

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Shippensburg Twp</u>	Surveyor/ Engineer:	<u>Carl Bert & Associates, Inc.</u>	Owner/ Developer:	<u>Shippensburg Twp</u>
Plat Title:	<u>Shippensburg Twp Lots 1 and 2</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Subdivision</u>		
# of New Lots:	<u>2</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>2.33</u>
				Total Tract Acreage:	<u>2.33</u>
Zoning District:	<u>Agricultural/Open Space</u>		Proposed Land Use:	<u>Same as existing</u>	
Date Received:	<u>3/20/2020</u>	County Review:	<u>3/30/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The metes and bounds description of existing Lot 1A should be provided on the plan. Sheet 2 does not demonstrate that proposed Lot 1 meets the lot width requirement (Lines L1 and L2 are shown, but the remaining width is not indicated) (Zoning 703.B).
2. The right-of-way width of Fogelsonger Road and Britton Road should be researched and verified (SLDO 600.1.C).
3. Plan notes indicate that this subdivision will create a 25' right-of-way from the centerline. The plan should clearly indicate the location of the centerline, the existing right-of-way line and the new 25' right-of-way line (SLDO 600.1.C-E).
4. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

SOILS DATA															
Mapping Symbol	Soil Series	Slope %	Hydrologic Soil Group	Limitations										Hydric Rating %	Farmland Classification
				Lawns & Landscapes	Dwellings w/ Basements	Dwellings w/o Basements	Small Commercial Buildings	Unpaved Local Roads and Streets	Roads and Streets	Septic System In-Ground Bed	Sand Mound Sewage Disposal	Shallow Excavations			
HcC	Hagerstown silt loam, rocky, 8 to 15 percent slopes	8-15	B	Somewhat limited	Somewhat limited	Somewhat limited	Very Limited	Somewhat limited	Very Limited	Very Limited	Very Limited	Moderately Limited	Somewhat limited	0.00%	Not Prime Farmland
HaB	Hagerstown silt loam, rocky, 3 to 8 percent slopes	3-8	B	Somewhat limited	Somewhat limited	Somewhat limited	Somewhat limited	Very Limited	Very Limited	Moderately Limited	Slightly Limited	Somewhat limited	0.00%	All Areas are prime farmland	
HcB	Hagerstown silt loam, rocky, 8 to 15 percent slopes	8-15	B	Somewhat limited	Somewhat limited	Somewhat limited	Somewhat limited	Somewhat limited	Very Limited	Moderately Limited	Slightly Limited	Somewhat limited	0.00%	Not Prime Farmland	

Information taken from NRCS Web Soil Survey, Cumberland County accessed September 2019.

PURPOSE OF PLAN

The purpose of this plan is to receive all approvals in accordance with the requirements of the Shippensburg Township Subdivision and Land Development Ordinance and Zoning Ordinance in effect as of the date of this plan to subdivide all of the land acquired by Shippensburg Township in IN 201831317 into Lots 1B & 2B and subdivide DB 198-605 into Lots 1A & 2A to create Consolidated Lots 1 & 2 for separate conveyance in accordance with the Description of Lots shown hereon.

It is not the intent or purpose of this plan to receive approval to:

- Cause any earth disturbance other than normal agricultural activities.
- Construct any improvements.
- Install any water or sewage facilities.
- Install any new driveways onto public roads.
- Address any environmental restrictions / limitations that may impact these lots.

FOGELSONGER ROAD (T-307) & BRITTON ROAD (T-313)

