

**Cumberland County Subdivision and Land Development Review Report**

Municipality:	<u>North Middleton</u>	Surveyor/ Engineer:	<u>Burget &amp; Associates, Inc.</u>	Owner/ Developer:	<u>The Peace Centre</u>
Plat Title:	<u>The Peace Center</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Land Development</u>		
# of New Lots:	<u>0</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>0</u>
				Total Tract Acreage:	<u>4.024</u>
Zoning District:	<u>R-1</u>	Proposed Land Use:	<u>Same as existing</u>		
Date Received:	<u>3/16/2020</u>	County Review:	<u>4/2/2020</u>	Reviewed by:	<u>EG</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

*Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.*

1. The zoning data table on the cover sheet includes minimum lot area criteria and width guidelines that should be revised to reflect requirements for a proposed lot with public sewer and water (Zoning Table 204-15B).
2. The proposed lot information in the site data table should show the parking calculation so that the proposed parking can be evaluated based on the requirement of one space per three seats (Zoning Table 204-35C).
3. The landscape exhibit detailed on Sheet 4 should specify what planting material is being used in landscape areas, and all shade trees provided in the plan should indicate that trees will be installed at a minimum trunk diameter of 2.5 inches at six inches above finished grade (Zoning 204-35.C.5 and SALDO 180-89.F).
4. Clear sight triangles and adequate sight distance from the driveway should be indicated on the plan (Zoning 204-32.A.10 & 11).
5. Details on lighting provisions for the parking lot should be provided in the plan (Zoning 204-35.C.d and Zoning 204-37.B.9).
6. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

**STATEMENT OF OWNERSHIP**

On this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned officer, personally appeared \_\_\_\_\_ who being duly sworn according to law, disposes and says they are the owner of the property shown on this plan, that the plan thereof was made at their direction, they acknowledge the same to be their act and plan, that they desire the same to be recorded, and that all streets and other property identified as proposed public property (excepting those areas labeled "NOT FOR DEDICATION") are hereby dedicated to the public use.

Owner/Agent \_\_\_\_\_ Print Name \_\_\_\_\_ Owner/Agent \_\_\_\_\_ Signature \_\_\_\_\_  
 Title \_\_\_\_\_ Print \_\_\_\_\_

Commonwealth of Pennsylvania  
 County of \_\_\_\_\_

My Commission Expires \_\_\_\_\_, 20\_\_\_\_.

**PLAN REVIEW AND APPROVAL CERTIFICATES**

At the meeting on \_\_\_\_\_, 20\_\_\_\_, the N. Middleton Township Planning Commission reviewed the plan.

NORTH MIDDLETON TOWNSHIP PLANNING COMMISSION

Secretary \_\_\_\_\_ Chairman \_\_\_\_\_

At the meeting on \_\_\_\_\_, 20\_\_\_\_, the Board of Supervisors of the Township of N. Middleton approved this project, based upon its conformity with the standards of the N. Middleton Township Subdivision and Land Development Ordinance, and all conditions of approval have been met. This approval includes the complete set of plans/reports which are filed with the Township and available for public review.

Approved by North Middleton Township Board of Supervisors and all conditions imposed with respect to such approval were completed on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

NORTH MIDDLETON TOWNSHIP BOARD OF SUPERVISORS

Chairman \_\_\_\_\_  
 Member \_\_\_\_\_  
 Member \_\_\_\_\_

Reviewed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the Cumberland Co. Planning Depart.  
 CUMBERLAND COUNTY PLANNING DEPARTMENT

Director \_\_\_\_\_

**PRELIMINARY / FINAL  
 LAND DEVELOPMENT PLAN  
 FOR  
 THE PEACE CENTRE  
 IN  
 NORTH MIDDLETON TOWNSHIP  
 CUMBERLAND COUNTY, PA**

PLAN SET DATED March 16th, 2020

**Sheet Index**

- Sheet 1 - Cover
- Sheet 2 - Ex. Conditions Plan
- Sheet 3 - Over-All Proposed Conditions Plan
- Sheet 4 - Site Improvements Plan
- Sheet 5 - Grading / SWM / ESC Plan
- Sheet 6 - Profile Plan
- Sheet 7 - SWM Details
- Sheet 8 - ESC Details / Notes

**See Also:**

- NPDES Permit Plan Set
    - "E&S and PCSW Plan Sets"
- (Approved by Cumberland Co. Conserv. Dist.)
- Permit No. \_\_\_\_\_  
 (Effective: \_\_\_\_\_)  
 (Expires: \_\_\_\_\_)
- Highway Occupancy Plan Set
    - "HOP Plan Set"
- (Approved by PennDOT - District 8)
- Permit No. \_\_\_\_\_  
 (Issued: \_\_\_\_\_)  
 (Expires: \_\_\_\_\_)

**"AOR's / WAIVERS" REQUESTED**

AOR APPROVED ON SUBDIVISION PLAN. DATE APPROVED \_\_\_\_\_

1. Section 180-15 (Preliminary Plat Requirements) \_\_\_\_\_
2. Section 180-41.C (Land Dedication/Recreation Fee) \_\_\_\_\_

**ZONING DATA - N. MIDDLETON TWP**

DISTRICT: Low/Medium-Density Residential Zone (R-1)  
 [Section 204-15]

Use: Place of Worship [Table 204-15A]

Max. Building Height: 35 Ft  
 Min. Lot Area/Unit: 20,000 Sq Ft  
 {0.459 Acres}

Min. Lot Width: \_\_\_\_\_  
 at Building Setback: 100 Ft  
 at Lot Frontage: 90 Ft

Building Setbacks:  
 Front: 35 Ft  
 Side: 10 Ft per side (each lot)  
 Rear: 35 Ft

