

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Middlesex</u>	Surveyor/ Engineer:	<u>Burget & Associates, Inc.</u>	Owner/ Developer:	<u>John & Karen Gleim</u>
Plat Title:	<u>John, Karen Gleim and James, Doreen Gleim</u>				
Plat Status:	<u>Final</u>	Plat Type:	<u>S Subdivision</u>		
# of New Lots:	<u>1</u>	# of New Dwelling Units:	<u>1</u>	New Acreage Subdivided/Developed:	<u>1.46</u>
				Total Tract Acreage:	<u>47.58</u>
Zoning District:	<u>RF</u>	Proposed Land Use:	<u>Residential</u>		
Date Received:	<u>3/25/2020</u>	County Review:	<u>4/13/2020</u>	Reviewed by:	<u>EG</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The Zoning Data table should reference requirements as described in 6.05. Township should verify Zoning Data provided for Residential Farm District. (Zoning 6.05)
2. The Zoning Data table should reference proposed information for all proposed lots, to include proposed lot coverages and maximum building heights. (Zoning 6.05 and SALDO 501.A.21)
3. The plan should address proposed water and sewer provisions for each lot. For Reconfigured Lot 1, DEP Sewage Facilities Planning Module requirements should be addressed if applicable for the proposed dwelling. (SALDO 712)
4. Does the existing Private Right of Way agreement need to be modified for Reconfigured Lot 1 to indicate the portion to be abandoned by this plan?
5. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

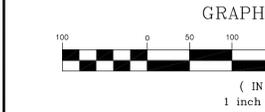
ZONING DATA
 DISTRICT: RF - Residential Farm District
 Maximum Building Height: 35 Ft.
 Minimum Lot Area/Dwelling Unit: 30,000 SQ.FT.
 Minimum Lot Width: at Building Setback: 100 Ft.
 Building Setbacks: Front: 35 Ft. Side: 15 Ft. per side (each lot) Rear: 35 Ft.
 Maximum Impervious Area 35%
 Maximum Lot Coverage 25%

PROPERTY LINE CURVE TABLE				PROPERTY LINE TABLE		
CURVE	RADIUS/ARC LENGTH	CH. BEARING	CH. LENGTH	LINE	BEARING	LENGTH
C1	60.00' / 136.61'	S76°12'33"E	108.96'	L1	S88°27'49"E	64.95'
C2	28.00' / 25.88'	S65°03'27"W	24.97'	L2	N82°32'11"E	272.74'
C3	1025.00' / 161.01'	N87°02'11"E	160.84'	L3	N52°57'11"E	206.86'
C4	385.00' / 198.79'	N67°44'42"E	196.59'	L4	N84°57'11"E	0.92'
C5	195.00' / 108.91'	S68°57'12"W	107.50'	L5	N84°57'11"E	30.00'
C6	28.00' / 43.96'	N50°04'11"W	39.58'			

N/E Carlisle Beagle Club Parcel 21-05-0431-002 Deed Book 16-7, Page 254 Plan Book 63, Page 140 (Lot 1)

N/E Freshwater Forested / Shrub Wetlands "Refer to Note 5 on Sheet 1"

N/E John W., Jr. & Karen S. Gleim Part of Tax Parcel 21-15-1258-024 Instrument No. - 200744627



SOILS LEGEND
 **BeB-Berks channery silt loam, 3-8% slopes
 **BeC-Berks channery silt loam, 8-15% slopes
 ***BpB-Blairston silt loam, 3-8% slopes
 ***BrB-Brinkerton silt loam, 3-8% slopes
 * Hydric Soil
 ** Prime Farmland

SUBDIVISIONS WITHIN 1,000 FEET
 Plan Book 42, Page 91 - Brandt - 10/27/1982
 Plan Book 58, Page 42 - Wert - 6/1/1989
 Plan Book 63, Page 140 - Carlisle Beagle Club - 1/21/1992
 Plan Book 66, Page 145 - Wert Farm - 10/28/1994
 Plan Book 70, Page 61 - Wert Farm - 7/3/1995
 Plan Book 81, Page 122 - Wert Farm - 8/23/2000
 Plan Book 75, Page 133 - Mentzer - 11/10/1997
 Plan Book 76, Page 63 - Gleim - 03/13/1998
 Plan Book 81, Page 122 - Wert Farm - 8/23/2000
 Plan Book 89, Page 135 - Wert - 11/4/2004
 Plan Book 2008922 - Gleim - 12/10/2008
 Plan Book 201027106 - Aumiller - 9/27/2010
 Plan Book 201404457 - Fought - 3/3/2014
 Plan Book 201520701 - Cumberland Range Estates - 8/14/15