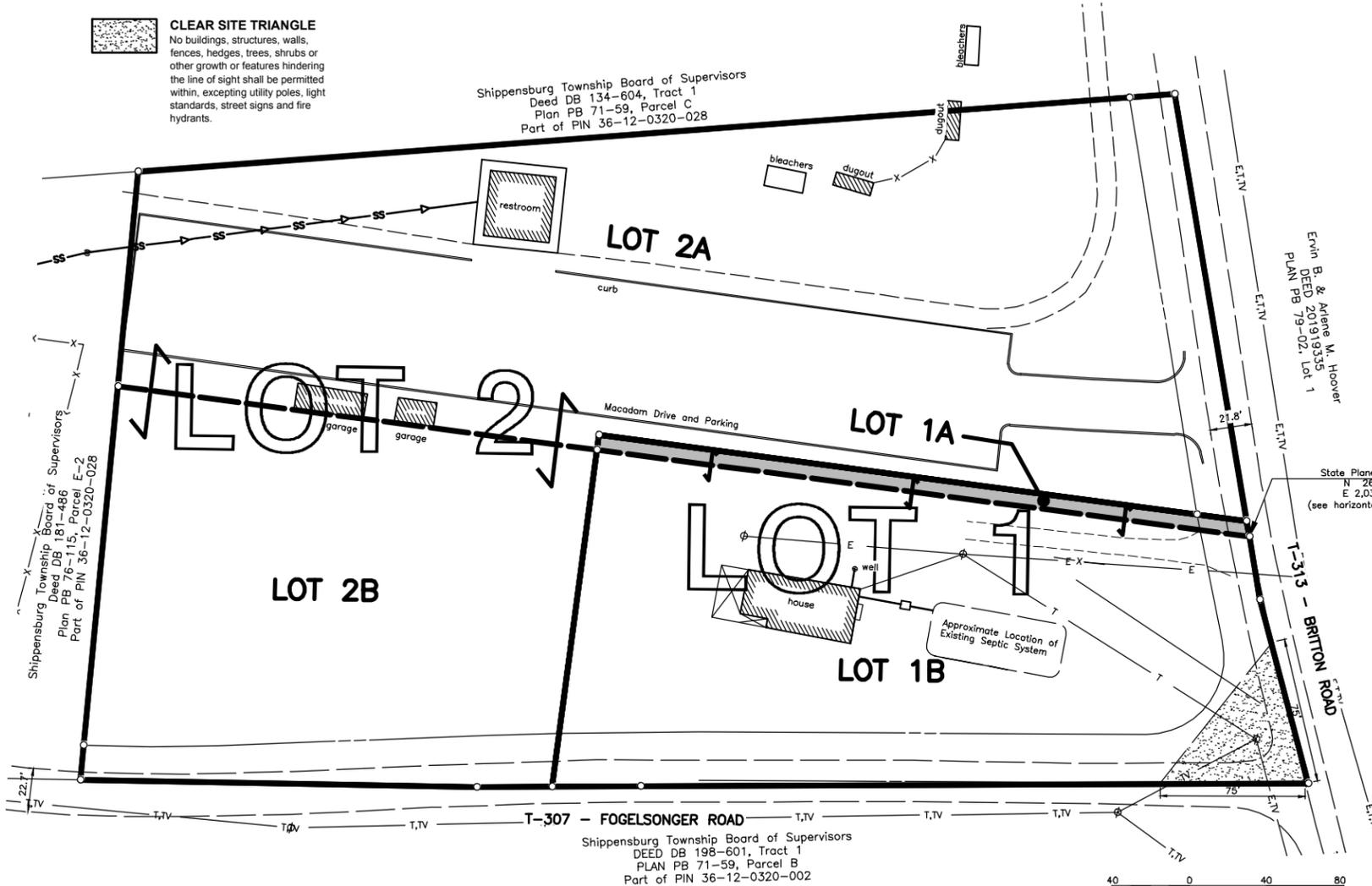
Both Fogelsonger Road (T-307) and Britton Road (T-313) are Shippensburg Township owned and maintained roads with an assumed Right-of-Way width of 33 feet, or 16.5 feet on each side of the center line of the existing cartway. This information has not been researched by Carl Bert & Associates but is assumed based on Act 69, Section 1105, May 1, 1933. This plan reserves an additional 8.5 feet from the existing right-of-way so that there is a total of 25 feet reserved on each side of the existing centerline for future road widening.

SHIPPENSBURG TOWNSHIP ROADWAY OCCUPANCY PERMIT

Any driveway entrance onto, utility installation, or grading within the Fogelsonger Road (T-307) and Britton Road (T-313) right-of-way will require a Roadway Occupancy Permit from Shippensburg Township pursuant to municipal ordinances and/or regulations. Access shall be only as authorized by the required Roadway Occupancy Permit. There must be full and complete compliance with all applicable acts, statutes, laws, codes, ordinances, regulations, etc.

CLEAR SITE TRIANGLE

No buildings, structures, walls, fences, hedges, trees, shrubs or other growth or features hindering the line of sight shall be permitted within, excepting utility poles, light standards, street signs and fire hydrants.



NOTICE TO EXCAVATORS AND CONTRACTORS

The Pennsylvania One Call System Under Utility Line Protection Law (Act 287 of 1974 as amended by Act 181 of 2006) requires excavators and contractors to notify the utilities by contacting the Pennsylvania One Call System at 1-800-242-1776 or 811 not less than three (3) nor more than ten (10) working days prior to excavation or demolition work at this site so that there is no disruption of services or bodily harm. Definition of excavation: to dig, drill, blast, auger, bore, grade, or trench. Failure to notify is a direct violation of the law and penalties can be enforced.

Reserved Right-of-Way for Future Road Widening

The area delineated as Reserved Right-of-Way for Future Road Widening, as depicted herein, is hereby dedicated to the Township for use as roadway and associated improvements and appurtenances, including utilities. The Owners hereby waive any right of reversion of the roadway easement, waive any notice of laying out and opening of the roadway, and any notice or hearing associated therewith, and waive any damages associated with the laying out and opening of the roadway in the Reserved Right-of-Way for Future Road Widening. This provision shall run with the land and be binding on the Owners and their heirs, successors, and assigns.