Max. Impervious Coverage: 35%

Notes:  
 • Parking Requirements:  
 See site data below

**SITE DATA**

**EXISTING LOT INFORMATION**

Existing Lot 1  
 Lot Width: 250' ±  
 Gross Lot Area: 4.024 Acres (Surveyed)  
 [175,262 Sq Ft]  
 Net Lot Area: 3.728 Acres (to ROW)  
 [162,381 Sq Ft]

Impervious Coverage: 10.6% (to ROW)  
 [17,178 Sq Ft]

**PROPOSED LOT INFORMATION**

Existing Lot 1  
 Use: House of Worship (Existing)  
 Lot Width: 250' ± (Existing)  
 Gross Lot Area: 4.024 Acres (Surveyed)  
 [175,262 Sq Ft]  
 Net Lot Area: 3.728 Acres (to ROW)  
 [162,381 Sq Ft]

Water Supply: Public (Proposed)  
 Septic: Public (Proposed)

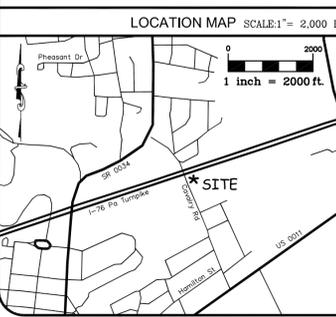
Proposed Impervious Coverage: 34%  
 [54,677 Sq Ft]

**Parking:**  
 Required: 1 space/3 seats  
 Required Loading: 33'x12' (15' clearance)  
 Proposed Parking: 108 Space  
 [including 2 H/C Spaces]  
 Proposed Loading: 1 space as required

Required Landscape: 5% of total  
 [5% of 43,016 Sq Ft = 2,150 Sq Ft]  
 Proposed Landscape: 7% [3,142 Sq Ft]

Required Trees: 1/300 Sq Ft of Landscaped Area  
 [3,142 / 300 = 11 Trees]  
 Proposed Trees: 9 new + 2 Existing = 11 total

**COVER SHEET**



**GENERAL NOTES**

1. THE PURPOSE OF THIS PLAN IS TO DEVELOP AN 4± ACRE TRACT (EX. LOT 1) CONTAINING AN EXISTING PLACE OF WORSHIP TO CREATE A BUILDING EXPANSION, PARKING FACILITIES AND ASSOCIATED STORMWATER MANAGEMENT FACILITIES.
2. THIS PLAN WAS PREPARED WITHOUT THE USE OF A TITLE SEARCH. OTHER EASEMENTS & OR RIGHT-OF-WAYS MAY EXIST THAT A FULL TITLE REPORT WOULD REVEAL.
3. ALL INFORMATION ON THIS PLAN IS A RESULT FROM AN ACTUAL FIELD SURVEY PERFORMED BY BURGET & ASSOCIATES INC. IN 2020 (DATUM: NAD-83, NAVD-88).
4. ALL UNDERGROUND UTILITY LOCATIONS BASED ON ABOVE GROUND FEATURES, MARKINGS & PLANS OF RECORD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL LOCATIONS OF ALL EXISTING FEATURES INCLUDING DEPTHS OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
5. NO PROTECTIVE COVENANTS OTHER THAN THOSE SHOWN ON THIS PLAN EXIST OR ARE PROPOSED.
6. SITE BENCHMARK IS A "MAG" NAIL ALONG THE EASTERN SHOULDER OF CAVALRY ROAD IMMEDIATELY NORTH OF THE EXISTING DRIVEWAY TO THE SITE. ELEVATION=521.46 (NAVD-88).
7. EXISTING LOT 1 CONTAINS AN EXISTING PLACE OF WORSHIP, OUT-BUILDINGS, AND ACCESS TO CAVALRY ROAD OVER AN EXISTING MACADAM DRIVEWAY.
8. EXISTING LOT 1 IS SERVICED WITH AN ON-LOT EXISTING WELL AND PUBLIC SANITARY SEWER WITHIN CAVALRY ROAD.
9. PROPOSED IMPROVEMENTS SHALL INCLUDE MODIFICATIONS TO THE EXISTING SANITARY SEWER SERVICE LATERAL ON-SITE TO THE EXISTING CONNECTION TO THE PUBLIC MAIN WITHIN CAVALRY ROAD.
10. PROPOSED IMPROVEMENTS SHALL INCLUDE NEW WATER SUPPLY SERVICES TO EXISTING PUBLIC FACILITIES WITHIN CAVALRY ROAD.
11. PROPOSED WATER SUPPLY IMPROVEMENTS SHALL REQUIRE AN HOP (UTILITY CROSSING) PERMIT APPROVED BY PENN-DOT FOR WORK WITHIN THE PENN-DOT RIGHT-OF-WAY.
12. PROPOSED DRIVEWAY ENTRANCE IMPROVEMENTS SHALL REQUIRE AN HOP PERMIT APPROVED BY PENN-DOT FOR WORK WITHIN THE PENN-DOT RIGHT-OF-WAY.
13. STORMWATER RUNOFF ONTO ADJOINING PROPERTIES OR PUBLIC RIGHT-OF-WAY.
14. ALL IMPROVEMENTS WITHIN THE PENN-DOT RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH ALL STANDARDS AND PRACTICES OF PENN-DOT.
15. NO BUILDINGS OR OBSTRUCTIONS AND/OR PLANT MATERIAL WITH A MATURE HEIGHT OVER EIGHTEEN (18) INCHES HIGH SHALL BE PLACED WITHIN THE CLEAR SIGHT TRIANGLE (REFER TO SIGHT TRIANGLE DETAIL).
16. A HIGHWAY OCCUPANCY PERMIT FROM THE DEPARTMENT OF TRANSPORTATION IS REQUIRED FOR ANY PROPOSED DRIVEWAY PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 KNOWN AS THE "STATE HIGHWAY ACT".
17. ALL CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 & 72 STANDARDS & ALL APPLICABLE NORTH MIDDLETON TOWNSHIP ORDINANCES.
18. ALL EXISTING OVERHEAD UTILITY LINES ARE COVERED BY A PROPOSED 20' WIDE UTILITY EASEMENT (UNLESS OTHERWISE NOTED) CENTERED ABOUT THE EXISTING LINES.
19. THE LOT OWNER(S) SHALL BE RESPONSIBLE FOR ALL REQUIRED APPROVALS/PERMITS FOR ALL REQUIRED EROSION & SEDIMENT CONTROL PLANNING (INCLUDING NPDES PERMITTING AS NEEDED), AND SEWAGE DISPOSAL CONNECTIONS, & LOT ACCESS (PENN-DOT HOP) PRIOR TO ANY CONSTRUCTION.
20. THE LOT OWNER(S) IS RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION AND MAINTENANCE OF ALL STORMWATER FACILITIES ON THEIR LOT IN ACCORDANCE WITH TOWNSHIP REQUIREMENTS.
21. ALL EXISTING DRAINAGE WAYS (UNLESS OTHERWISE NOTED) SHALL HAVE A PROPOSED 30' WIDE DRAINAGE EASEMENT (CENTERED ABOUT DRAINAGE WAY).
22. THE LOT OWNER(S) SHALL BE RESPONSIBLE FOR THE PROPER OPERATION & MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES TO ENSURE THAT THERE IS NO ADVERSE IMPACT FROM STORMWATER RUNOFF ONTO ADJOINING PROPERTIES OR PUBLIC RIGHT-OF-WAY.
23. THE LOT OWNER(S) SHALL GRANT THE TOWNSHIP THE RIGHT OF ACCESS TO ALL STORMWATER MANAGEMENT EASEMENTS ON THE SUBJECT TRACT VIA THE ACCESS DRIVES, DRIVEWAYS, PARKING AREAS, & SIMILAR FEATURES WITHIN THE SITE.
24. ANY FUTURE IMPLEMENTATION OF ANY EROSION AND SEDIMENTATION CONTROL MEASURES IS THE RESPONSIBILITY OF THE LOT OWNER.
25. AS PER NORTH MIDDLETON TOWNSHIP FLOOD MAPPING, EXISTING LOT 1 FALLS WITHIN ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) ON THE CURRENT FEMA FLOOD MAP.
26. ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, NO WETLANDS EXIST WITHIN EXISTING LOT 1.
27. NO DISTURBANCE IS PROPOSED WITHIN ANY KNOWN WETLANDS. ANY FUTURE DISTURBANCE (FILLING, DRAINING, OR EARTH MOVING ACTIVITIES) WITHIN KNOWN WETLANDS SHALL REQUIRE NECESSARY PERMITS AND APPROVALS BE OBTAINED FROM THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCIES.