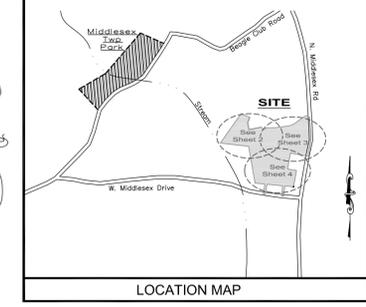
GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE AN EXISTING 38+ ACRE TRACT TO CREATE A NEW BUILDING LOT (RECONFIGURED LOT 1), A NEW BUILDING LOT WITH EXISTING IMPROVEMENTS (LOT 1A), AND A LOT ADDITION (LOT 1B) TO BE CONSOLIDATED WITH ADJOINING LANDS.
- ALL INFORMATION ON THIS PLAN IS A RESULT FROM AN ACTUAL FIELD SURVEY PERFORMED BY BURGET & ASSOCIATES, INC. IN 2020.
- THIS PLAN WAS CREATED WITHOUT THE BENEFIT OF A TITLE SEARCH.
- ACCORDING TO THE FEMA MAPS FOR MIDDLESEX TOWNSHIP, A PORTION OF THE SUBJECT PROPERTY FALLS WITHIN ZONE "X" (NO SHADING) AREAS OF MINIMAL FLOODING.
- AS DETERMINED BY THE NATIONAL WETLAND INVENTORY MAPPING, AN AREA OF FRESHWATER FORESTED / SHUB WETLANDS (PFOIA) EXIST ALONG THE WESTERN SIDE OF EXISTING LOT 1. REFER TO PLAN VIEW FOR LOCATION.
- ANY FUTURE DISTURBANCE (FILLING, DRAINING, OR EARTH MOVING ACTIVITIES) WITHIN KNOWN WETLANDS SHALL REQUIRE NECESSARY PERMITS & APPROVALS BE OBTAINED FROM THE APPROPRIATE FEDERAL, STATE, & LOCAL AGENCIES. NO ACTION BY THE TOWNSHIP SHALL BE RELIED UPON IN LIEU OF A PERMIT ISSUED BY THE APPROPRIATE AGENCY.
- ALL BEARINGS ON THIS PLAN ARE REFERENCED TO PA GRID NORTH (NAD-83).
- AT ALL STREET INTERSECTION IN ALL RESIDENTIAL DISTRICTS, NO OBSTRUCTIONS TO VISION EXCEEDING 30 INCHES IN HEIGHT ABOVE CURB LEVEL SHALL BE ERRECTED OR MAINTAINED ON ANY LOT WITHIN THE TRIANGLE FORMED BY THE STREET LINES OF SUCH LOT AND A LINE DRAWN BETWEEN POINTS ALONG SUCH STREET LINES 25 FEET DISTANT FROM THEIR POINT OF INTERSECTION.
- NO OTHER EASEMENTS, OTHER THAN WHAT IS SHOWN ON THIS PLAN, EXIST OR ARE BEING PROPOSED BY THIS PLAN.
- CLEAR SIGHT TRIANGLES ARE MEASURED ALONG THE CENTERLINE LINE OF THE EXISTING ROADS. 75 FEET IN EACH DIRECTION OF THE STREET INTERSECTION.
- NO OTHER DEED RESTRICTIONS, OTHER THAN WHAT IS SHOWN ON THIS PLAN, EXIST OR ARE BEING PROPOSED BY THIS SUBDIVISION PLAN.
- PROPOSED LOT 1B IS PROPOSED AS A LOT ADDITION ONLY AND SHALL NOT BE SOLD NOR CONVEYED AS A STAND-ALONE BUILDING LOT.
- DEEDS OF CONSOLIDATION SHALL BE CREATED/RECORDED COMBINING ANY CONSOLIDATION OF LANDS TO THE ADJACENT TRACTS AS PER THIS SUBDIVISION, IMMEDIATELY FOLLOWING THE APPROVAL/RECORDING OF THIS PLAN.
- THE SITE CONTAINS SOME CLASS I, II, OR III SOILS, (I.E. BeB, II, BeC, III, BpB, III). THE OWNER(S) OF LANDS AS SHOWN ON THIS PLAN SHALL COMPLY WITH ALL TOWNSHIP REGULATIONS IN EFFECT AT THE TIME OF FILING OF THIS FINAL PLAN.
- ALL KNOWN EASEMENTS HAVE BEEN SHOWN ON THESE PLANS.
- THE OWNERS OF THESE LOTS, UPON NOTIFICATION BY MIDDLESEX TOWNSHIP, SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF CONCRETE CURBS TO TOWNSHIP SPECIFICATION WITHIN SIX (6) MONTHS OF THE DATE OF SUCH NOTIFICATION.
- THE OWNERS OF THESE LOTS, UPON NOTIFICATION BY MIDDLESEX TOWNSHIP, SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS TO TOWNSHIP SPECIFICATION WITHIN SIX (6) MONTHS OF THE DATE OF SUCH NOTIFICATION.
- APPLICANT SHALL PROVIDE ASBUILT PLANS UPON CONSTRUCTION COMPLETION IF BONDING OR SECURITY IS PROVIDED TO BE REQUIRED BY THE MUNICIPALITY.
- A TOWNSHIP DRIVEWAY PERMIT SHALL BE REQUIRED PRIOR TO ANY NEW DRIVEWAY CONNECTION ONTO A TOWNSHIP ROADWAY.
- PRIOR TO ANY EARTH MOVING ACTIVITIES, THE EXCAVATOR SHALL PLACE A PA ONE CALL FOR THE EXCAVATION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS. SEE LIST OF UTILITY PROVIDERS WITHIN THIS AREA (THIS PAGE).

