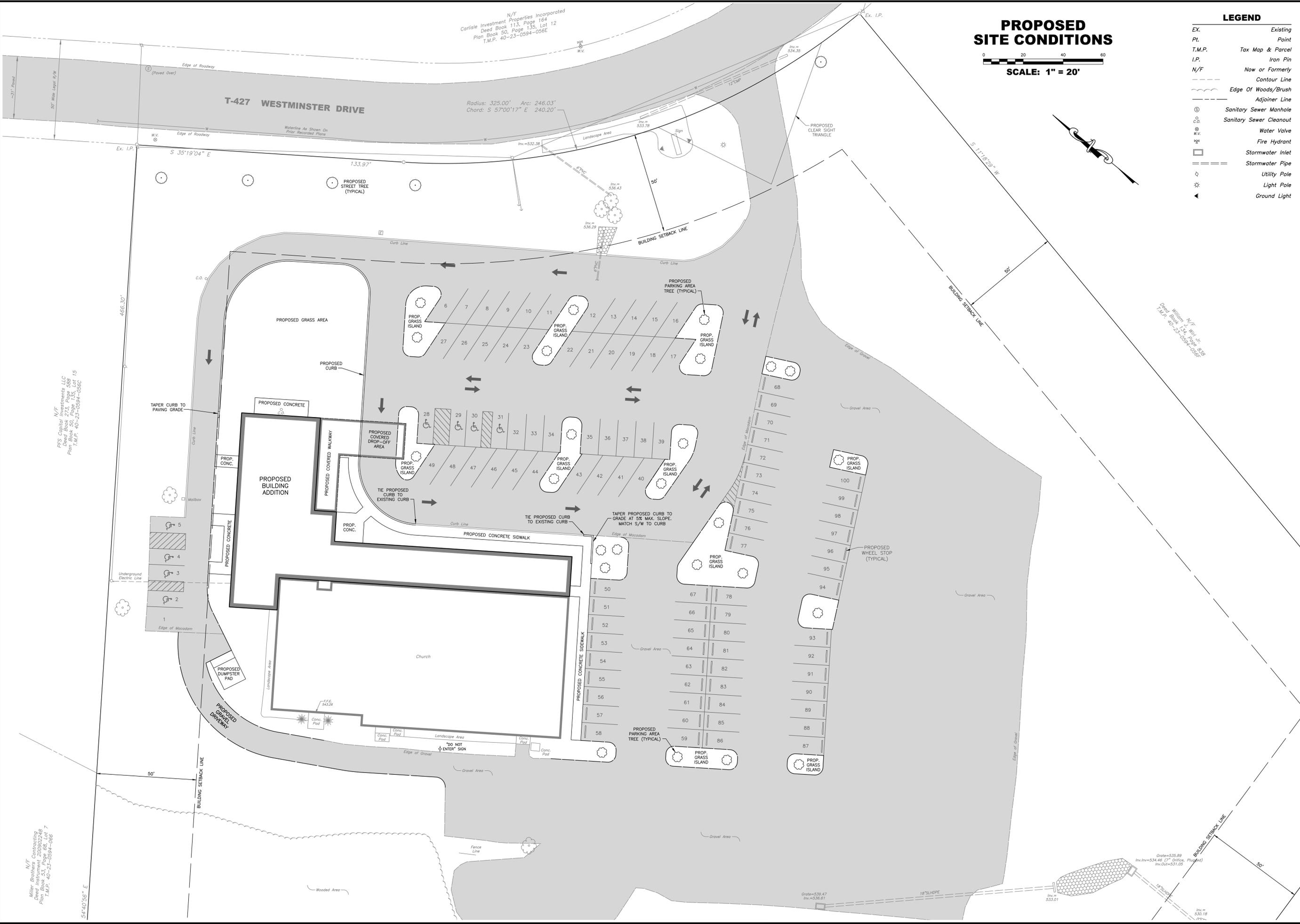
DIFFENBAUGH WADEL INC.
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25 BROAD STREET
NEWVILLE, PA 17241
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PHONE: (717) 776-6420 FAX: (717) 776-9277