**SUBDIVISIONS WITHIN 1,000 FEET**

PB 2, Pg 105 - Marriet Acres - 3/17/1937  
 PB 43, Pg 107 - Richie - 6/17/1983  
 PB 55, Pg 61 - Beverly Hills - 4/24/1988

**SOIL LEGEND**

BcB:Berks channery silt loam, 3-8% slopes  
 BcD:Berks channery silt loam, 15-25% slopes  
 EdB:Edom silty clay loam, 3-8% slopes  
 HaB:Hagerstown silt loam, 3-8% slopes

**STATEMENT OF ACCURACY**

I hereby certify that I have visited this site, observing the present conditions of the site and have represented those conditions to the best of my knowledge, on the survey and plan shown and described hereon is true and correct to the accuracy required by the North Middleton Township Subdivision and Land Development Ordinance. The error of closure is no greater than one foot (1') in ten thousand feet (10,000').

\_\_\_\_\_, 20\_\_\_\_, Professional Surveyor \_\_\_\_\_  
 JOE A. BURGET, JR. P.L.S.

REVISIONS	SOURCE OF TITLE	SHEET NUMBER
	Deed Book 259, Page 2751	1 OF 8
<b>TAX MAP NUMBER</b>		
Tax Parcel 29-18-1367-021EX		

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Web Site: www.burgetassociatesinc.com

1797 N.B. Road  
 Phone: 717-852-7011

New Bloomfield Pennsylvania 17068  
 Fax: 717-852-3557

JOE A. BURGET, JR. P.L.S.

**HE**

Hartech Engineering & Consulting, LLC  
 "THE SCIENCE OF DESIGN"

4025 Chaffin Way  
 Mechanicsburg, PA 17050

(717) 919-0385  
 (717) 828-1018

Mark D. Jones, P.E.

**LAND OWNERS / DEVELOPERS**

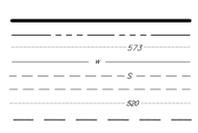
Prepared for: The Peace Centre  
 c/o Michael Williams