STATEMENT OF ACCURACY
 I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Middlesex Township Subdivision and Land Development Ordinance. The error of closure is no greater than one foot (1') in ten thousand feet (10,000'). I also hereby certify to the Board of Supervisors of Middlesex Township that to the best of my knowledge, based on recent actual observation of the site, the survey and plan shown and described hereon are true and correct to the accuracy required by the Middlesex Township Subdivision and Land Development Ordinance and in accordance with the laws of the Commonwealth of Pennsylvania.
 _____, 20__ Professional Surveyor
 Joe Allen Burget, Jr. P.L.S.

"AOR's / WAIVERS" REQUESTED

AOR APPROVED ON SUBDIVISION PLAN.	DATE APPROVED
1. Section 709.a Sidewalks	_____
2. Section 501.A.25b Wetland Delineation	_____
3. Section 503.A.4 Wetland Delineation	_____
4. Section 602.D Landscape plan and Trees	_____
5. Section 719 Landscape plan and Trees	_____
6. Section 710.a Curbing	_____



N05°02'49"W 188.75'
 33' Wide Legal Right of Way
 22' Wide Macadam Roadway
 N05°02'49"W 180.44'
 N04°14'33"W 29.28'
 Curve Data
 Radius = 1025.51'
 Arc Length = 222.02'
 Chord Bearing = S03°17'22"W
 Chord Length = 221.59'

SHEET INDEX
 SHEET 1: COVER / EXISTING CONDITIONS PLAN
 SHEETS 2 THRU 4: PROPOSED SUBDIVISION PLAN
 SHEET 5: STORMWATER MANAGEMENT / E&S CONTROL PLAN
 SHEET 6: SWM / ESC DETAILS & NOTES

STATEMENT OF OWNERSHIP
 COMMONWEALTH OF PENNSYLVANIA, COUNTY OF CUMBERLAND
 On this, the ____ day of _____, 20__, before me the undersigned personally appeared

 John W. Gleim, Jr. Karen S. Gleim
 who, being duly sworn according to law, depose and say that they are the owners of the property shown on this plan and that they acknowledge the same to be their act and deed, and desire the same to be recorded as such according to law.
 My Commission Expires _____, 20__.