LEGEND

EX.	Existing
PT.	Point
T.M.P.	Tax Map & Parcel
I.P.	Iron Pin
N/F	Now or Formerly
---	Contour Line
---	Edge Of Woods/Brush
---	Adjoiner Line
⊙	Sanitary Sewer Manhole
○	Sanitary Sewer Cleanout
⊗	Water Valve
⊕	Fire Hydrant
⊞	Stormwater Inlet
==	Stormwater Pipe
⊕	Utility Pole
⊗	Light Pole
⬅	Ground Light

OWNER INFORMATION
Carlisle Reformed Presbyterian Church
14 Westminster Drive Carlisle, PA 17015
Phone (717) 249-5675

Date	MARCH 25, 2020
Scale	1" = 40'
File No.	20012
Drawing Name	20012-LD1
Drawn By	J.B.M.
Project Manager	Michael L. Wadel
Sheet No.	LD1



N/F
Carlisle Investment Properties Incorporated
Dead Book 113, Page 164
Plan Book 50, Page 135, Lot 12
T.M.P. 40-23-0594-056E

PROPOSED SITE CONDITIONS

0 20 40 60

SCALE: 1" = 20'

LEGEND

EX.	Existing
Pl.	Point
T.M.P.	Tax Map & Parcel
I.P.	Iron Pin
N/F	Now or Formerly
- - -	Contour Line
- - - -	Edge Of Woods/Brush
- - - - -	Adjoiner Line
⊙	Sanitary Sewer Manhole
⊙	Sanitary Sewer Cleanout
⊙	Water Valve
⊙	Fire Hydrant
⊙	Stormwater Inlet
— — — —	Stormwater Pipe
⊙	Utility Pole
⊙	Light Pole
▲	Ground Light

PLAN REVISIONS

No.	REVISIONS	DATE

**FINAL LAND DEVELOPMENT PLAN FOR
CARLISLE REFORMED
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Date	MARCH 25, 2020
Scale	1" = 20'
File No.	20012
Drawing Name	20012-LD2
Drawn By	J.B.M.
Project Manager	Michael L. Wadel
Sheet No.	LD2

N/F
PFS Capital
Dead Book 273, Page 686
Plan Book 50, Page 135, Lot 15
T.M.P. 40-23-0594-056C

N/F
Miller Brothers Contracting
Dead Instrum. 68, Page 68, Lot 7
T.M.P. 40-23-0594-066

N/F
William J. W. Jr.
Dead Book 134, Page 818
T.M.P. 40-23-1094-008F

N/F
 Carlisle Investment Properties Incorporated
 Dead Book 113, Page 164
 Plan Book 50, Page 135, Lot 12
 T.M.P. 40-23-0594-056E

