

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Shippensburg Twp</u>	Surveyor/ Engineer:	<u>Carl Bert & Associates, Inc.</u>	Owner/ Developer:	<u>Adrian G. Martin</u>
Plat Title:	<u>Adrian Martin</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Land Development</u>		
# of New Lots:	<u>0</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>1.0</u>
				Total Tract Acreage:	<u>1.9</u>
Zoning District:	<u>C-2</u>	Proposed Land Use:	<u>Vehicle Sales Lot</u>		
Date Received:	<u>4/3/2020</u>	County Review:	<u>4/9/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. A Type 2 buffer yard with a minimum width of 50 feet should be provided between the proposed vehicle sales lot and the R-2 district. The buffer yard landscaping requirements should be addressed. A landscape plan should be provided with the submission (Zoning 303.A).
2. A Type 2 buffer yard is required in the front yard setback area of all properties located adjacent to a minor arterial or along a collector roadway. The Township should determine if a buffer is required along the Ritner Highway (Zoning 303.E). Buffer yard landscaping requirements should be addressed.
3. The plan should show the location of a proposed dumpster and include appropriate screening (Zoning 308).
4. The lighting plan (Sheet 3) should include the foot-candles on the parking lot as well as along the property lines (Zoning 317.G).
5. The parking calculations provided should be clarified. Sheet 3, Tabulation of Parking table indicates that the parking requirements are found in Section 304-II.A.2.5. The off-street parking requirements are found in Section 324 of the Zoning Ordinance. Further, the required parking spaces for a vehicle sales lot is 1 space per 15 vehicles plus 1 space per employee (Zoning 324).
6. The aisle width provided between parking spaces should be indicated on the plan (Zoning 324.V.A.2).
7. The required and provided sight distances should be provided on the plan (SLDO 600.1.M).
8. The Pennsylvania DEP Sewage Planning requirements should be addressed on the Cover Sheet (SLDO 600.4).

9. The Erosion and Sedimentation Control Plan should be submitted to the Cumberland County Conservation District for review and approval (SLDO 600.6).
10. The applicant should verify the quantity of lighting shown on the Luminaire Schedule provided on Sheet 3.
11. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

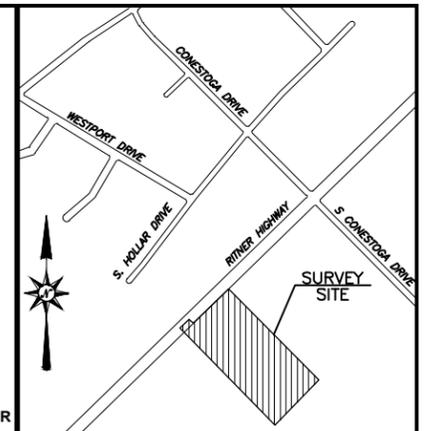
LAND DEVELOPMENT PLAN

FOR

ADRIAN G. MARTIN



QUAD MAP LOCATION
SCALE: 1" = 1,000'



HIGHWAY MAP LOCATION
Scale: 1" = 600'

EFFECT OF USE AND CONVEYANCE RESTRICTIONS

The use and building setback restrictions on this plan are shown only to illustrate conformity to applicable regulations and ordinances of the various review and approval agencies in effect at the time of plan approval and NOT restrictions imposed by the Owner/Subdivider.

SUPPORTING DOCUMENTS

The approval of this plan is based on the following documents on file in the office of Shippensburg Township, Cumberland County:

- Stormwater Management Report per Shippensburg Township SALDO.
- Approval to connect Sanitary Sewer to CFJMA
- PennDOT Highway Occupancy Permit.
- Stormtech Chambers System Model SC-310-3 Installation, Maintenance & Operation specification.
- Waiver requests regarding the following items to be approved simultaneously with the approval of this plan:
 - ◊ Eliminate Preliminary Plan (SALDO §401 & §404)
 - ◊ Eliminate Sidewalk on Ritner Highway (SALDO §901.1.)
 - ◊ Eliminate the need for a Preliminary Traffic Analysis (SALDO §600.7, Section 806)
 - ◊ Eliminate the need for an Engineered Lighting Plan (SALDO §600.8)
 - ◊ Location of Infiltration Areas in relation to building foundations (SMO # 2011.3 §205.B.6)

UTILITY LOCATIONS

All utility locations and information shown are approximate at best and were obtained by field observations and/or from available sources. Carl Bert & Associates does not guarantee and assumes no responsibility for correctness, completeness, omissions, errors, etc. of this information or of utilities not registered with PA One Call. All utility locations shall be verified by the contractor before beginning excavation and/or construction.

NOTICE TO EXCAVATORS AND CONTRACTORS

The Pennsylvania One Call System Underground Utility Line Protection Law (Act 287 of 1974 as amended by Act 181 of 2006) requires excavators and contractors to notify the utilities listed hereon by contacting the Pennsylvania One Call System at 1-800-242-1776 not less than three (3) nor more than ten (10) working days prior to excavation or demolition work at this site so that there is no disruption of services or bodily harm. Definition of excavation: to dig, drill, blast, auger, bore, grade, or trench. Failure to notify is a direct violation of the law and penalties can be enforced.

PENNSYLVANIA ONE CALL SYSTEM NOTIFICATION

All known existing utilities, easements and right-of-ways have been shown on this plan. All utilities have been notified under the PA One Call System as required by PA Act 287, as amended, by Carl Bert & Associates via PA One Call Design Serial No. 20192950500-000.