OWNER / SUBDIVIDER

Shippensburg Township
81 Walnut Bottom Road
Shippensburg, PA 17257

CONTACT PERSON

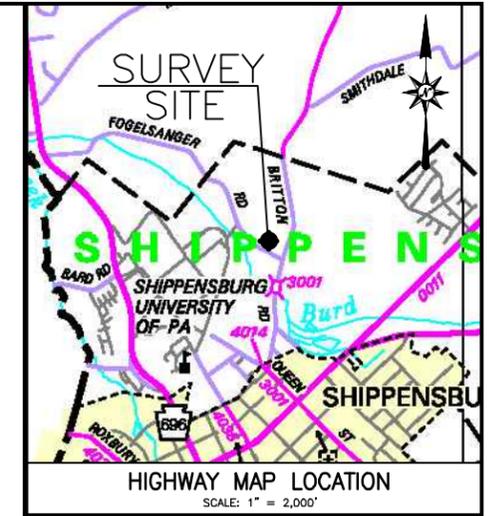
Steve Old, Supervisor
81 Walnut Bottom Road
Shippensburg, PA 17257
Phone 717-532-7381

SITE ADDRESS

300 Britton Road
Shippensburg, PA 17257

SITE DATA

Current Owner: Shippensburg Township
Lots Subdivided: Two (2)
Total Area: 4.50289 acres
Area Subdivided: 4.50289 acres
Deed Reference: See Description of Lots
Plan Reference: See Description of Lots
Tax Reference: See Description of Lots
Zoning: Agricultural / Open Space (A)
Land Use: Residential / Agricultural
Sewage: Private / Public
Water: Private / on-lot well



SUPPORTING DOCUMENTS

- The approval of this plan is based on the following documents on file with Shippensburg Township:
- DEP "Request for Planning Waiver & Non-Building Declaration"
 - Waiver request to Eliminate Preliminary Plan (§401 & §404) to be approved simultaneously with the approval of this plan.

HORIZONTAL DATUM

The coordinates shown on this plan are based on Pennsylvania State Plane Coordinate System-South Zone NAD83 / NAVD 88 values and were established on the site control points using carrier phase static GPS observations by Carl Bert & Associates on May 08, 2019. The observations were submitted to the Online Positioning User Service (OPUS) provided by the National Geodetic Survey (NGS) which generated positional solutions and elevations for the points. Multiple CORS Base Stations were cited as utilized in deriving at the point positions. Plat distances are conventional horizontal distances which must be multiplied by a combined scale factor of 0.99995627 to convert them to State Plane Distances.

AGRICULTURAL NUISANCE DISCLAIMER

The lands depicted on this plan may be located adjacent to or be involved in a normal agricultural operation as defined by Pennsylvania Act 133 of 1982, as amended, "The Right to Farm Law". If you purchase land that is depicted on this plan and said lands are located or involved as described above, you may be prohibited from filing a nuisance action against the operators of a normal agricultural operation. In addition, you may be subjected to inconvenience, discomfort and the possibility of injury to property and health arising from normal and accepted agricultural practices and operations, including, but not limited to, noise, dust, odor, the operation of machinery of any kind including aircraft, the storage and disposal of manure and the application of fertilizers, soil amendments, herbicides and

EFFECT OF RESTRICTIONS PER GOVERNMENTAL REQUIREMENTS

The conveyance, use and building set-backs shown hereon area only to illustrate conformity / compliance to applicable governmental regulations and are not restrictions imposed by the Owner / Subdivider.

SOURCE OF TITLE INFORMATION

The title information for the properties shown hereon was researched and obtained by Carl Bert & Associates and is not based on a title commitment or information provided by a title company or an attorney. This information may not be absolute and additional information may be discovered and disclosed in a title commitment.

REQUIREMENT FOR LAND DEVELOPMENT PLANS

This plan is for subdivision purposes only. No construction, development or earthmoving activity is proposed at this time. Any such future activity shall be subject to all applicable Federal, State and local reviews and approvals including, but not limited to, Shippensburg Township Land Development Plan approval.

SOURCE OF PROPERTY LINE & TOPOGRAPHIC INFORMATION

All property line and planimetric features on this plan are from various field surveys by Carl Bert & Associates in May 2019 based on the plans and deeds referenced hereon. Contours are from the PAMAP program administered by PA DCNR dated 2007.

UTILITY LOCATIONS

All utility locations and information shown are approximate at best and were obtained by field observations and/or from available sources. Carl Bert & Associates does not guarantee and assumes no responsibility for correctness, completeness, omissions, errors, etc. of this information. All utility locations shall be verified by the contractor before beginning excavation and/or construction.

SURVEYOR'S CERTIFICATION

I hereby certify that this plan is true and accurate to the best of my knowledge and represents the findings of a Boundary Survey performed under my direction and that the work has been done in accordance with the standards published by the Pennsylvania Society of Land Surveyors in the most current of its "Manual of Practice for Professional Land Surveyors in the Commonwealth of Pennsylvania" with an error of closure no greater than one foot in ten thousand feet.

September 25, 2019

Carl D. Bert

Carl D. Bert, PLS
PA SU019109E

COMMONWEALTH OF PENNSYLVANIA: : SS.M

COUNTY OF _____

ON THIS _____ DAY

OF _____ 20____, BEFORE ME, THE

UNDERSIGNED OFFICER, PERSONALLY APPEARED _____

ACKNOWLEDGED HIMSELF / HERSELF TO BE THE _____ WHO

OF THE SHIPPENSBURG TOWNSHIP BOARD OF SUPERVISORS, THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE / SHE, AS SUCH OFFICER, BEING AUTHORIZED TO DO SO, ACKNOWLEDGES THIS TO BE HIS PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW, AND ALL ROADS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED OR SHOWN OTHERWISE, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE. THIS PLAN IS SUBMITTED WITH THE FREE WILL AND THE CONSENT OF THOSE WHO HAVE SIGNED.