505 Cavalry Road  
 Carlisle, PA 17013  
 Phone: 717-385-7903

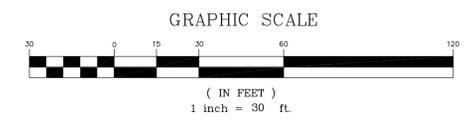
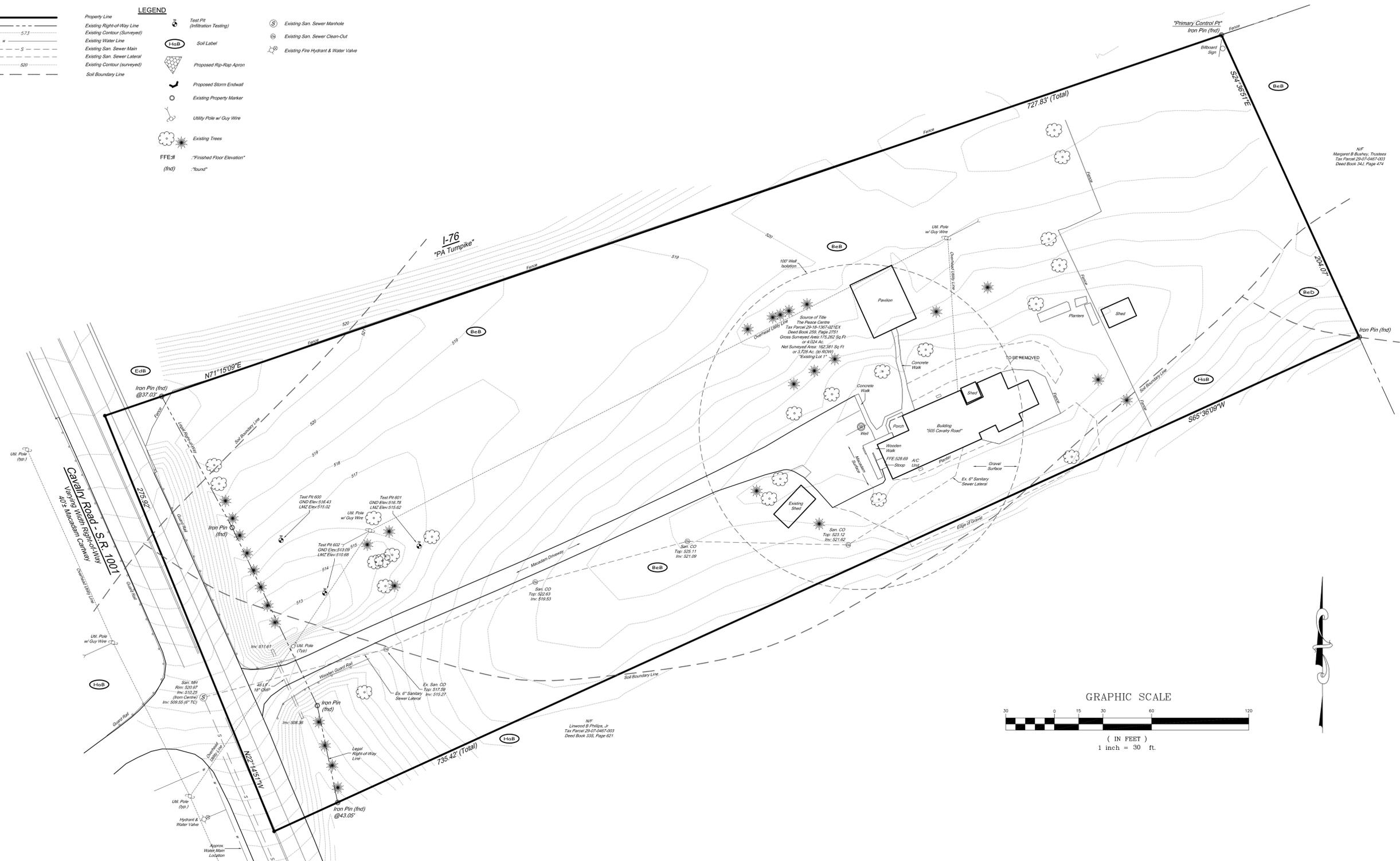
**PRELIM. / FINAL  
 LAND DEVELOPMENT PLAN  
 FOR  
 THE PEACE CENTRE**

NORTH MIDDLETON TOWNSHIP  
 CUMBERLAND COUNTY, PA

JOB NUMBER: 20026  
 DRAWING NUMBER: 20026-001  
 Date: March 16th, 2020



- LEGEND**
- Test Pit (Infiltration Testing)
  - Existing San Sewer Manhole
  - Existing San Sewer Clean-Out
  - Existing Fire Hydrant & Water Valve
  - Soil Label
  - Proposed Rip-Rap Apron
  - Proposed Storm Endwall
  - Existing Property Marker
  - Utility Pole w/ Guy Wire
  - Existing Trees
  - FFE# "Finished Floor Elevation" (ft)
  - "Sound"