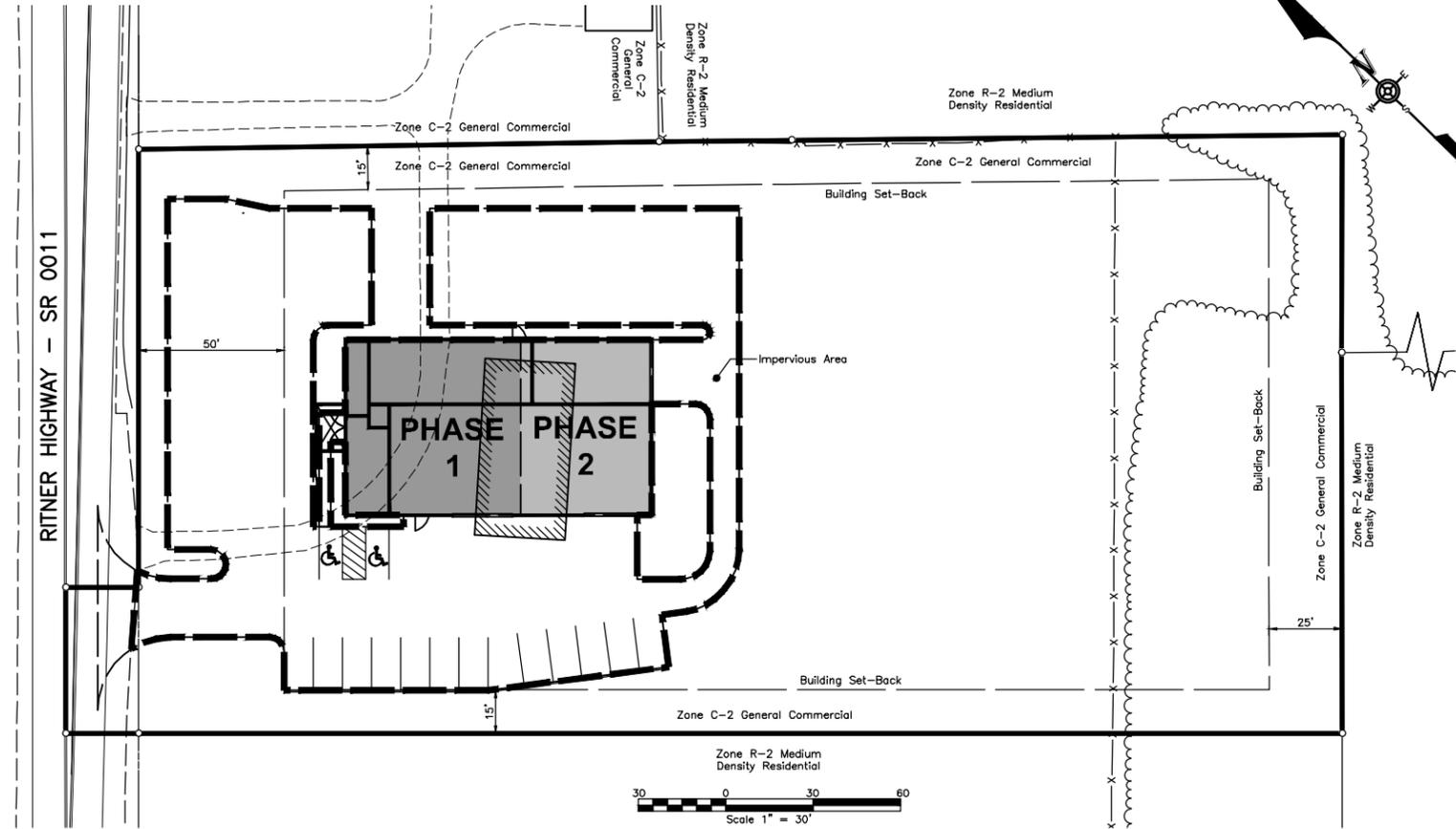
COMPLIANCE WITH PERFORMANCE STANDARDS (Shippensburg Zoning Ordinance 2008-04 § Article III, Section 317)

All uses, Commercial and Residential / Agricultural, shall comply with the following regulations, where applicable per the Shippensburg Township Ordinances (§ Section 317, Items A thru G) as of the date of this plan:

- Noise Pollution and Vibration
- Air Pollution, Airborne Emission and Oder
- Water Pollution
- Mine Reclamation and Open Pit Setback
- Glare and Heat
- No use or operation shall be permitted which creates a public nuisance or hazard to adjoining property by reason of fire, explosion, radiation or other similar causes.
- Outdoor Lighting.

COMPLIANCE WITH SHIPPENSBURG TOWNSHIP SALDO STANDARDS / REQUIREMENTS:

- The planning / design of this site is in accordance with the "Planning & Design Standards" of (§ Section 807).
- This site preparation and cleanup of this site shall be in accordance with (§ Section 600.11).



OWNER / DEVELOPER

Adrian G. Martin
343 High Mountain Road
Shippensburg, PA 17257

CONTACT PERSON

Adrian G. Martin
343 High Mountain Road
Shippensburg, PA 17257
717-360-6028

PURPOSE OF PLAN

The purpose of this plan is to receive all approvals in accordance with the requirements of the Shippensburg Township Subdivision and Land Development Ordinance and Zoning Ordinance to

- Design, construction facilities and operate a Vehicle Sales - Maintenance Business

SITE DATA

Current Owners:	Adrian G. Martin
Property Address:	Ritner Highway
Zoning:	General Commercial C-2
Deed Reference:	Deed IN 201820980
Plan Reference:	Plan IN 20113386, Parcel B-1, B-2, B-3
Tax Reference:	Plan 36-12-0320-074
Total area:	84,957 sf / 1.95034 acres
Area within Ritner Hwy R/W:	1,250 sf / 0.02869 acres
Lot area:	83,707 sf / 1.92165 acres
Area being developed:	1.00 acres (Commercial / Used car sales lot)
Area not being developed:	0.92 acres (Agricultural)
Sewage Disposal:	Public by Cumberland Franklin Joint Municipal Authority
Water Supply:	Private / Well

UTILITY LISTINGS

Cumberland-Franklin Joint Municipal Authority
725 Municipal Drive
Shippensburg, PA 17257

First Energy Corp
405 West Plank Road
Altoona, PA 16602

Comcast Cable Communications, Inc.
c/o Central Locating Service
13085 Hamilton Crossing Boulevard, Suite 200
Carmel, IN 46032

CenturyLink
122 Baltimore Street
Hanover, PA 17331

UGI Central Penn Gas, Inc.
225 Morgantown Road
Reading, PA 19611

SURVEYOR'S CERTIFICATION

I hereby certify that this plan is true and accurate to the best of my knowledge and represents the findings of a Boundary Survey performed under my direction and that the work has been done in accordance with the standards published by the Pennsylvania Society of Land Surveyors in the most current of its "Manual of Practice for Professional Land Surveyors in the Commonwealth of Pennsylvania" with an error of closure no greater than one foot in ten thousand feet.

February 26, 2020

Carl D. Bert

Carl D. Bert, PLS
PA SU019109E

INDEX OF SHEETS

- Index Plan
- Property Details
- Surface / Lighting
- Grading
- Storm Water
- E&S Plan
- Utilities and Landscaping
- Infiltration Bed "A"
- Infiltration Bed "B"
- Sewer Profiles
- Construction Details
- Construction Details
- Construction Details

ZONING CRITERIA / COMMERCIAL / AUTO SALES & REPAIRS

Following are the permitted uses, dimensional requirements and provided for Retail / Auto Repair Garage per the Shippensburg Township Zoning Ordinance of 2008-04, as amended in Ordinance 2012-02.

Zoning District	General Commercial District (C-2)
Permitted Use	Auto Repair Garage (§ Article XII, Section 1201, Item C / Article III, Section 331
Actual Use	Auto Sales and Repair

Dimensional Standards	Required	Provided
Minimum Lot Area	1 acre	1.95 acres
Minimum Lot Width	200 feet	200.74 feet
Minimum Front Yard	50 feet	50 feet
Minimum Side Yards	15 feet	15 feet
Minimum Rear Yard	25 feet	25 feet
Maximum Building Height	40 feet	20 feet
Off-Street Parking	1 per 400 sf	15 spaces
Maximum Building Coverage	50%	8%
Maximum Impervious Coverage	75%	30%

PHASING SCHEDULE

It is very likely that this project will be built in two (2) Phases as follows:

Phase 1:

- Front 60' of building
- Driveway, display area in front of building and parking area west of building
- North end of vehicle / equipment / prep area
- Infiltration Bed IB-1 and all stormwater runoff features directing run-off into IB-1.
- Temporary Diversion Berm directing surface run-off to 1 inlet I-3

Phase 2:

- Rear 45' of building
- Infiltration Bed IB-2 and all stormwater features directing run-off into IB-2
- Remainder of vehicle / equipment prep area and driveway around south end of building.

COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF : SS

ON THIS _____ DAY OF _____, 20____
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED
Adrian G. Martin

WHO BEING DULY SWORN ACCORDING TO LAW, ACKNOWLEDGE THAT THEY ARE THE OWNERS AND/OR THE EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THEY ACKNOWLEDGE THIS TO BE THEIR PLAN AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW, AND ALL ROADS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED OR SHOWN OTHERWISE, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE. THIS PLAN IS SUBMITTED WITH THE FREE WILL AND THE CONSENT OF THOSE WHO HAVE SIGNED.

(X) _____
WITNESS MY HAND AND OFFICIAL SEAL, THE DATE ABOVE WRITTEN.

(X) _____
NOTARY PUBLIC

REVISIONS		
NO.	DATE	DESCRIPTION

REVIEWED BY THE FIRE CHIEF OF THE FIRST RESPONDING FIRE DEPARTMENT

DATE: _____

FIRE CHIEF: _____

CUMBERLAND COUNTY PLANNING DEPARTMENT
THIS PLAN REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT
THIS _____ DAY OF _____, 20____

DIRECTOR: _____

SHIPPENSBURG TOWNSHIP PLANNING COMMISSION
THIS PLAN RECOMMENDED FOR APPROVAL BY THE SHIPPENSBURG TOWNSHIP PLANNING COMMISSION

THIS _____ DAY OF _____, 20____

CHAIRMAN: _____

SECRETARY: _____

SHIPPENSBURG TOWNSHIP SUPERVISORS
THIS PLAN APPROVED BY THE SUPERVISORS OF SHIPPENSBURG TOWNSHIP

THIS _____ DAY OF _____, 20____

CHAIRMAN: _____

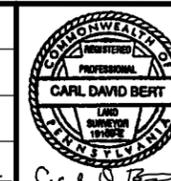
SECRETARY: _____

PRELIMINARY/FINAL

INDEX

SHEET 1 OF 13

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000. *Carl D. Bert*



SHIPPENSBURG TWP CUMBERLAND CO

LAND DEVELOPMENT PLAN

FOR

ADRIAN G. MARTIN

RITNER HIGHWAY SHIPPENSBURG, PA

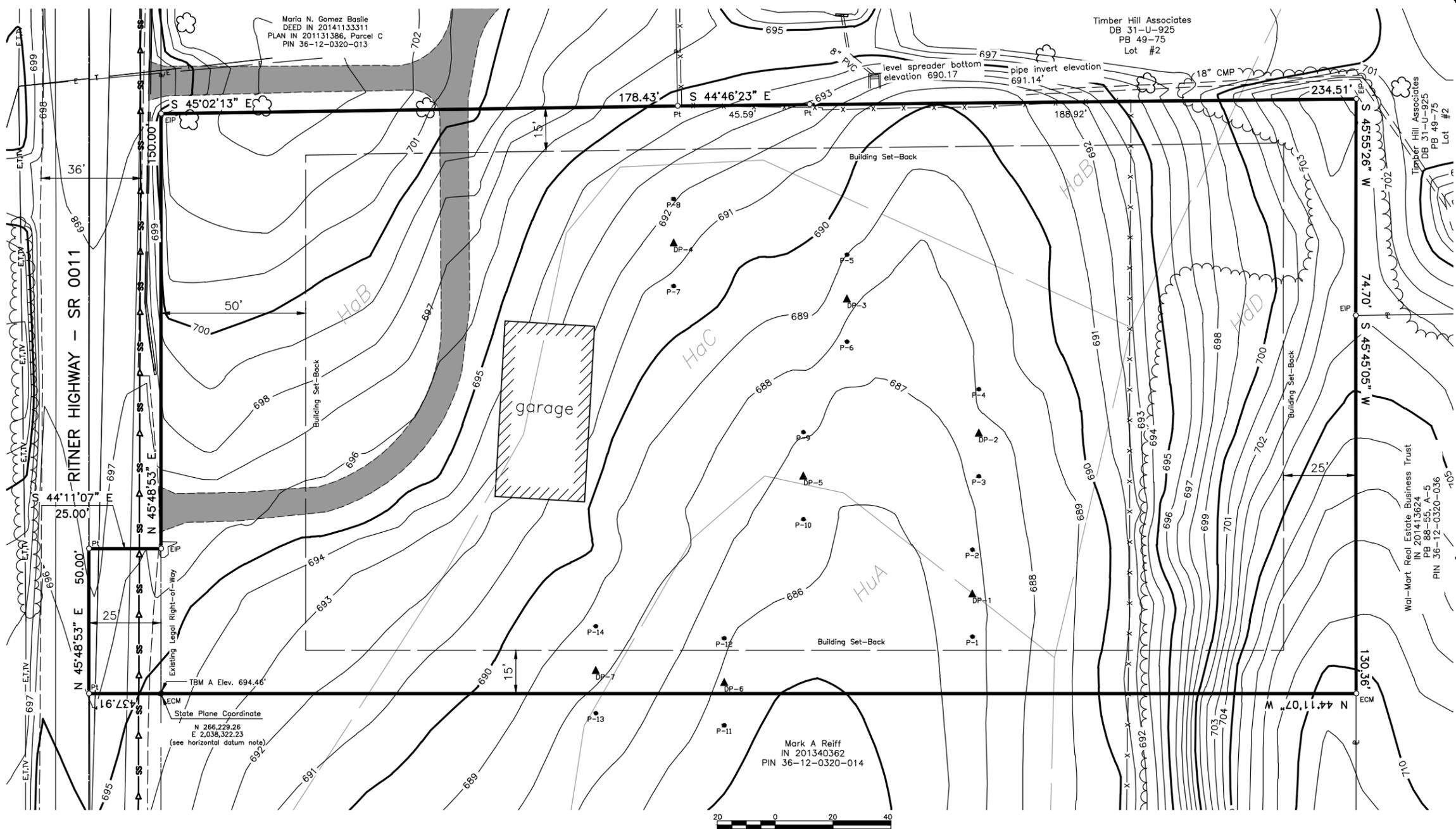
717-532-9470

CARL BERT & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
20 EAST BURD STREET
SHIPPENSBURG, PA 17257

DATE: FEBRUARY 26, 2020 M.M.K PLAN: CBA NO. C-ST-18-08 / 002

e:\C:\jobs\Cs11808\Surv\CADD\current\plans\002 land development plan for adrian g martin\1 INDEX.dwg, 1 INDEX, 3/12/2020 3:06:16 PM, ANST full bleed B (17.00 x 11.00 inches)