STATEMENT OF OWNERSHIP
 COMMONWEALTH OF PENNSYLVANIA, COUNTY OF CUMBERLAND
 On this, the ____ day of _____, 20__, before me the undersigned personally appeared

 James W. Gleim Doreen G. Gleim
 who, being duly sworn according to law, depose and say that they are the owners of the property shown on this plan and that they acknowledge the same to be their act and deed, and desire the same to be recorded as such according to law.
 My Commission Expires _____, 20__.

DEDICATION STATEMENT
 It is hereby certified that the undersigned are the legal, equitable owner(s) of the property shown on this plan and that all streets or parts thereof are rights-of-way, if not previously dedicated, are hereby tendered for dedication.
 Owner(s) Signature _____ John W. Gleim, Jr. _____ Karen S. Gleim
 It is hereby certified that the undersigned are the legal, equitable owner(s) of the property shown on this plan and that all streets or parts thereof are rights-of-way, if not previously dedicated, are hereby tendered for dedication.
 Owner(s) Signature _____ James W. Gleim _____ Doreen G. Gleim
 My Commission Expires _____, 20__.

REVISIONS	SOURCE OF TITLE	SHEET NUMBER
	Instrument 201118739 (Tract 1) Instrument 201118739 (Tract 2) Deed Book 166, Page 981	1 OF 6
TAX MAP NUMBER		
Tax Parcel 21-15-1258-024A Tax Parcel 21-15-128-037		
BURGET & ASSOCIATES, INC. Professional Land Surveyors		
<ul style="list-style-type: none"> • CAD/DTI Training and Support • ALTA Surveys • Topographical Surveys • Property Surveys • FEMA Elevation Certificates • GIS Mapping and Control Surveys • Major and Minor Subdivisions 		
Web Site: www.burgetassociatesinc.com 1797 N.B. Road New Bloomfield Pennsylvania 17068 Phone: 717-682-7011 Fax: 717-682-3557 Joe Allen Burget, Jr. P.L.S.		

RECORDER OF DEEDS CERTIFICATE

PLAN REVIEW AND APPROVAL CERTIFICATES
 THIS PLAN RECOMMENDED FOR APPROVAL BY THE MIDDLESEX TOWNSHIP PLANNING COMMISSION THIS ____ DAY OF _____, 20__.
 MIDDLESEX TOWNSHIP PLANNING COMMISSION
 CHAIRMAN _____
 SECRETARY _____

THIS PLAN APPROVED OR CONDITIONALLY APPROVED THIS ____ DAY OF _____, 20__ BY THE MIDDLESEX TOWNSHIP BOARD OF SUPERVISORS. ALL CONDITIONS, IF IMPOSED WITH RESPECT TO SUCH APPROVAL, HAVE BEEN MET ON WITHIN ____ DAY OF _____, 20__.
 MIDDLESEX TOWNSHIP BOARD OF SUPERVISORS
 CHAIRMAN, BOARD OF SUPERVISORS _____
 SECRETARY _____

Reviewed this ____ day of _____, 20__, by the Middlesex Township Engineer
 MIDDLESEX TOWNSHIP MUNICIPAL ENGINEER _____
 Municipal Engineer
 Reviewed this ____ day of _____, 20__, by the Cumberland Co. Planning Dept.
 CUMBERLAND COUNTY PLANNING DEPARTMENT _____
 Director of Planning

SITE DATA

Existing Lot Information	Final Lot Information (After Lot Consolidation)
Lot 1 224 N. Middlesex Rd Tax Parcel: 21-15-1258-024A Instru: 201118739 Gross Surveyed Area: 45,578 Ac.	Reconfigured Lot 1 Remainder of 224 N. Middlesex Rd Remainder of Tax Parcel: 21-15-1258-024A Gross Surveyed Area: 35,402 Ac.
Lot 2 214 N. Middlesex Rd Tax Parcel: 21-15-1258-037 Deed Book: 156, Page 981 Gross Surveyed Area: 2,002 Ac.	Reconfigured Lot 2 214 N. Middlesex Rd Part of Tax Parcel: 21-15-1258-037 Gross Surveyed Area: 3,462 Ac.
Lot 1A (Building Lot) Part of 224 N. Middlesex Rd Part of Tax Parcel: 21-15-1258-024A Gross Surveyed Area: 8,716 Ac.	
Proposed Lot Information Lot 1B "Lot Addition" Gross Area: 1,460 Ac.	