(X) _____

WITNESS MY HAND AND OFFICIAL SEAL, THE DATE ABOVE WRITTEN.

(X) _____

NOTARY PUBLIC

SEWAGE RESTRICTIONS ON LOTS 1A, 1B, 1, 2A, 2B & 2

As of the date of this plan, Lots 1A, 1B, 1, 2A, 2B & 2 are improved and used as indicated in the "Description of Lots" and are dedicated to continue to be used as such. No portions of these lots have been approved by Shippensburg Township or the Pennsylvania Department of Environmental Protection for the installation of any additional sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any new sewage collection, conveyance, treatment or disposal system unless Shippensburg Township and the Pennsylvania Department of Environmental Protection have both approved sewage facilities planning for the lots described hereon in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract, subdivision plan or deed, any purchaser or subdivider of any portion of this property should contact the appropriate officials of Shippensburg Township, which is charged with administering the Sewage Facilities Act, to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

SYMBOLS

- EIPP = Existing Iron Pipe
- EIP = Existing Iron Pin
- ECM = Existing concrete Monument
- IP = Iron Pin (set)
- CM = Concrete Monument (set)
- MN = Mag Nail (set)
- Pt = Point
- R/W = Right-of-Way
- p/o = Part of
- CL = Center Line
- PL = Property Line
- DB = Deed Book
- PB = Plan Book
- IN = Instrument Number
- PIN = Parcel Identification Number
- U = Utility Pole
- E, T, TV = Overhead Electric, Telephone, Television Lines
- e, t, tv = Underground Electric, Telephone, Television Lines

WETLANDS

An actual field delineation of wetlands was not performed on Lots 1A, 1B, 1, 2A, 2B & 2 as no construction is proposed. Wetlands are not evident based on the entire area being Hagerstown Silt Loam soils with a 0% Hydric Rating, no wetlands shown on the National Wetland Inventory Map, a review of existing contours and a field site inspection by Carl D. Bert, PLS. Shippensburg Township assumes no responsibility with regard to wetlands analyses and delineations.

FLOODPLAIN

Lots 1A, 1B, 1, 2A, 2B & 2 are entirely located within Zone X (areas determined to be outside the 0.2% annual chance floodplain) as delineated on the National Flood Insurance Program Flood Insurance Rate Map Number 42041C0, March 16, 2009 for Shippensburg Township, Cumberland County by the Federal Emergency Management Agency.

REVISIONS		
NO.	DATE	DESCRIPTION
1	01-30-20	Per Zoning Ordinance 2019-05

CUMBERLAND COUNTY PLANNING DEPARTMENT
THIS PLAN REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT
THIS _____ DAY OF _____, 20____

DIRECTOR: _____

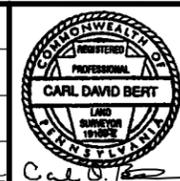
SHIPPENSBURG TOWNSHIP PLANNING COMMISSION
THIS PLAN RECOMMENDED FOR APPROVAL BY THE SHIPPENSBURG TOWNSHIP PLANNING COMMISSION
ON THIS _____ DAY OF _____, 20____

CHAIRMAN: _____
SECRETARY: _____

SHIPPENSBURG TOWNSHIP SUPERVISORS
THIS PLAN APPROVED BY THE SHIPPENSBURG TOWNSHIP SUPERVISORS
ON THIS _____ DAY OF _____, 20____

CHAIRMAN: _____
SECRETARY: _____

PRELIMINARY/FINAL PLAN
INDEX PLAN
SHEET 1 OF 3
I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000 *Carl D. Bert*



LOTS 1A, 1B, 1, 2A, 2B & 2

SHIPPENSBURG TWP CUMBERLAND CO
SUBDIVISION OF LAND OF
SHIPPENSBURG TOWNSHIP
BRITTON AND FOGELSONGER ROADS SHIPPENSBURG, PA
717-532-9470

CARL BERT & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
BURD STREET CENTER
20 EAST BURD STREET
SHIPPENSBURG, PA 17257

DATE: SEPTEMBER 25, 2019 D.M.H. PLAN: CBA NO. C-ST-19-01 / 001

LOT 1 / ZONING CRITERIA / RESIDENTIAL / SINGLE FAMILY DWELLING

Following are the dimensional requirements per Shippensburg Township Zoning Ordinance 2008-04 as amended in Ordinance 2012-02 for a single family dwelling with on-lot water and on-lot sewage which is a permitted use in the Agricultural / Open Space District (A) using Low Density Residential District (R-1) Section 803 criteria:

Dimensional Standards	Required	Provided
Minimum Lot Area	43,560 sf	43,580 sf
Minimum Lot Width	140 feet	140 feet**
Minimum Lot Depth	180 feet	337 feet
Minimum Front Yard	35 feet	35 feet
Minimum Side Yards	25 feet	25 feet
Minimum Rear Yard	35 feet	35 feet
Maximum Building Height	35 feet	2-story dwelling