SOILS DATA										
Mapping Symbol	Soil Series	Slope %	Hydrologic Soil Group	Limitations					Hydric Rating	Farmland Classification
				Dwellings w/ Basements	Roads and Streets	Unpaved Local Roads & Streets	Lawns & Landscapes	Shallow Excavations		
HaB	Hagerstown silt loam	3-8%	B	Somewhat Limited	Very Limited	Very Limited	Somewhat Limited	Somewhat Limited	0	Prime
HaC	Hagerstown silt loam	8-15%	B	Somewhat Limited	Very Limited	Very Limited	Somewhat Limited	Somewhat Limited	0	Statewide Importance
HdB	Hagerstown-Rock outcrop complex	8-25%	B	Very Limited	Very Limited	Very Limited	Very Limited	Very Limited	0	Not Prime
HuA	Huntington silt loam	0-5%	B	Very Limited	Very Limited	Very Limited	Somewhat Limited	Somewhat Limited	5	Prime



- SYMBOLS**
- EIP Existing Iron Pin
 - ECM Existing Concrete Monument
 - PI Point
 - p/o Part of
 - R/W Right-of-Way
 - DB Deed Book
 - PB Plan Book
 - IN Instrument Number
 - PIN Parcel Identification Number
 - PL Property Line
 - CL Center Line
 - Perc Test Location
 - ▲ Deep Probe Location
 - Fence
 - Overhead Electric, Telephone, Television Lines
 - Overhead Electric Line
 - Overhead Telephone Line
 - Proposed Water Lateral
 - Existing Sanitary Sewer Lateral
 - Proposed Sanitary Sewer Lateral
 - Soils
 - Existing contours per field survey
 - Proposed Stormwater Pipe
 - Limits of Earth Disturbance
 - Compost Filter Sock (FS)
 - Proposed Inlet

Deep Probe

Probe Number	Surface Elevation	Depth to Limiting Zone	Elevation of Limiting Zone	Elevation 24" above LZ
1	686.8	20	685.1	687.1
2	687.6	48+	683.6	685.6
3	688.4	33	685.6	687.6
4	691.4	36+	688.4	690.4
5	686.7	36+	683.7	685.7
6	685.9	38+	682.7	684.7
7	688.2	26	686.0	688.0

Perc Tests

Hole Number	Surface Elevation	Depth	Elevation of Bottom	percolation rate (hr/in)	infiltration rate (in/hr)
1	685.7	12	684.7	7.42	4.29
2	687.0	24	685.0	6.38	3.89
3	687.3	12	686.3	8.88	5.13
4	688.1	24	686.1	9.66	5.58
5	689.0	12	688.0	4.58	2.65
6	687.9	24	685.9	7.88	4.55
7	690.8	12	689.8	5.66	3.27
8	692.1	24	690.1	3.5	2.02
9	687.1	12	686.1	Emptied immediately	
10	686.7	24	684.7	8.58	4.96
11	685.6	12	684.6	5.58	3.23
12	686.2	24	684.2	9.12	5.27
13	687.6	24	685.6	2.16	1.25
14	688.7	12	687.7	4.7	2.72

HORIZONTAL DATUM
The coordinates shown on this plan are based on Pennsylvania State Plane Coordinate System-South Zone NAD83 / NAVD 88 values and were established on the site control points using carrier phase static GPS observations by Carl Bert & Associates on November 20, 2018. The observations were submitted to CPUS provided by NGS which generated positional solutions and elevations for the points. Multiple CORS Base Stations were cited as utilized in deriving at the point positions. Plat bearings were established using the State Plane Coordinate Grid. Plat distances are conventional horizontal distances. These distances must be multiplied by a combined scale factor of 0.999953985 to convert them to State Plane Distances.

BENCHMARK
TBM A Elevation: 694.46
Top of Concrete Monument at the property offset for the western most corner offset on the Ritner Highway.

SOURCE OF TOPOGRAPHIC DATA & PROPERTY LINE DATA
The topographic data shown on this plan is from aerial and mapping T3 Global Strategies, INC. per photography on April 11, 2002. Other topographic data (sewer / utilities / stormwater facilities) was located by field survey by Carl Bert in November 2018. All Property line data on this plan is from field surveys by Carl Bert & Associates in November, 2018 based on the plans and deeds referenced hereon.

FLOOD PLAIN
This entire property is entirely located in Zone X - Areas determined to be outside the 0.2% annual chance floodplain as delineated on the National Flood Insurance Program Flood Insurance Rate Map Number 42041C0334E effective March 16, 2009 and Map Number 42041C0355E effective March 16, 2009 for Shippensburg Township, Cumberland County by the Federal Emergency Management Agency

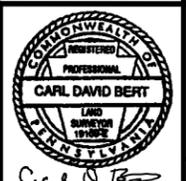
WETLANDS
An actual field delineation of wetlands was not performed as there is no indication of wetlands on this property based on the National Wetland Inventory Maps, NRCS SSURGO Soils Database for Cumberland County (this area is mapped with soils which have a 0 to 5% chance of hydric components), contours or field observations by Carl D. Bert, PLS. Shippensburg Township assumes no responsibility with regard to wetlands analyses and delineations.

REVISIONS

NO.	DATE	DESCRIPTION

PRELIMINARY/FINAL
PROPERTY DETAILS
SHEET 2 OF 13

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000



SHIPPENSBURG TWP CUMBERLAND CO
LAND DEVELOPMENT PLAN
FOR
ADRIAN G. MARTIN
RITNER HIGHWAY SHIPPENSBURG, PA

717-532-9470

CARL BERT & ASSOCIATES
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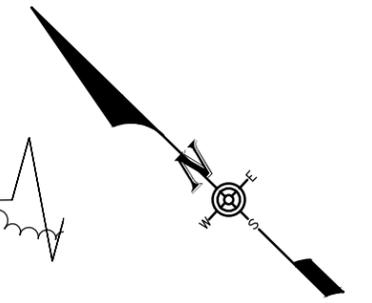
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e:\C:\jobs\Cst1808\Sur\CADD\current\plans\002 land development plan for adrian g martin\2 PROPERTY DETAILS.dwg - 2 PROPERTY DETAILS, 3/12/2020 3:06:31 PM, ANSI full bleed B (17,00 x 11,00 inches)