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	Deed Book 259, Page 2751	2 OF 8
TAX MAP NUMBER		
Tax Parcel 29-18-1367-021EX		
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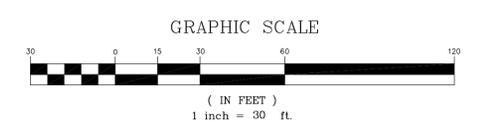
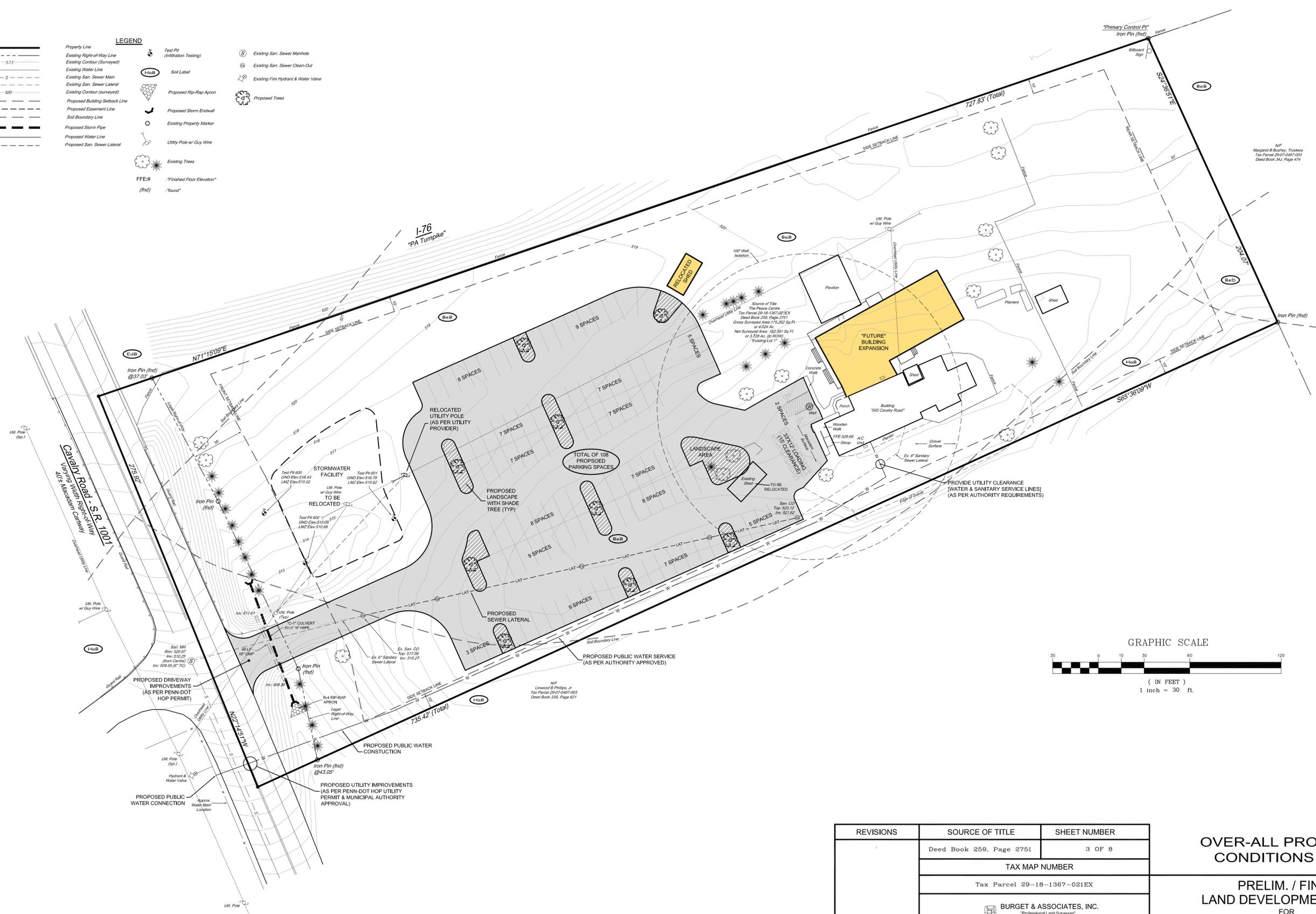
**EXISTING CONDITIONS PLAN**

**PRELIM. / FINAL  
LAND DEVELOPMENT PLAN  
FOR  
THE PEACE CENTRE**

NORTH MIDDLETON TOWNSHIP  
CUMBERLAND COUNTY, PA

JOB NUMBER: 20026  
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- LEGEND**
- Property Line
  - Existing Right-of-Way Line
  - Existing Contour (Surveyed)
  - Existing Water Line
  - Existing San. Sewer Main
  - Existing San. Sewer Lateral
  - Existing Contour (surveyed)
  - Proposed Building Setback Line
  - Proposed Easement Line
  - Soil Boundary Line
  - Proposed Storm Pipe
  - Proposed Water Line
  - Proposed San. Sewer Lateral
  - Test Pit (Infiltration Testing)
  - Soil Label
  - Proposed Rip-Rap Apron
  - Proposed Storm Endwall
  - Existing Property Marker
  - Utility Pole w/ Guy Wire
  - Existing Trees
  - FFE# "Finished Floor Elevation" (fnd)
  - Existing San. Sewer Manhole
  - Existing San. Sewer Clean-Out
  - Existing Fire Hydrant & Water Valve
  - Proposed Trees



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**OVER-ALL PROPOSED CONDITIONS PLAN**