** Lot frontage is measured at the front building set-back 174' from the right-of-way line of Britton Road

DESCRIPTION OF LOT 1

Current Owner: Shippensburg Township
 Address: 300 Britton Road
 Deed Reference: Part of IN 201831317
 Part of DB 198-605
 Plan Reference: Part of Tract "B" on unrecorded "Survey of Land for Marion B. Reiser Estate" by William A. Brindle Associates Surveying, File # 628-1, dated December 5-7, 1972.
 Part of Plan PB 76-115, Parcel E-1
 Tax Reference: Part of PIN 36-12-0320-002A
 Part of PIN 36-12-0320-029
 Zoning: Agricultural / Open Space (A)

Areas:
 Total 57,291 square feet
 Road R/W 13,711 square feet
 Lot 43,580 square feet

Existing / Proposed Land Use: Residential / No change
 Existing / Proposed Improvements: Single-family dwelling, drive, well, septic system / No change

Existing / Proposed Water: On-lot well / No change
 Existing / Proposed Sewage: On-lot sewage disposal system / No Change

Comments

- Subject to all applicable notes, restrictions, utilities, easements, etc. shown hereon.
- Subject to "Sewage Restrictions on Lots 1A, 1B, 1, 2A, 2B & 2" note
- This lot is not in Clean & Green, Ag Security or Ag Preservation
- This Lot 1 is a combination of Lots 1A & 1B in one unified Metes & Bounds Description.
- No alternate sewage disposal has not been tested or approved. In the event the existing system should fail, the dwelling hereon shall connect to the public sewage services provided by the Cumberland Franklin Joint Municipal Authority (CFJMA) via a lateral over Lot 2 at a location to be determined.

DESCRIPTION OF LOT 1A

Current Owner: Shippensburg Township
 Address: Vacant / Britton Road
 Deed Reference: Part of DB 198-605
 Plan Reference: Part of Plan PB 76-115, Parcel E-1
 Tax Reference: Part of PIN 36-12-0320-029
 Zoning: Agricultural / Open Space (A)

Areas:
 Total 2,634 square feet
 Britton Road R/W 200 square feet
 Lot 2,434 square feet

Existing / Proposed Land Use: Agricultural / No change
 Existing / Proposed Improvements: Vacant / No change
 Existing / Proposed Water: None / No change
 Existing / Proposed Sewage: None / No change

Comments

- Subject to all applicable notes, restrictions, utilities, easements, etc. shown hereon.
- Subject to "Sewage Restrictions on Lots 1A, 1B, 1, 2A, 2B & 2" note
- This lot is not in Clean & Green, Ag Security or Ag Preservation
- Must be combined with Lot 1B in one unified Metes & Bounds Description to create Lot 1.

DESCRIPTION OF LOT 1B

Current Owner: Shippensburg Township
 Address: 300 Britton Road
 Deed Reference: Part of IN 201831317
 Plan Reference: Part of Tract "B" on unrecorded "Survey of Land for Marion B. Reiser Estate" by William A. Brindle Associates Surveying, File # 628-1, dated December 5-7, 1972.
 Tax Reference: Part of PIN 36-12-0320-002A
 Zoning: Agricultural / Open Space (A)