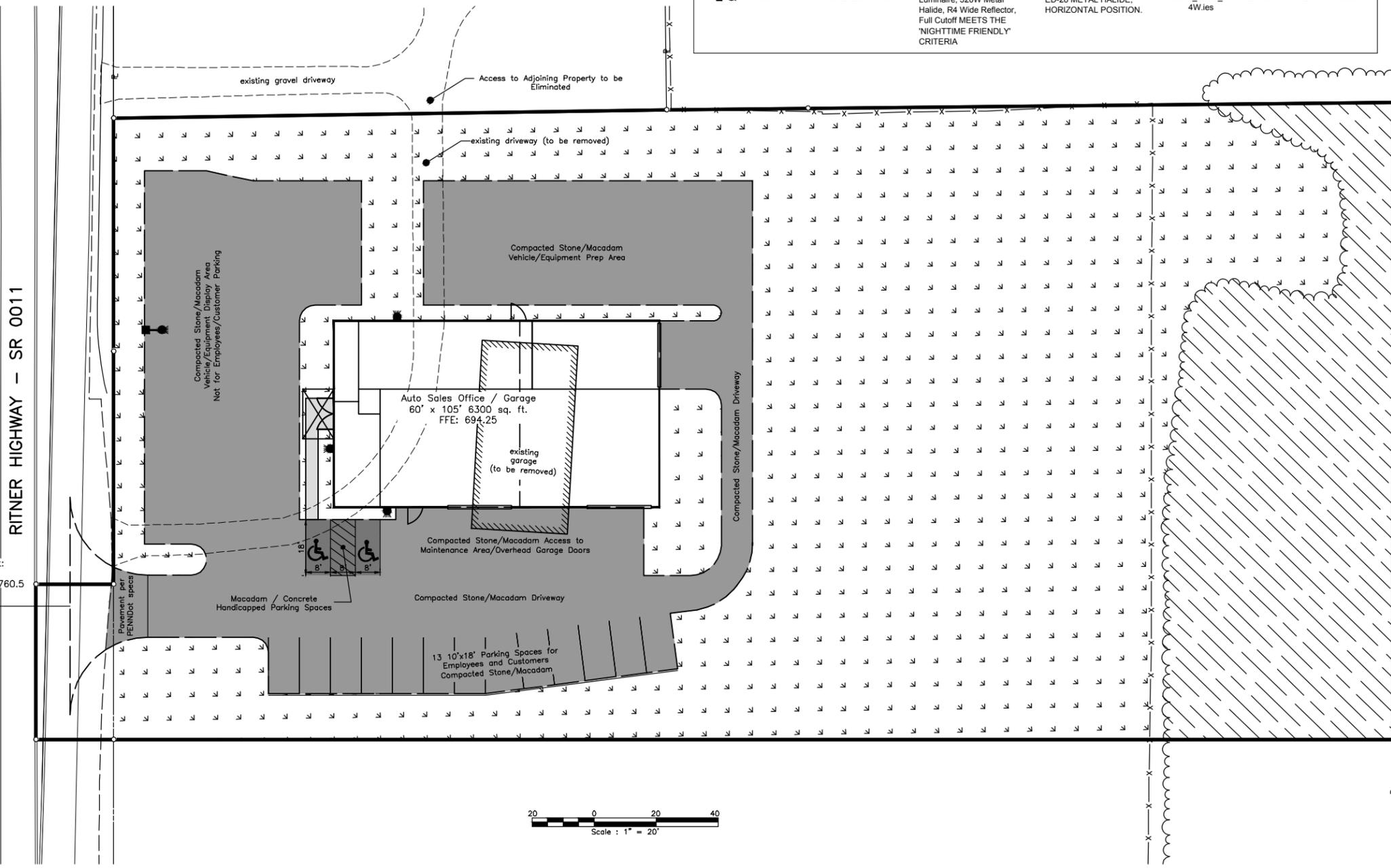
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	R4W	56	KSF2 320M R4W	Specification Area Luminaire, 320W Metal Halide, R4 Wide Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 320-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	KSF2_320M_R 4W.ies	29700	0.72	368
	R4S	48	KSF2 320M R4W	Specification Area Luminaire, 320W Metal Halide, R4 Wide Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 320-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	KSF2_320M_R 4W.ies	29700	0.72	368



25 FOOT SITE LIGHT
NO SCALE:



- LEGEND:**
- GRASS
 - WOODED AREA
 - PROPOSED DRIVEWAY / PARKING
 - PROPOSED SIDEWALK
 - PROPOSED HANDICAPPED PARKING



600'± (45 MPH)
559' to Conestoga Drive (55 MPH)
Segment: 0050
Offset: 760.5



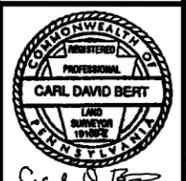
Use	Existing		Proposed	
	Square Feet	% of Total	Square Feet	% of Total
Buildings	1,771	2%	6,300	8%
Drives / Parking	2,018	2%	21,093	25%
Total Impervious	3,790	5%	27,393	33%
Lawns / Pervious	79,917	95%	56,313	67%
Total Area	83,707	100%	83,707	100%

Item	Required	Provided
Regular Spaces		13
Handicapped Spaces		2
Total	15	15

The amount of parking spaces required listed above is based on Shippensburg Township Zoning Ordinance 2008-04, as amended in Ordinance 2012-02, Section 304-II.A.2.5 which requires 15 parking spaces per 1 space per 400 sf of gross floor area (< 6,000 sf / 400 sf = 15 spaces)

REVISIONS		
NO.	DATE	DESCRIPTION

PRELIMINARY/FINAL
SURFACE / LIGHTING
SHEET 3 OF 13

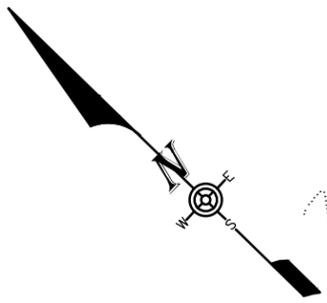


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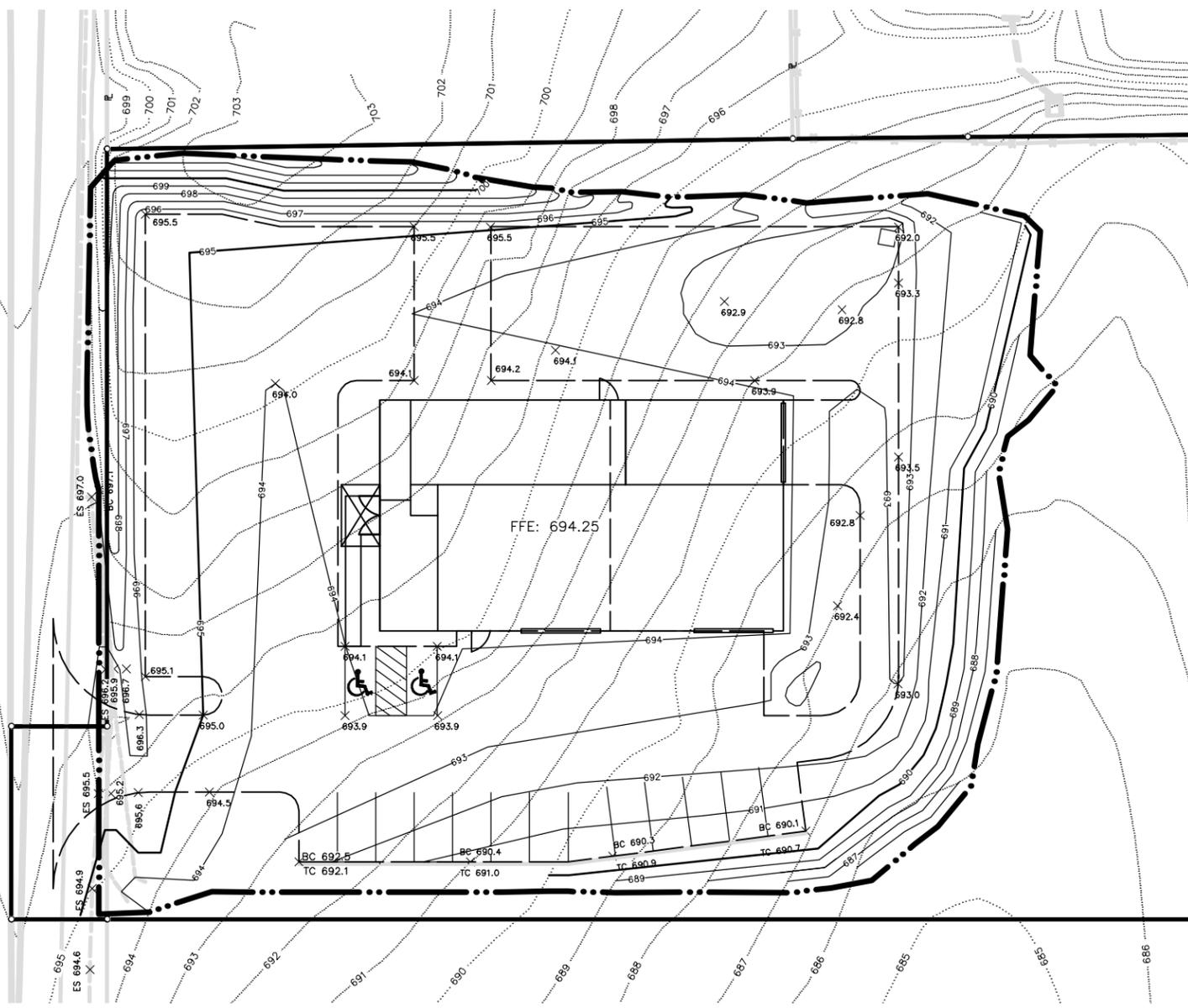
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RITNER HIGHWAY - SR 0011