UTILITY PROVIDERS - PA ONE CALL SER. # 20200830916
 Middlesex Township Municipal Authority
 Attn: Rory Morrison
 email: authpaonecall@middlesextp.com
 Middlesex Township Cumberland County
 Attn: Zachary Zook
 email: zook@middlesextp.com
 PP&L Electric Utilities Corporation
 Attn: Mark Santayana
 email: msantayana@plweb.com
 Comcast Cable Communication Inc
 Attn: USIC Office Personnel
 CenturyLink
 Attn: Trent Rotz
 email: trent.m.rotz@centurylink.com
 UGI UTL Lancaster
 Attn: Stephen Bateman
 email: sbateman@ugl.com

LAND OWNERS / DEVELOPERS
 Owners: John W., Jr. & Karen S. Gleim 224 North Middlesex Road Carlisle, PA 17013 Phone: 717-554-3558 email: jwgleim@jwgleim.com
 Owners: James W., Jr. & Doreen G. Gleim 214 North Middlesex Road Carlisle, PA 17013

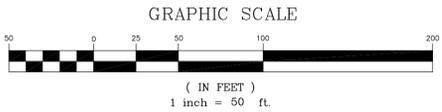
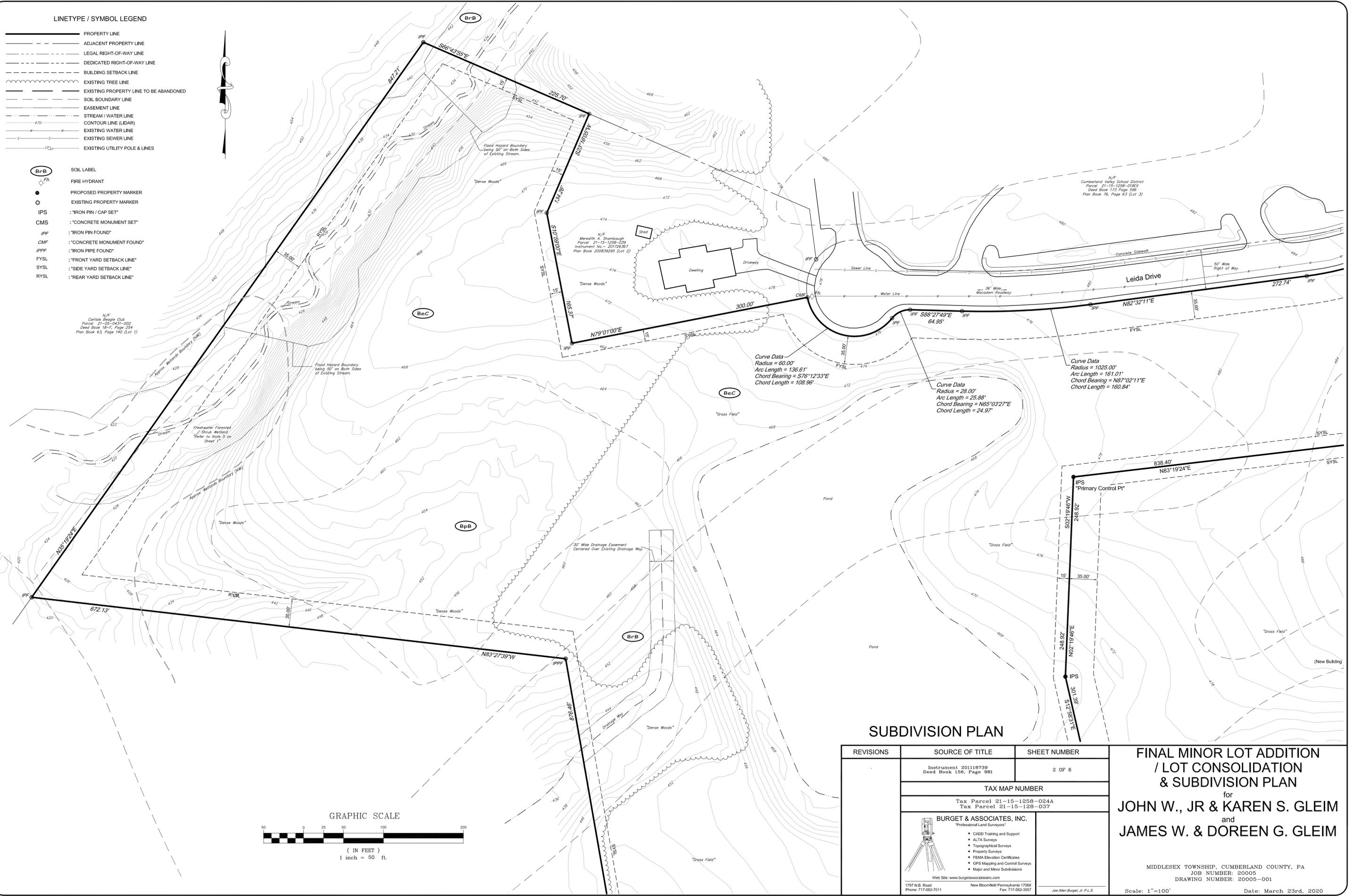
FINAL MINOR LOT ADDITION / LOT CONSOLIDATION & SUBDIVISION PLAN
 for
JOHN W., JR & KAREN S. GLEIM
 and
JAMES W. & DOREEN G. GLEIM
 MIDDLESEX TOWNSHIP, CUMBERLAND COUNTY, PA
 JOB NUMBER: 20005
 DRAWING NUMBER: 20005-001
 Scale: 1"=100' Date: March 23rd, 2020