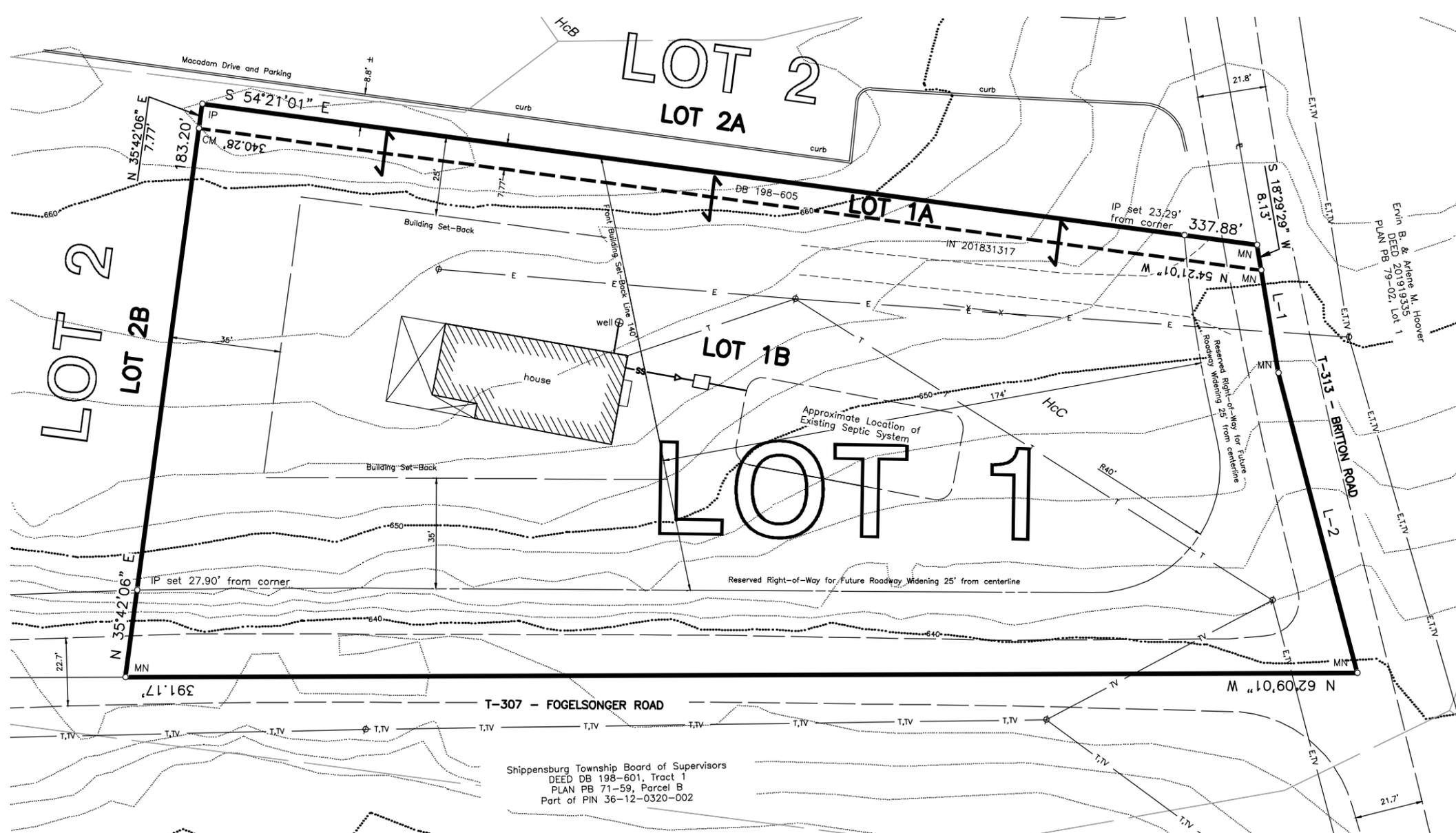
Areas:
 Total 54,657 square feet
 Road R/W 13,511 square feet
 Lot 41,146 square feet

Existing / Proposed Land Use: Residential / No change
 Existing / Proposed Improvements: Single-family dwelling, drive, well, septic system / No change

Existing / Proposed Water: On-lot well / No change
 Existing / Proposed Sewage: On-lot sewage disposal system / No change

Comments

- Subject to all applicable notes, restrictions, utilities, easements, etc. shown hereon.
- Subject to "Sewage Restrictions on Lots 1A, 1B, 1, 2A, 2B & 2" note
- This lot is not in Clean & Green, Ag Security or Ag Preservation
- Must be combined with Lot 1A in one unified Metes & Bounds Description to create Lot 1.
- No alternate sewage disposal has not been tested or approved. In the event the existing system should fail, the dwelling hereon shall connect to the public sewage services provided by the Cumberland Franklin Joint Municipal Authority (CFJMA) via a lateral over Lot 2 at a location to be determined.



Shippensburg Township Board of Supervisors
 DEED DB 198-601, Tract 1
 PLAN PB 71-59, Parcel B
 Part of PIN 36-12-0320-002

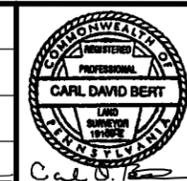


SYMBOLS	LINE	LINE TABLE	DISTANCE
EIPP = Existing Iron Pipe	L-1	S 18°29'29" W	41.13'
EIP = Existing Iron Pin	L-2	S 13°16'40" W	98.20'
ECM = Existing concrete Monument	L-3	N 62°09'01" W	38.88'
IP = Iron Pin (set)			
CM = Concrete Monument (set)			
MN = Mag Nail (set)			
Pt = Point			
R/W = Right-of-Way			
p/o = Part of			
CL = Center Line			
PL = Property Line			
DB = Deed Book			
PB = Plan Book			
IN = Instrument Number			
PIN = Parcel Identification Number			
U = Utility Pole			
E, T, TV = Overhead Electric, Telephone, Television Lines			
e, t, tv = Underground Electric, Telephone, Television Lines			

LOTS 1A, 1B, 1, 2A, 2B & 2

SHIPPENSBURG TWP	CUMBERLAND CO
SUBDIVISION OF LAND OF SHIPPENSBURG TOWNSHIP	
BRITTON AND FOGELSONGER ROADS SHIPPENSBURG, PA	
717-532-9470	
CARL BERT & ASSOCIATES PROFESSIONAL LAND SURVEYORS BURD STREET CENTER 20 EAST BURD STREET SHIPPENSBURG, PA 17257	
surveyors	
DATE: SEPTEMBER 25, 2019	D.M.H. PLAN: CBA NO. C-ST-19-01 / 001

PRELIMINARY/FINAL PLAN
DETAIL / LOT 1
SHEET 2 OF 3
I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000



e:\Cdbjobs\Cst1901\Surv\CADD\current\plans\001 subdivision plan for shippensburg twp\02 DETAIL PLAN.dwg, DETAIL PLAN, 3/10/2020 9:19:04 AM, ANST full bleed B (17.00 x 11.00 inches)