- SYMBOLS**
- EIP Existing Iron Pin
 - ECM Existing Concrete Monument
 - Pt Point
 - p/o Part of
 - R/W Right-of-Way
 - DB Deed Book
 - PB Plan Book
 - IN Instrument Number
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 - Perc Test Location
 - Deep Probe Location
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 - Proposed Water Lateral
 - Existing Sanitary Lateral
 - Proposed Sanitary Sewer Lateral
 - Soils

- Existing contours per field survey
- Proposed contours as designed
- Proposed Stormwater Pipe
- Limits of Earth Disturbance
- Compost Filter Sock (FS)
- Proposed Inlet
- Spot Elevation

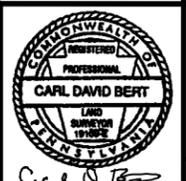
REVISIONS		
NO.	DATE	DESCRIPTION

GENERAL EROSION & SEDIMENT CRITERIA

1. The Project Area and Limit of Disturbance are less than one (1) acre so there are no PCSM / E&S plans or reports, or NPDES Permits required, nor is there any formal approval by the Cumberland County Conservation District. However, Carl D. Bert PLS is the Plan Preparer and licensed professional responsible for oversight of these plans.
2. The proper implementation and maintenance of the Erosion and Sedimentation Control Measures shown on these plans and the supporting documents shall be the sole responsibility of the owner / developer.
3. All earth disturbance, including clearing and grubbing as well as cuts and fills shall be done in accordance with the E&S information shown on this Land Development or supporting documents. A copy of these drawings must be available at the project site at all times. The Plan Preparer shall be notified of any changes in writing prior to implementation of those changes and may require a written submittal of those changes for review and approval at his discretion.
4. At least 7 days prior to starting any earth disturbance activities (including clearing and grubbing), the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, municipal engineer and Plan Preparer to an on-site preconstruction meeting.
5. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
6. All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the Plan Preparer prior to implementation.
7. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
8. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the Construction Sequence for that stage or phase has been installed and are functioning as described in this E&S plan.
9. Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finished grading of all exposed areas that are to be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2H:1V or flatter.
10. All excess fill material generated by construction must be stockpiled on this site. Filter Fabric Fence / Sock must be installed on the low side of all stockpiled materials.
11. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate BMPs to minimize the potential for erosion and sediment pollution and notify the Plan Preparer.
12. All building materials and wastes must be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code Chapter 260, §§260.1 et seq., 271.1, and 287.1 et. seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
13. Concrete wash water shall be handled in the manner described on the Concrete Washout detail on these plans. In no case shall it be allowed to enter any surface waters or groundwater systems.
14. All off-site waste and borrow areas must have an E&S Plan approved by the local conservation district or DEP fully implemented prior to being activated.
15. The contractor is responsible for ensuring that any material brought on site is Clean Fill.
16. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, over undisturbed vegetated areas.
17. All construction vehicles and equipment must enter the site via the existing driveway passing over the Rock Construction Entrance.
18. Until the site is stabilized, all E&S BMPs must be maintained properly. Maintenance must include inspections of all E&S BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, re-grading, re-seeding, re-mulching and re-matting must be performed immediately. If E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
19. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
20. Sediment tracked onto any public roadway shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
21. All sediment removed from BMPs during construction will be returned to upland areas on site and incorporated into the site grading.
22. Areas which are to be top-soiled shall be scarified to a minimum depth of 3 to 5 inches (6 to 12 inches on compacted soils) prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill out-slopes shall have a minimum of 2 inches of topsoil.
23. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or codes.
24. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
25. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
26. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
27. Fill shall not be placed on saturated or frozen surfaces.
28. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
29. All graded areas shall be permanently stabilized immediately upon reaching finished grade.
30. Immediately after earth disturbance activities cease in any area or sub-area of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. These areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
31. All exposed areas not seeded prior to September 15 or exposed after that date will be mulched until seeding can be performed in the spring.
32. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
33. Compost Filter Sock shall be placed on the low side of all exposed soils in a stabilized area.
34. E&S BMPs must remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or DEP.
35. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the Plan Preparer for an inspection prior to removal/conversion of the E&S BMPs.
36. After final site stabilization has been achieved, temporary E&S BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs must be stabilized immediately. In order to ensure rapid re-vegetation of disturbed areas, such removal/conversions should be done only during the germinating season.
37. Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Pennsylvania Department of Environmental Protection as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.