LINETYPE / SYMBOL LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - LEGAL RIGHT-OF-WAY LINE
- - - DEDICATED RIGHT-OF-WAY LINE
- - - BUILDING SETBACK LINE
- ~ ~ ~ EXISTING TREE LINE
- - - EXISTING PROPERTY LINE TO BE ABANDONED
- - - SOIL BOUNDARY LINE
- - - EASEMENT LINE
- - - STREAM / WATER LINE
- - - CONTOUR LINE (LIDAR)
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- - - EXISTING UTILITY POLE & LINES

- BrB SOIL LABEL
- FR FIRE HYDRANT
- PROPOSED PROPERTY MARKER
- EXISTING PROPERTY MARKER
- IPS : "IRON PIN / CAP SET"
- CMS : "CONCRETE MONUMENT SET"
- IPF : "IRON PIN FOUND"
- CMF : "CONCRETE MONUMENT FOUND"
- IPPF : "IRON PIPE FOUND"
- FYSL : "FRONT YARD SETBACK LINE"
- SYSL : "SIDE YARD SETBACK LINE"
- RYSL : "REAR YARD SETBACK LINE"

N/F
Carle Place
Parcel 21-05-0431-002
Deed Book 18-C, Page 254
Plan Book 63, Page 140 (Lot 1)