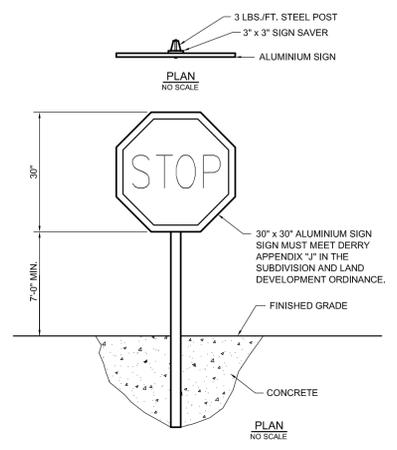
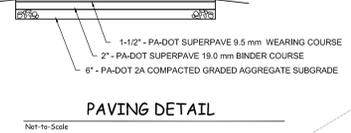
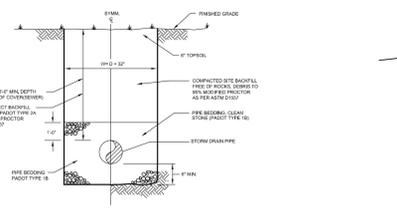
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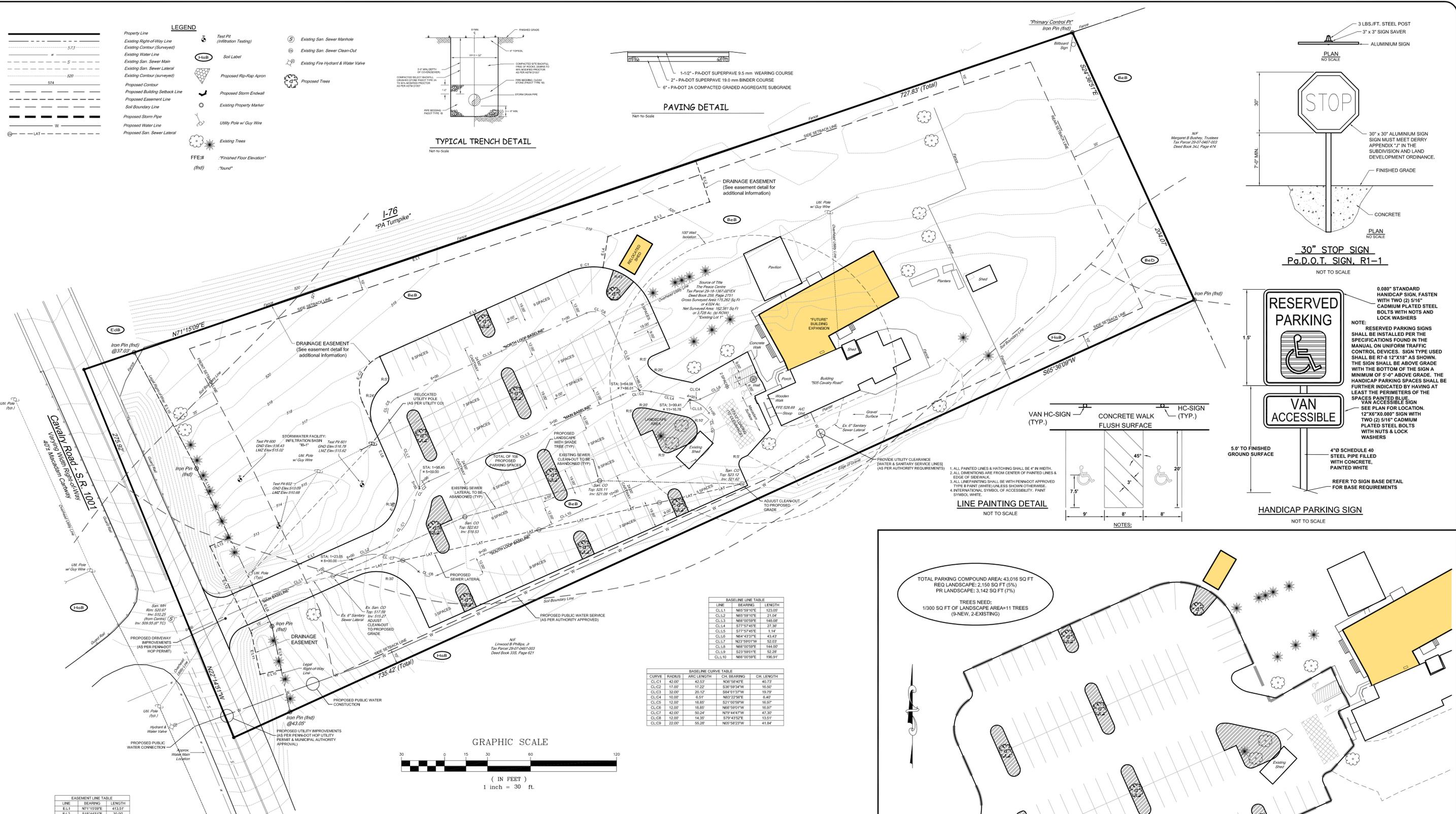
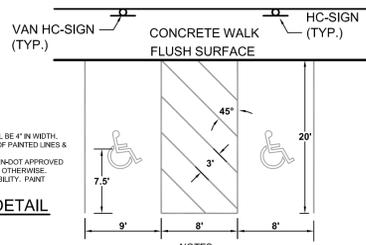
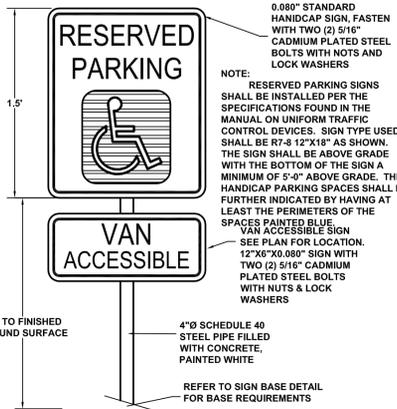
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**LEGEND**

	Property Line		Test Pit (Indication Testing)		Existing San. Sewer Manhole
	Existing Right of Way Line		Soil Label		Existing San. Sewer Clean-Out
	Existing Contour (Surveyed)		Proposed Rip-Rap Apron		Existing Fire Hydrant & Water Valve
	Existing Water Line		Proposed Storm Endwall		Proposed Trees
	Existing San. Sewer Main		Existing Property Marker		Utility Pole w/ Guy Wire
	Existing San. Sewer Lateral		Proposed Storm Pipe		Existing Trees
	Proposed Contour		Proposed Storm Pipe		
	Proposed Building Setback Line				
	Proposed Easement Line				
	Soil Boundary Line				
	Proposed Storm Pipe				
	Proposed Water Line				
	Proposed San. Sewer Lateral				



**30" STOP SIGN**  
Pa.D.O.T. SIGN, R1-1  
NOT TO SCALE

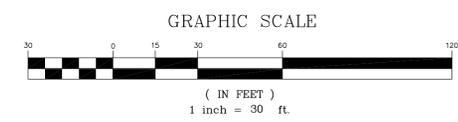


**BASELINE LINE TABLE**

LINE	BEARING	LENGTH
CL1	N80°50'10"E	123.09'
CL2	N80°50'10"E	21.56'
CL3	N80°50'10"E	148.08'
CL4	S77°50'45"E	27.38'
CL5	S77°50'45"E	1.14'
CL6	N64°43'37"E	43.43'
CL7	N83°59'01"W	52.03'
CL8	N86°50'59"E	144.00'
CL9	S23°59'01"E	52.28'
CL10	N86°50'59"E	198.91'

**BASELINE CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CH. BEARING	CH. LENGTH
CL-C1	43.00'	45.53'	N80°50'10"E	40.73'
CL-C2	17.00'	17.22'	S86°58'34"W	16.50'
CL-C3	32.00'	20.12'	S84°51'37"W	19.79'
CL-C4	18.00'	5.91'	N83°22'00"E	6.40'
CL-C5	12.00'	18.85'	S21°00'50"W	18.87'
CL-C6	12.00'	18.85'	N86°59'01"W	18.87'
CL-C7	42.00'	50.24'	N79°44'47"W	47.20'
CL-C8	12.00'	14.35'	S79°43'32"E	13.51'
CL-C9	22.00'	55.28'	N85°58'25"W	41.84'