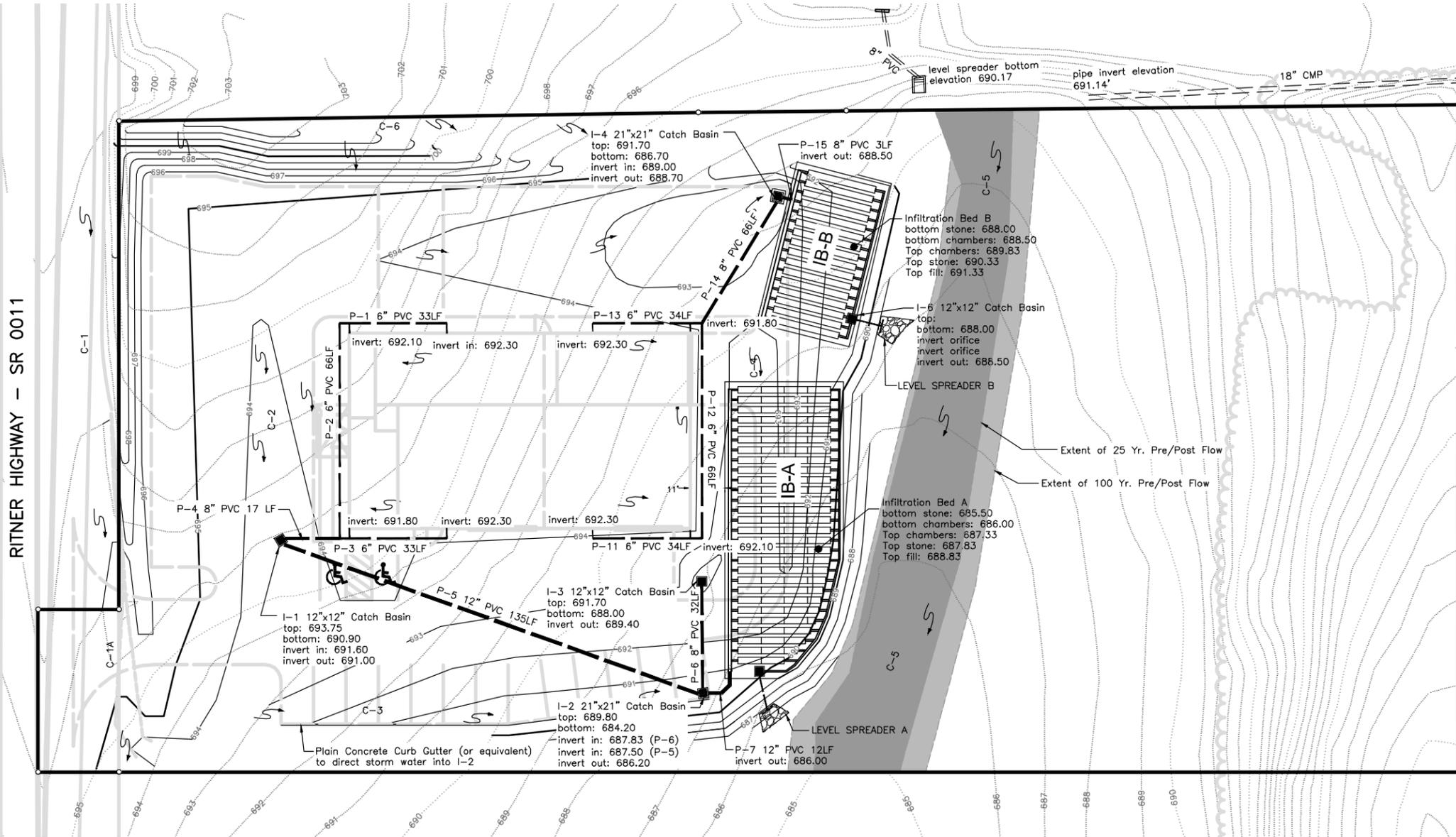
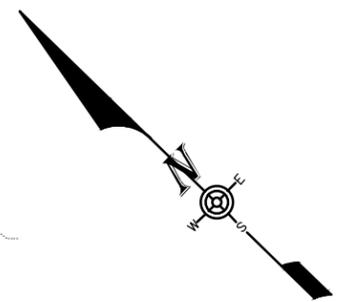
SHIPPENSBURG TWP CUMBERLAND CO
 LAND DEVELOPMENT PLAN
 FOR
ADRIAN G. MARTIN
 RITNER HIGHWAY SHIPPENSBURG, PA

PRELIMINARY/FINAL
 GRADING
 SHEET 4 OF 13
 I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000

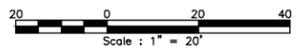


717-532-9470
CARL BERT & ASSOCIATES
 PROFESSIONAL LAND SURVEYORS
 20 EAST BURD STREET
 SHIPPENSBURG, PA 17257
 DATE: FEBRUARY 26, 2020 M.M.K PLAN: CBA NO. C-ST-18-08 / 002

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- SYMBOLS**
- EIP Existing Iron Pin
 - ECM Existing Concrete Monument
 - Pt Point
 - p/o Part of
 - R/W Right-of-Way
 - DB Deed Book
 - PB Plan Book
 - IN Instrument Number
 - PIN Parcel Identification Number
 - P Property Line
 - C Center Line
 - ▲ Perc Test Location
 - Deep Probe Location
 - Fence
 - Overhead Electric, Telephone, Television Lines
 - Overhead Electric Line
 - Overhead Telephone Line
 - Proposed Water Lateral
 - Existing Sanitary Sewer Lateral
 - Proposed Sanitary Sewer Lateral
 - Soils
- Existing contours per field survey
- Proposed contours as designed
- Proposed Stormwater Pipe
- Limits of Earth Disturbance
- Compost Filter Sock (FS)
- Proposed Inlet



APPLICATION OF SHIPPENSBURG TOWNSHIP STORMWATER MANAGEMENT ORDINANCE # 2011-03 TO THIS PROJECT
 This property on which the regulated activity is proposed was created by a Subdivision after the effective date this Ordinance and the existing improvements on this property were constructed **PRIOR** to the effective date of this Ordinance.

ALTERATION TO STORMWATER MANAGEMENT FACILITIES
 As owners / developers of this project, I, Adrian Martin, hereby acknowledge the stormwater management system to be a permanent fixture that can be altered or removed only after approval of a revised plan by the Shippensburg Township.

ACCESS EASEMENT TO STORMWATER MANAGEMENT FACILITIES
 Although the area is not specifically defined, Shippensburg Township, its agents and employees shall have the right to enter any areas of this property where stormwater management and erosion and sediment control facilities are located for the purpose of inspection of said facilities including pipes, channels, inlets, infiltration beds, etc. in the event of a malfunction.

- INSTALLATION & MAINTENANCE PROCEDURES - LONG TERM BMPs**
1. **General**
 - A. Inspect all stormwater management facilities after every precipitation event.
 - B. Make all necessary repairs immediately.
 - C. Any sediment removed from BMPs during construction will be returned to upland areas on site and incorporated into the site grading.
 2. **Infiltration Beds** - See plan
 3. **Stormwater Pipes** - See plan
 4. **Vegetated Stormwater Channels** - See plan
 5. **Erosion Control Blanket** - See plan

STORMWATER MANAGEMENT PLAN CERTIFICATION
 I hereby certify that, to the best of my knowledge, the Stormwater Management Facilities shown and described herein are designed in conformance with the Shippensburg Township Stormwater Management Ordinance # 2011-03.

February 26, 2020
 Carl D. Bert
 Carl D. Bert, PLS
 PA SU019109E

INSTALLATION, OWNERSHIP, AND MAINTENANCE RESPONSIBILITIES
 All permanent stormwater management facilities including subsurface infiltration beds, pipes and stormwater channels will be installed by the owner / developer. Since all facilities will be constructed on lands of the owner / developer and therefore outside of the public street right-of-ways, the facilities shall be installed, owned, and maintained by the owner / developer. The owner / developer shall be solely responsible for keeping all stormwater management facilities free of debris. These facilities are to be maintained at the grades and by the procedures shown on these plans.

All ownership, operations and maintenance provisions shall adhere to Article IV requirements in the Shippensburg Township Stormwater management Ordinance.

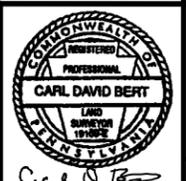
Note: A licensed professional or a designee will be present onsite and be responsible during the installation of the Infiltration Beds.