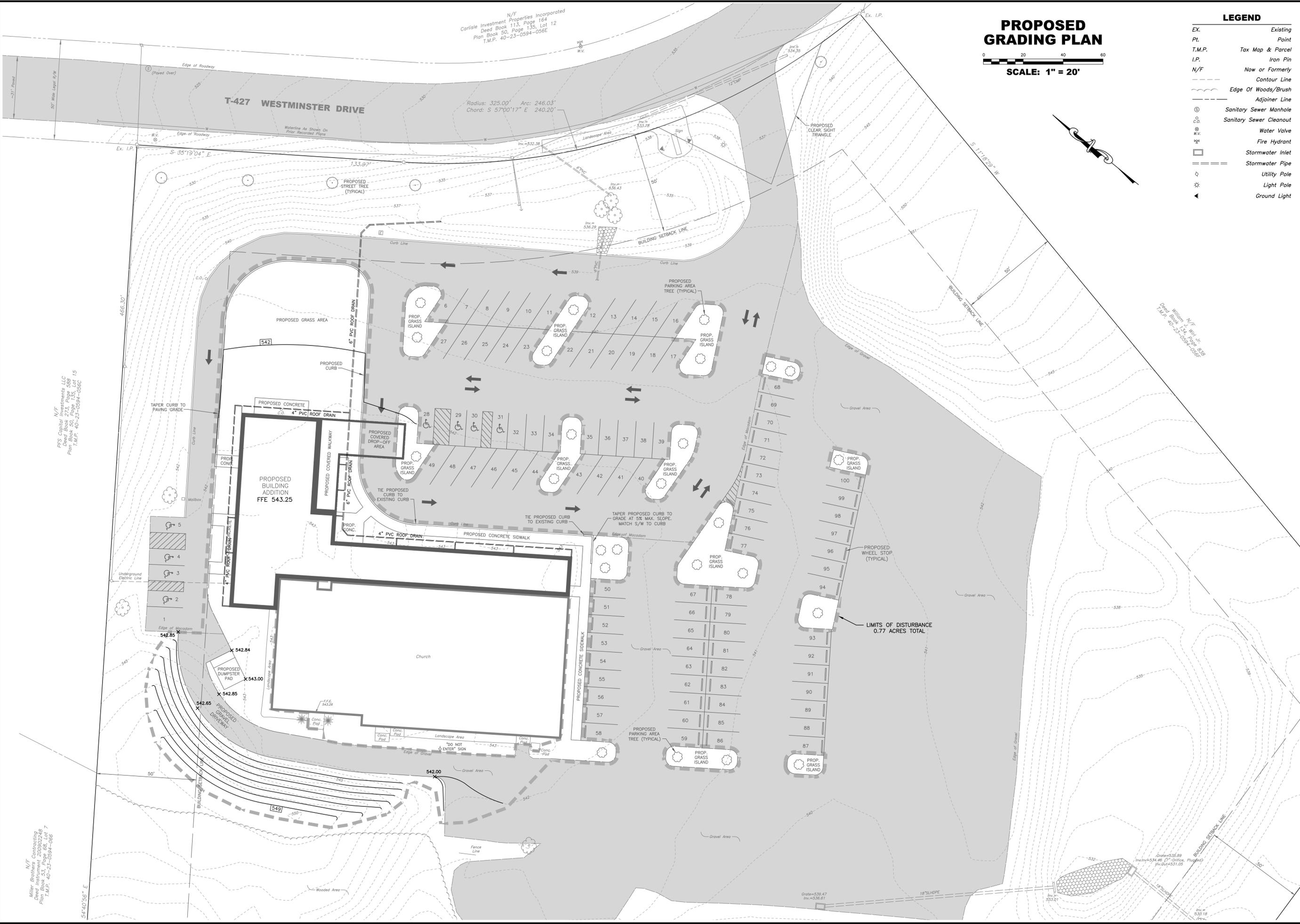
PROPOSED GRADING PLAN
 0 20 40 60
SCALE: 1" = 20'

LEGEND

EX.	Existing
Pt.	Point
T.M.P.	Tax Map & Parcel
I.P.	Iron Pin
N/F	Now or Formerly
---	Contour Line
---	Edge Of Woods/Brush
---	Adjoiner Line
⊙	Sanitary Sewer Manhole
⊙	Sanitary Sewer Cleanout
⊙	Water Valve
⊙	Fire Hydrant
□	Stormwater Inlet
---	Stormwater Pipe
⊙	Utility Pole
⊙	Light Pole
▲	Ground Light

PLAN REVISIONS

No.	REVISIONS	DATE



N/F
 PFS Capital LLC
 Dead Book 273, Page 688
 Plan Book 50, Page 135, Lot 15
 T.M.P. 40-23-0594-056C

N/F
 Miller Brothers Contracting
 Dead Instrum. 68, Page 68, Lot 7
 T.M.P. 40-23-0594-066

**FINAL LAND DEVELOPMENT PLAN FOR
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Date	MARCH 25, 2020
Scale	1" = 20'
File No.	20012
Drawing Name	20012-LD3
Drawn By	J.B.M.
Project Manager	Michael L. Wadel
Sheet No.	LD3

**C-2 COMMERCIAL – GENERAL DISTRICT
AND AIRPORT HAZARD OVERLAY DISTRICT**

1202.2 *Conditional Uses in accordance with Article XX Churches and similar Places of Worship subject to Article XVI.*

Article 1620. Churches and Similar Places of Worship

Minimum Lot Size

The minimum lot size shall be one acre; however, if the sanctuary shall have space for more than 500 persons one additional acre shall be required for each additional 100 persons or portion thereof.

* The seating capacity of the sanctuary is less than 500, which means the minimum permitted lot size is one (1) acre. The property in question is over six (6) acres.