LOT 2 / ZONING CRITERIA / AGRICULTURAL

Following are the dimensional requirements per Shippensburg Township Zoning Ordinance 2008-04 as amended in Ordinance 2012-02 for an agricultural use which is a permitted in the Agricultural / Open Space District A per Section 703:

Dimensional Standards	Required	Provided
Minimum Lot Area	87,120 sf	138,855 sf
Minimum Lot Width	200 feet	243 feet
Minimum Lot Depth	180 feet	315 feet
Minimum Front Yard	50 feet	50 feet
Minimum Side Yards	25 feet	25 feet
Minimum Rear Yard	35 feet	35 feet
Maximum Building Height	35 feet	No proposal structures

DESCRIPTION OF LOT 2

Current Owner: Shippensburg Township
 Address: Vacant / Fogelsonger & Britton Roads
 Deed Reference: Part of IN 201831317
 Part of DB 198-605
 Plan Reference: Part of Tract "B" on unrecorded "Survey of Land for Marion B. Reisner Estate" by William A. Brindle Associates Surveying, File # 628-1, dated December 5-7, 1972.
 Tax Reference: Part of Plan PB 76-115, Parcel E-1
 Part of PIN 36-12-0320-002A
 Part of PIN 36-12-0320-029
 Zoning: Agricultural / Open Space (A)

Areas:

Total	138,855 square feet
Britton Road R/W	5,296 square feet
Fogelsonger Road R/W	5,397 square feet
Lot	128,162 square feet

Existing / Proposed Land Use: Recreation / No change
 Existing / Proposed Improvements: Restrooms, ball field dugouts, bleachers / No change
 Existing / Proposed Water: Well / No change
 Existing / Proposed Sewage: Public CFJMA / No change

- Comments
- Subject to all applicable notes, restrictions, utilities, easements, etc. shown herein
 - Subject to "Sewage Restrictions on Lots 1A, 1B, 1, 2A, 2B & 2" note
 - This lot is not in Clean & Green, Ag Security or Ag Preservation
 - This Lot 2 is a combination of Lots 2A & 2B in one unified Metes & Bounds Description.
 - Lot 2 is subject to the right of Lot 1 to connect to public sewage facilities of CFJMA southwest of Lot 2 within a 20 foot wide easement at a location to be determined.

DESCRIPTION OF LOT 2A

Current Owner: Shippensburg Township
 Address: Vacant / Britton Road
 Deed Reference: Part of DB 198-605
 Plan Reference: Plan PB 76-115, Parcel E-1
 Tax Reference: Part of PIN 36-12-0320-029
 Zoning: Agricultural / Open Space (A)

Areas:

Total	92,050 square feet
Britton Road R/W	5,296 square feet
Lot	86,754 square feet

Existing / Proposed Land Use: Recreation / No change
 Existing / Proposed Improvements: Restrooms, ball field dugouts, bleachers / No change
 Existing / Proposed Water: Well / No change
 Existing / Proposed Sewage: Public CFJMA / No change

- Comments
- Subject to all applicable notes, restrictions, utilities, easements, etc. shown herein
 - Subject to "Sewage Restrictions on Lots 1A, 1B, 1, 2A, 2B & 2" note
 - This lot is not in Clean & Green, Ag Security or Ag Preservation
- Must be combined with Lot 2B in one unified Metes & Bounds Description to create Lot 2.