Adrian G. Martin _____ Date _____

REVISIONS		
NO.	DATE	DESCRIPTION

PRELIMINARY/FINAL
 STORM WATER
 SHEET 5 OF 13

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000



SHIPPENSBURG TWP CUMBERLAND CO
 LAND DEVELOPMENT PLAN
 FOR
ADRIAN G. MARTIN
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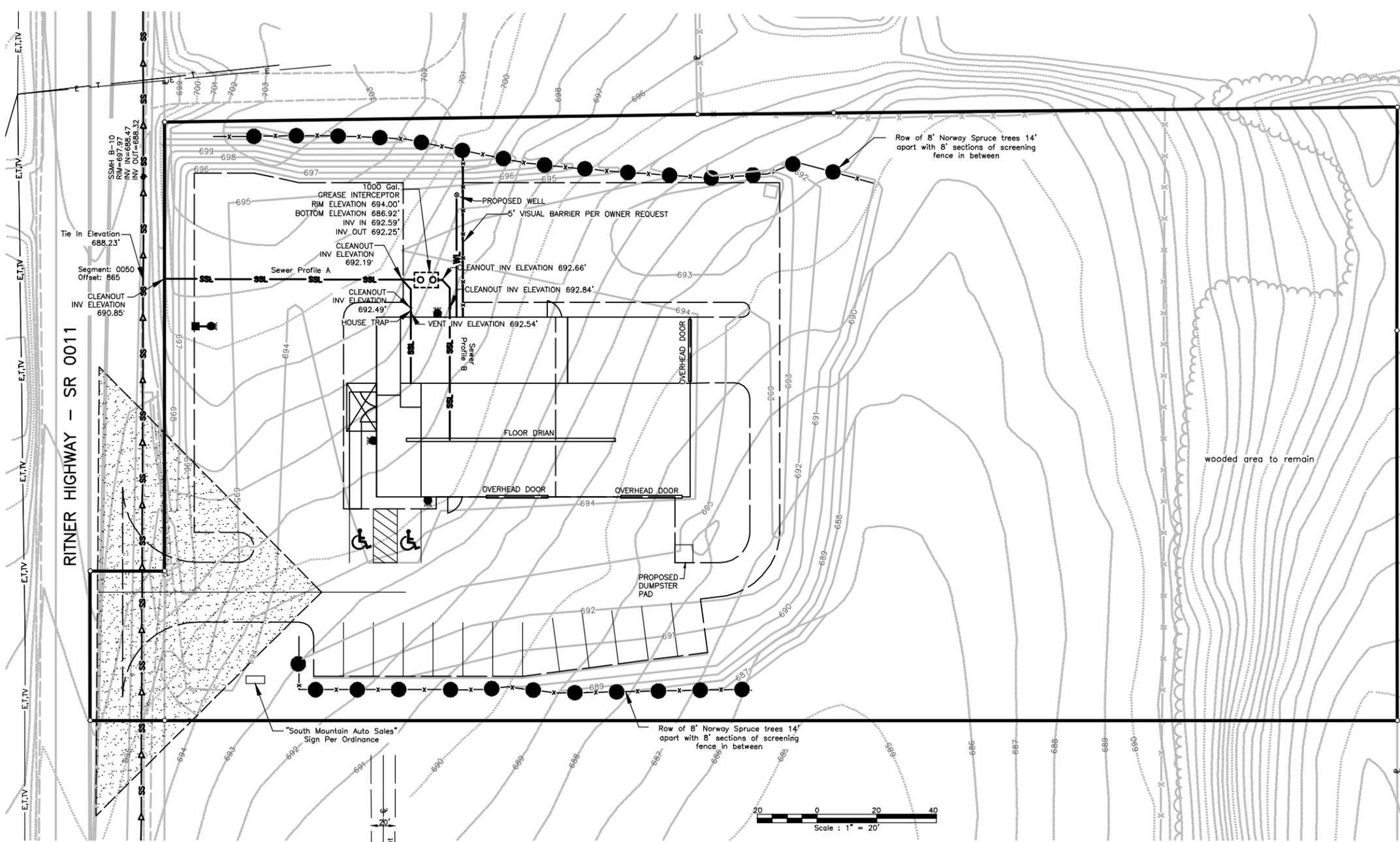
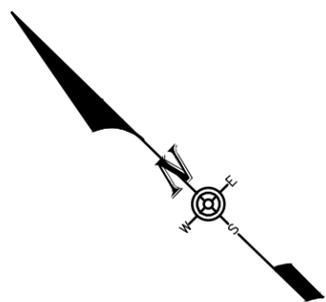
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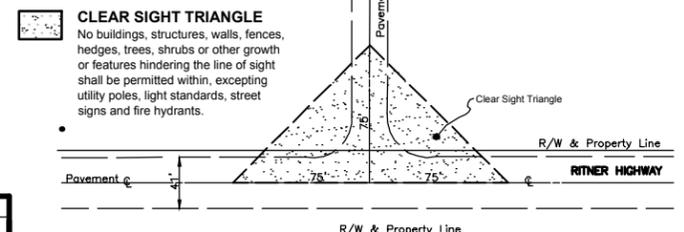
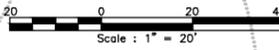
surveyors

DATE: FEBRUARY 26, 2020 M.M.K PLAN: CBA NO. C-ST-18-08 / 002

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 - Proposed Inlet
 - Existing Manhole



CLEAR SIGHT TRIANGLE FOR LOCAL STREET INTERSECTION
NO SCALE

RITNER HIGHWAY SR011
Ritner Highway (SR-011) is a PennDOT owned and maintained road with a 36 foot pavement width and an existing right-of-way of 25 feet from the centerline as shown on Subdivision Plan for Bernita N. Gilbert and Timothy M. & Kimberly A. Hughes Plan in IN 201131386.

PENNDOT HIGHWAY OCCUPANCY PERMIT
Any new driveway entrance, grading or utility installations onto or along the Ritner Highway (SR 0011) Right-of-Way will require a Highway Occupancy Permit from PennDOT pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law", before the driveway can be constructed. Access shall be only as authorized by the required Highway Occupancy Permit. There must be full and complete compliance with all applicable acts, statutes, laws, codes, ordinances, regulations, etc.

SIDEWALK ALONG RITNER HIGHWAY
Sidewalks are required along the Ritner Highway per Shippensburg Township Subdivision and Land Ordinance § Section 901.1) but this requirement has been eliminated since there is a significant bank on the eastern end of this as well as the adjoining properties that makes the grading / stormwater for such very difficult plus this is a PennDOT Highway with a posted speed limit of 55 mph which creates an unsafe condition for pedestrians walking immediately adjacent to the existing curb.

REVISIONS		
NO.	DATE	DESCRIPTION

SHIPPENSBURG TWP CUMBERLAND CO
LAND DEVELOPMENT PLAN
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ADRIAN G. MARTIN
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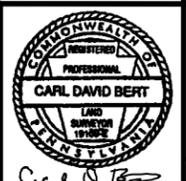
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PRELIMINARY/FINAL
UTILITIES AND LANDSCAPING
SHEET 7 OF 13

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN TO A MINIMUM ACCURACY OF 1/10,000



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