Minimum Building Setbacks

Front – 50 Feet Side – 50 Feet Rear – 50 Feet

Maximum Lot Coverage

The maximum lot coverage (principal and accessory buildings) shall be 20 percent.

* The existing lot coverage is 0.239 acres (3.9 Percent). The proposed lot coverage is 0.409 acres (6.6 Percent).

Minimum Open Space – 30 Percent

* The existing open space is 3.514 acres (57.1 Percent). The proposed open space is 3.646 acres (59.2 Percent).

Maximum Building Height

The maximum building height shall be 3 stories, not to exceed 45 feet, except that steeples, towers, domes and similar architectural features may exceed this maximum by one foot in height for each two feet the building is set back from the street or front property line.

* The proposed building height, excluding the steeple, is approximately thirty-one (31) feet, and the building is one (1) story. The steeple has a height of approximately sixty (60) feet and the proposed building addition is no closer than 190 feet to the front property line and the street right-of-way line.

**A-H AIRPORT HAZARD DISTRICT
HORIZONTAL OVERLAY ZONE**

The project site is located in the Transitional Surface Zone, An AV-57 (Notice of proposed alteration) has been submitted to PennDOT's Bureau of Aviation in conjunction with submission of this plan. Approval by PennDOT and, if necessary the FAA, will be obtained prior to plan approval.

**PARKING FACILITY
LIGHTING REQUIREMENTS**

Parking areas, main entrances and exits that are open to the public shall be lighted so as to provide for safe ingress and egress without unnecessary glare. Lighting shall be designed to prohibit illumination from reaching adjacent properties.

PARKING CALCULATIONS

Required parking spaces: Minimum of one parking space for each 200 square feet, but not fewer than one space per each three spaces.

Total post-construction floor area – 17015 S.F.
Max. Seating capacity in sanctuary – 299

17015 S.F. / 200 S.F. = 86 required spaces
299 seats / 3 = 100 required spaces

This plan proposes 100 parking spaces, meeting the minimum requirement.

STREET TREE REQUIREMENTS

Street trees shall be planted no closer than forty (40) feet on center for each side of the street. The number of street trees to be provided shall be based on providing at least one tree for every eighty (80') feet of distance along the right-of-way line.

Street trees shall be planted a minimum distance of five (5') feet outside and parallel to the right-of-way line. Trees located at intersections shall respect the clear sight triangles.

All street trees shall be a minimum of fifteen (15') feet in height when planted. Street trees shall be selected and planted so that at maturity they will provide adequate shade during the summer along the public street(s).

* Lot frontage is 380 feet. Therefore 5 trees are required

**OFF-STREET PARKING AREA
LANDSCAPING REQUIREMENTS**

A minimum of ten (10) percent of any parking lot facility over 2,000 square feet in gross area (measured from the outside edge of paving to outside edge of paving) shall be devoted to landscaping. This landscaping shall include a minimum of one tree per twenty (20) parking spaces and all planting beds within a parking lot shall be surfaced in lawn or ground cover planting.

The interior of each parking lot shall have at least one (1) three-inch (3") caliper deciduous shade tree for every five- (5) parking spaces, if there are no existing shade trees to satisfy this requirement. Shrubs and other plant materials are encouraged to be used to complement the trees, but shall not be the sole contribution to the landscaping. These trees shall be in addition to those required as an effective screen.

* Proposed parking facility is 47,043 square feet. (4,704 square feet of landscaping is required) The plan proposes 5,334 square feet of landscaping.

* Proposed total of parking spaces is 100. (25 trees are required) The plan proposes 25 trees.

ADDITIONAL NOTES

- The existing church and proposed addition will be served by public water and sewer.
- Noise, air pollution and fire hazards generated by or caused by the proposed use will be minimal. Therefore, no controls are proposed for these specific problems. The proposed improvements should not cause traffic congestion either, based on the capacity of Westminster Drive and the typical hours when religious services are held.
- "All public improvements shall conform to PENNDOT Publication 408 and Construction Standards Publication 72, current edition and with municipal construction requirements and ordinances."
- The owners of this lot, upon notification by South Middleton Township, shall be responsible for the construction of curbs and gutters, and sidewalks, to township specifications within six (6) months of the date of such notification. The cost of this installation shall be at the owner's expense. The township shall not be responsible for any costs.
- Parking bumpers or similar devices shall be installed to control the location of parking spaces on gravel/stone surfaces as shown on this plan.