DESCRIPTION OF LOT 2B

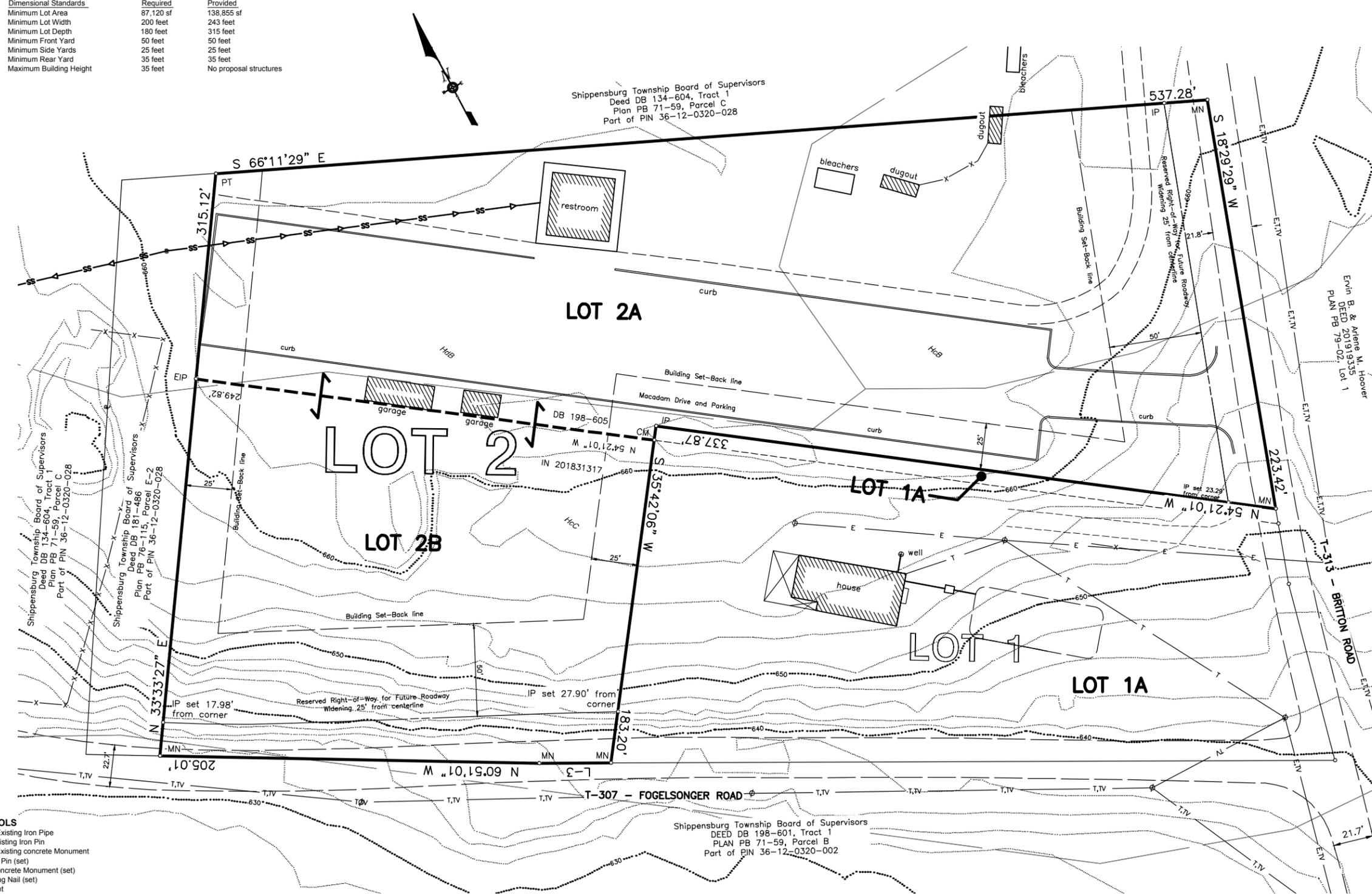
Current Owner: Shippensburg Township
 Address: Vacant / Fogelsonger Roads
 Deed Reference: Part of IN 201831317
 Plan Reference: Part of Tract "B" on unrecorded "Survey of Land for Marion B. Reisner Estate" by William A. Brindle Associates Surveying, File # 628-1, dated December 5-7, 1972.
 Tax Reference: Part of PIN 36-12-0320-002A
 Zoning: Agricultural / Open Space (A)

Areas:

Total	46,805 square feet
Fogelsonger Road R/W	5,397 square feet
Lot	41,408 square feet

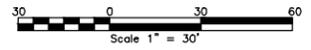
Existing / Proposed Land Use: Agricultural / No change
 Existing / Proposed Improvements: Vacant / No change
 Existing / Proposed Water: None / No change
 Existing / Proposed Sewage: None / No change

- Comments
- Subject to all applicable notes, restrictions, utilities, easements, etc. shown herein
 - Subject to "Sewage Restrictions on Lots 1A, 1B, 1, 2A, 2B & 2" note
 - This lot is not in Clean & Green, Ag Security or Ag Preservation
 - Must be combined with Lot 2A in one unified Metes & Bounds Description to create Lot 2.
 - Lot 2B is subject to the right of Lot 1 to connect to public sewage facilities of CFJMA southwest of Lot 2 within a 20 foot wide easement at a location to be determined.



- SYMBOLS**
- EIPP = Existing Iron Pipe
 - EIP = Existing Iron Pin
 - ECM = Existing concrete Monument
 - IP = Iron Pin (set)
 - CM = Concrete Monument (set)
 - MN = Mag Nail (set)
 - Pt = Point
 - R/W = Right-of-Way
 - p/o = Part of
 - CL = Center Line
 - PL = Property Line
 - DB = Deed Book
 - PB = Plan Book
 - IN = Instrument Number
 - PIN = Parcel Identification Number
 - U = Utility Pole
 - E, T, TV = Overhead Electric, Telephone, Television Lines
 - e, t, tv = Underground Electric, Telephone, Television Lines

LINE	LINE TABLE BEARINGS	DISTANCE
L-3	N 62°09' 01" W	38.88'



PRELIMINARY/FINAL PLAN
 DETAIL / LOT 2
 SHEET 3 OF 3



SHIPPENSBURG TWP CUMBERLAND CO

717-532-9470

CARL BERT & ASSOCIATES
 PROFESSIONAL LAND SURVEYORS
 BURD STREET CENTER
 20 EAST BURD STREET
 SHIPPENSBURG, PA 17257

DATE: SEPTEMBER 25, 2019 D.M.H. PLAN: CBA NO. C-ST-19-01 / 001

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000. *Carl D. Bert*

e:\C:\jobs\Cst1901\Sur\CADD\current\plans\001\subdivision plan for shippensburg twp\03 DETAIL PLAN.dwg, DETAIL PLAN, 3/10/2020 9:19:12 AM, ANST full bleed B (17.00 x 11.00 inches)

LOTS 1A, 1B, 1, 2A, 2B & 2