**EASEMENT LINE TABLE**

LINE	BEARING	LENGTH
E1	N71°15'09"E	413.51'
E2	S18°44'51"E	30.00'
E3	S71°15'09"W	75.00'
E4	S68°50'28"W	21.79'
E5	S69°00'59"W	144.00'
E6	S73°59'01"E	54.78'
E7	S65°59'10"W	91.67'
E8	S65°59'10"W	31.61'
E9	S11°59'00"E	31.04'
E10	S78°03'53"W	15.00'
E11	N1°15'09"W	29.25'
E12	N25°39'11"W	66.93'
E13	N86°54'59"E	15.00'
E14	N83°59'11"W	53.30'
E15	N88°21'12"W	91.59'

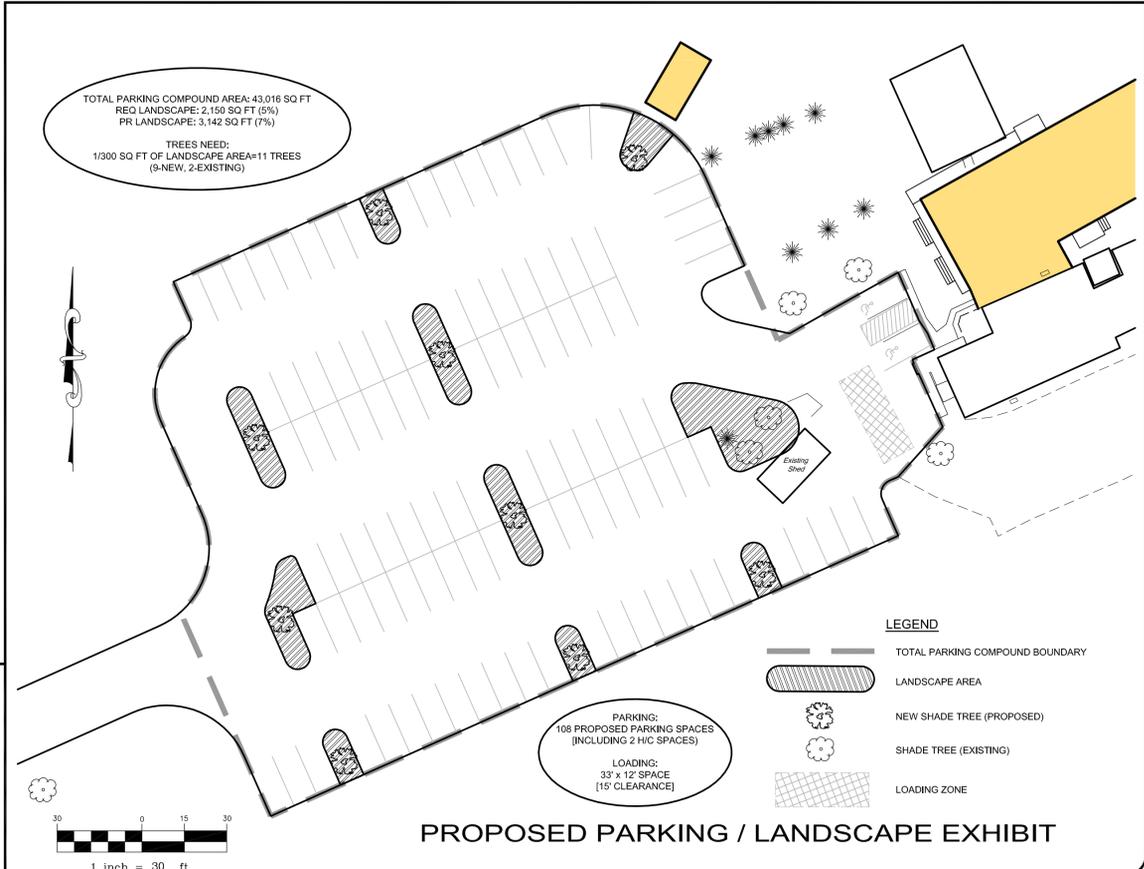
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**PROPOSED SITE IMPROVEMENTS PLAN**  
**PRELIM. / FINAL LAND DEVELOPMENT PLAN FOR THE PEACE CENTRE**  
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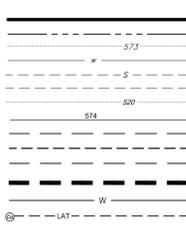
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1787 N.B. Road, New Bloomfield Pennsylvania 17068  
Phone: 717-862-7011 Fax: 717-862-3557