LANDSCAPING REQUIREMENTS

Any part or portion of a site which is not used for buildings or other structures, loading and parking spaces and aisles, sidewalks and designated storage areas shall be planted and maintained with landscaping.

The locations, dimensions and spacing of required plantings should be adequate for their proper growth and maintenance, taking into account the sizes of such plantings at maturity and their present and future environmental requirements, such as wind, moisture and sunlight.

The types of plantings shall be limited or carefully selected for locations where they will not be disturbed or contribute to conditions hazardous to the public safety. Such locations include, but shall not be limited to public rights-of-way, underground and aboveground utilities; and sight triangle areas required for unobstructed views at street intersections.

No bushes or shrubs exceeding thirty (30) inches in height, or at such lesser height which due to ground elevations would obstruct the vision of motorists, shall be permitted within ten (10) feet of the right-of-way line adjacent to access drives; and all street trees shall be kept free of branches and foliage from the ground level to a height of at least six (6) feet.

1210. Landscaping Specifications

a.) All shrubbery and plants shall have a normal habitat of growth, and shall be sound, healthy, vigorous and free of disease, insects, insect eggs and larvae.

b.) All trees shall have a minimum trunk diameter of two and one-half (2.5) inches at a height of six (6) inches above finished grade.

c.) All plantings shall be performed in conformance with good nursery and landscape practices and to other standards that are established by the Township.

d.) Requirements for the measurement, branching, grading, quality and burlapping of all shrubbery shall follow the code of standards commended by the American Association of Nurserymen, Inc., in the American Standard Nursery Stock, ANSIZ60, 1-1973, as amended.

e.) Recommended Plant Materials: Species selection shall be based upon the existing site conditions including the site geology, hydrology, soils and microclimate, as well as functional considerations of screening, energy conservation and architectural compatibility.

– The following is a recommended list of street trees for use in South Middleton Township. However, the Township may permit other planting types if they are hardy to the area, are not subject to blight or disease and are of the same general character and growth habit as those listed below. The use of native trees is highly recommended. Street trees shall have a minimum two and one-half (2.5") inch caliper.

- (a) *Acer rubrum* – Red Maple (hybrid varieties)*
- (b) *Fraxinus pennsylvanica* – Green Ash*
- (c) *Pyrus calleryana "Aristocrat"* – Aristocrat Pear
- (d) *Pyrus calleryana "Chanticleer"* – Chanticleer Pear
- (e) *Pyrus calleryana "Redspire"* – Redspire Pear
- (f) *Quercus borealis* – Northern Red Oak*
- (g) *Quercus coccinea* – Scarlet Oak*
- (h) *Tilia tomentosa* – Silver Linden
- (i) *Tilia cordata* – Littleleaf Linden
- (j) *Zelkova serrata* – Japanese Zelkova

*** Native Tree**

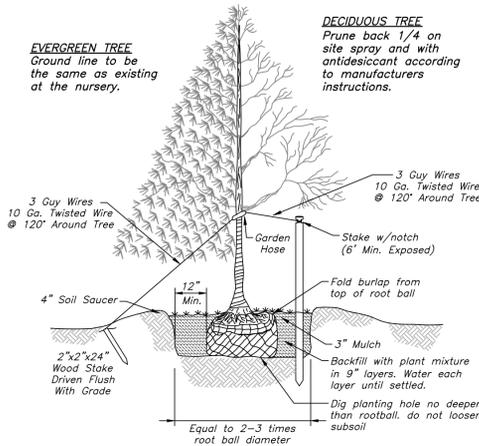
– The following is a recommended list of street trees for use within areas limited in space by overhead power lines and sidewalks. The use of native trees is highly recommended:

- (a) *Acer campestre* – Hedge Maple
- (b) *Crataegus crusgalli inermis* – Thornless Cockspur Hawthorne*
- (c) *Crataegus x Lavaliei* – Lavalie Hawthorne*
- (d) *Koeleruteria paniculata* – Goldenrain Tree
- (e) *Malus "Centurion"* – "Centurion" Crabapple
- (f) *Malus "Harvest Gold"* – "Harvest Gold" Crabapple
- (g) *Malus x zumi "Calocarpa"* – Redbud Crabapple

*** Native Tree**

Under no circumstances will any of the following trees be permitted to be planted as street trees:

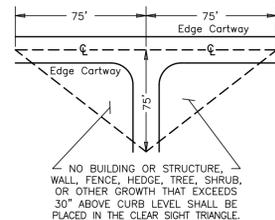
- (a) *Papirs* – all varieties
- (b) *Willows* – all varieties
- (c) *White or Silver Maple (Acer Saccharinum)*
- (d) *Aspen* – all varieties
- (e) *Common Black Locust*



- Notes:**
- If the root ball wrap is plastic, cut and remove the entire wrap.
 - Planting mix is a 3:1 ratio of topsoil and peat moss.
 - Wrap deciduous trees over 1" caliper with burlap or asphaltic krinkle kraft tree wrap.
 - A clear trunk of at least 5 feet above finished grade shall be provided for trees which their branches would be expected to extend over paved surfaces.
 - Only stake tree if necessary. If tree is staked, only tighten guy wires enough to keep tree upright, while still allowing the tree to move naturally in the wind. Do not use lumbuckles on the guy wires. Stakes and guy wires shall be removed after the tree is established (remove within one year of planting)

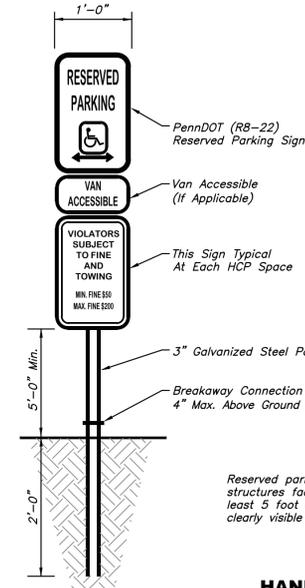
TREE PLANTING DETAIL

NO SCALE



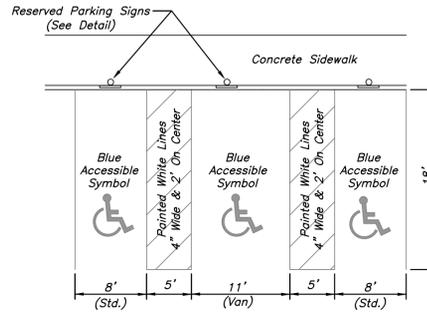
CLEAR SIGHT TRIANGLE DETAIL

NO SCALE



**TYPICAL LAYOUT OF
HANDICAP PARKING FACILITIES**

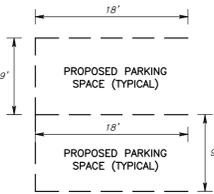
NO SCALE



The accessible spaces and the accessible route between the accessible spaces and the accessible curb ramp shall be constructed in accordance with the latest Americans with Disabilities Act (ADA) Regulations

HANDICAPPED PARKING SPACES

Reserved parking signs may be mounted on the side of the proposed structures facing the parking spaces as long as they are mounted at least 5 foot above finished parking lot grade and as long as they are clearly visible to vehicles that are in the access aisle behind the spaces.



**TYPICAL LAYOUT OF
PARKING SPACE DETAIL**

NO SCALE

Each parking space shall consist of not less than an average of three hundred square feet (300 sq. ft.) of usable area for each motor vehicle, including interior driveways. All parking spaces shall be ample in size for vehicles for which use is intended. The net parking space for vehicles shall not be less than nine feet (9'0") wide and eighteen feet (18'0") long, except for handicap spaces that meet ADA requirements. Parking spaces and the approaches thereto, shall be stone, gravel, or paved. Outdoor parking space shall not be deemed to be part of the open space of the lot on which it is located.

PLAN REVISIONS

NO.	REVISIONS	DATE

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Date	MARCH 25, 2020
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File No.	20012
Drawing Name	20012-LD5
Drawn By	J.B.M.
Project Manager	Michael L. Wadel
Sheet No.	LD5