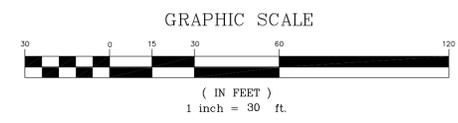
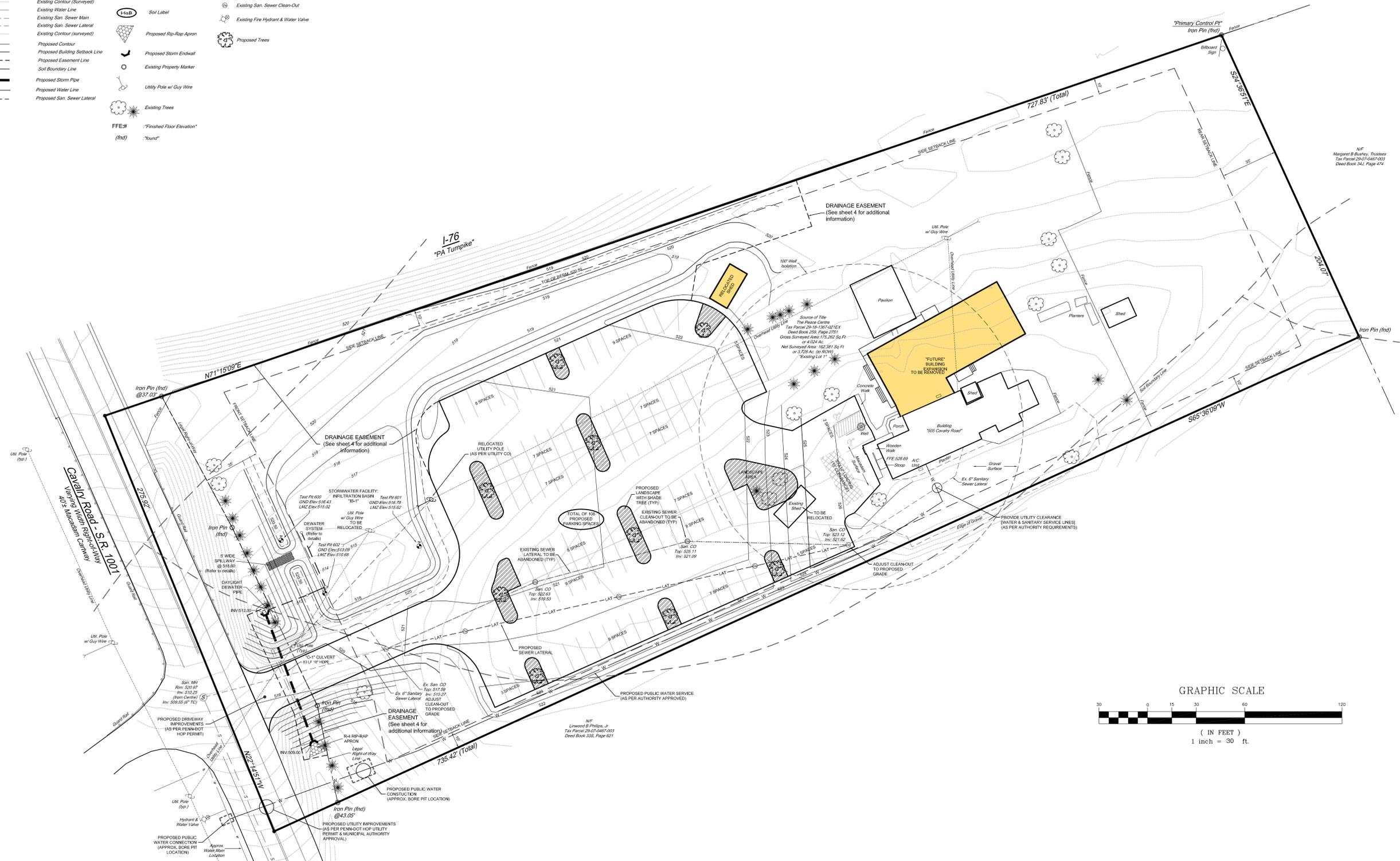


**LEGEND**

	TOTAL PARKING COMPOUND BOUNDARY
	LANDSCAPE AREA
	NEW SHADE TREE (PROPOSED)
	SHADE TREE (EXISTING)
	LOADING ZONE



- LEGEND**
- Property Line
  - Existing Right-of-Way Line
  - Existing Contour (Surveyed)
  - Existing Water Line
  - Existing San. Sewer Main
  - Existing San. Sewer Lateral
  - Existing Contour (Surveyed)
  - Proposed Contour
  - Proposed Building Setback Line
  - Proposed Easement Line
  - Soil Boundary Line
  - Proposed Storm Pipe
  - Proposed Water Line
  - Proposed San. Sewer Lateral
  - Test Pit (Infiltration Testing)
  - Soil Label
  - Proposed Rip-Rap Apron
  - Proposed Storm Endwall
  - Existing Property Marker
  - Utility Pole w/ Guy Wire
  - Existing Trees
  - FFE# "Finished Floor Elevation"
  - (fnd) "found"
  - Existing San. Sewer Manhole
  - Existing San. Sewer Clean-Out
  - Existing Fire Hydrant & Water Valve
  - Proposed Trees



REVISIONS	SOURCE OF TITLE	SHEET NUMBER
	Deed Book 259, Page 2751	5 OF 8
TAX MAP NUMBER		
Tax Parcel 29-18-1367-021EX		
 <b>BURGET &amp; ASSOCIATES, INC.</b> "Professional Land Surveyors" <ul style="list-style-type: none"> <li>• CAD Training and Support</li> <li>• ALTA Surveys</li> <li>• Topographical Surveys</li> <li>• Property Surveys</li> <li>• FEMA Elevation Certificates</li> <li>• GPS Mapping and Control Surveys</li> <li>• Major and Minor Subdivisions</li> </ul> Web Site: <a href="http://www.burgetassociatesinc.com">www.burgetassociatesinc.com</a> <small>1797 N.B. Road Phone: 717-862-7011 New Bloomfield Pennsylvania 17068 Fax: 717-862-3557</small>		

**PROPOSED GRADING /  
STORMWATER  
MANAGEMENT PLAN**

PRELIM. / FINAL  
LAND DEVELOPMENT PLAN  
FOR  
**THE PEACE CENTRE**

NORTH MIDDLETON TOWNSHIP  
CUMBERLAND COUNTY, PA

JOB NUMBER: 20026  
DRAWING NUMBER: 20026-001  
Date: March 16th, 2020

NIP  
Margaret B. Busby, Trustee  
Tax Parcel 29-05-0467-003  
Deed Book 342, Page 474

NIP  
Linnwood B. Phillips, Jr.  
Tax Parcel 29-07-0467-003  
Deed Book 335, Page 621