SUBDIVISION PLAN

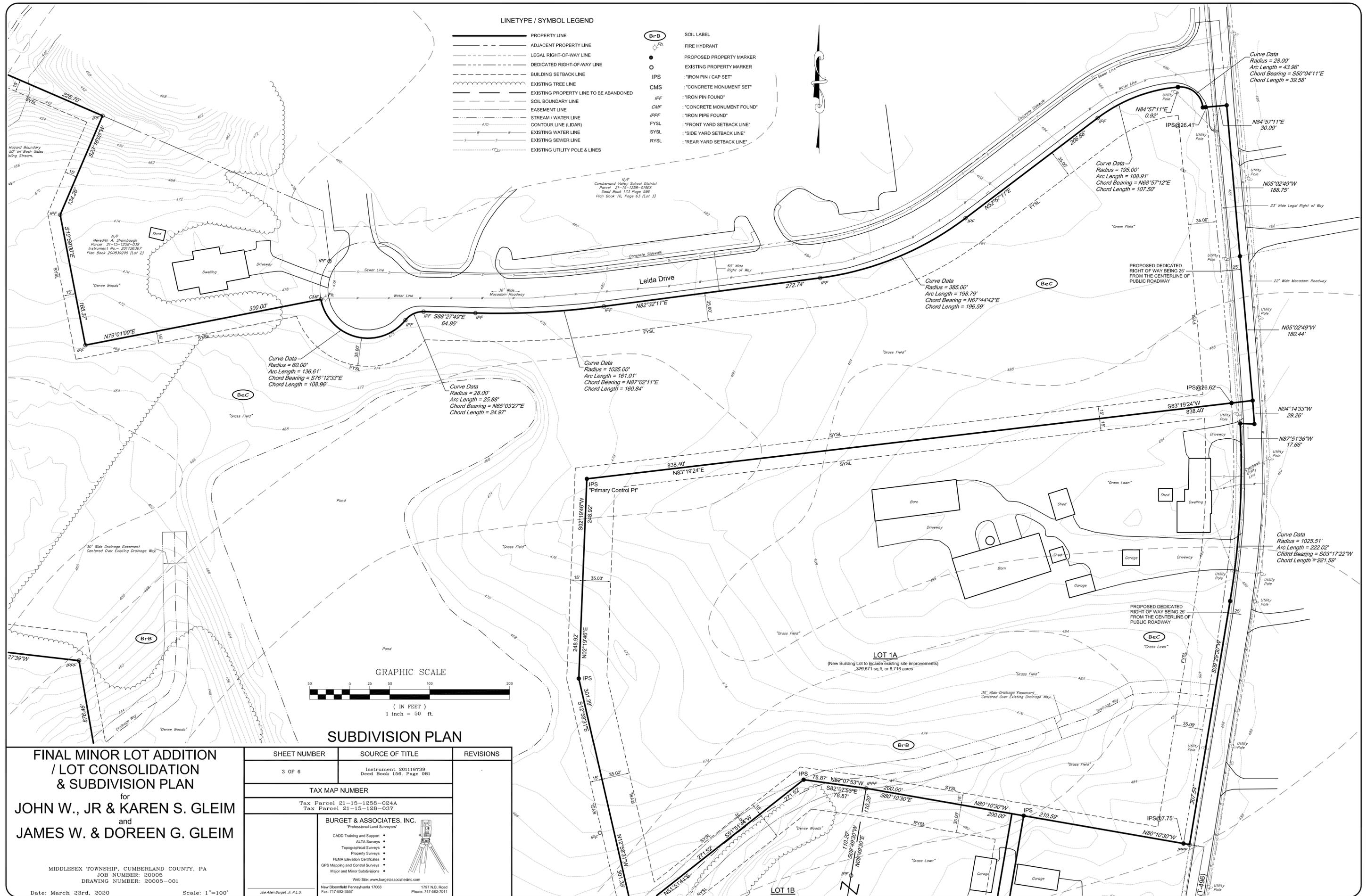
REVISIONS	SOURCE OF TITLE	SHEET NUMBER
	Instrument 20118739 Deed Book 156, Page 981	2 OF 6
TAX MAP NUMBER		
Tax Parcel 21-15-1258-024A Tax Parcel 21-15-128-037		
<p>BURGET & ASSOCIATES, INC. Professional Land Surveyors</p> <ul style="list-style-type: none"> • CADD Training and Support • ALTA Surveys • Topographical Surveys • Property Surveys • FEMA Elevation Certificates • GPS Mapping and Control Surveys • Major and Minor Subdivisions <p>Web Site: www.burgetassociatesinc.com 1787 N.B. Road Phone: 717-682-7011</p> <p>New Bloomfield Pennsylvania 17068 Fax: 717-682-3557</p> <p>Joe Allen Burget, Jr. P.L.S.</p>		

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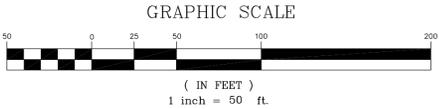
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 - - - EXISTING UTILITY POLE & LINES
- BrB SOIL LABEL
 - Fire Hydrant
 - Proposed Property Marker
 - Existing Property Marker
 - IPS "IRON PIN / CAP SET"
 - CMS "CONCRETE MONUMENT SET"
 - IPF "IRON PIN FOUND"
 - CMF "CONCRETE MONUMENT FOUND"
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 - FYSL "FRONT YARD SETBACK LINE"
 - SYSL "SIDE YARD SETBACK LINE"
 - RYSL "REAR YARD SETBACK LINE"



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SUBDIVISION PLAN

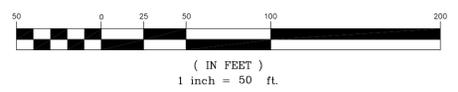
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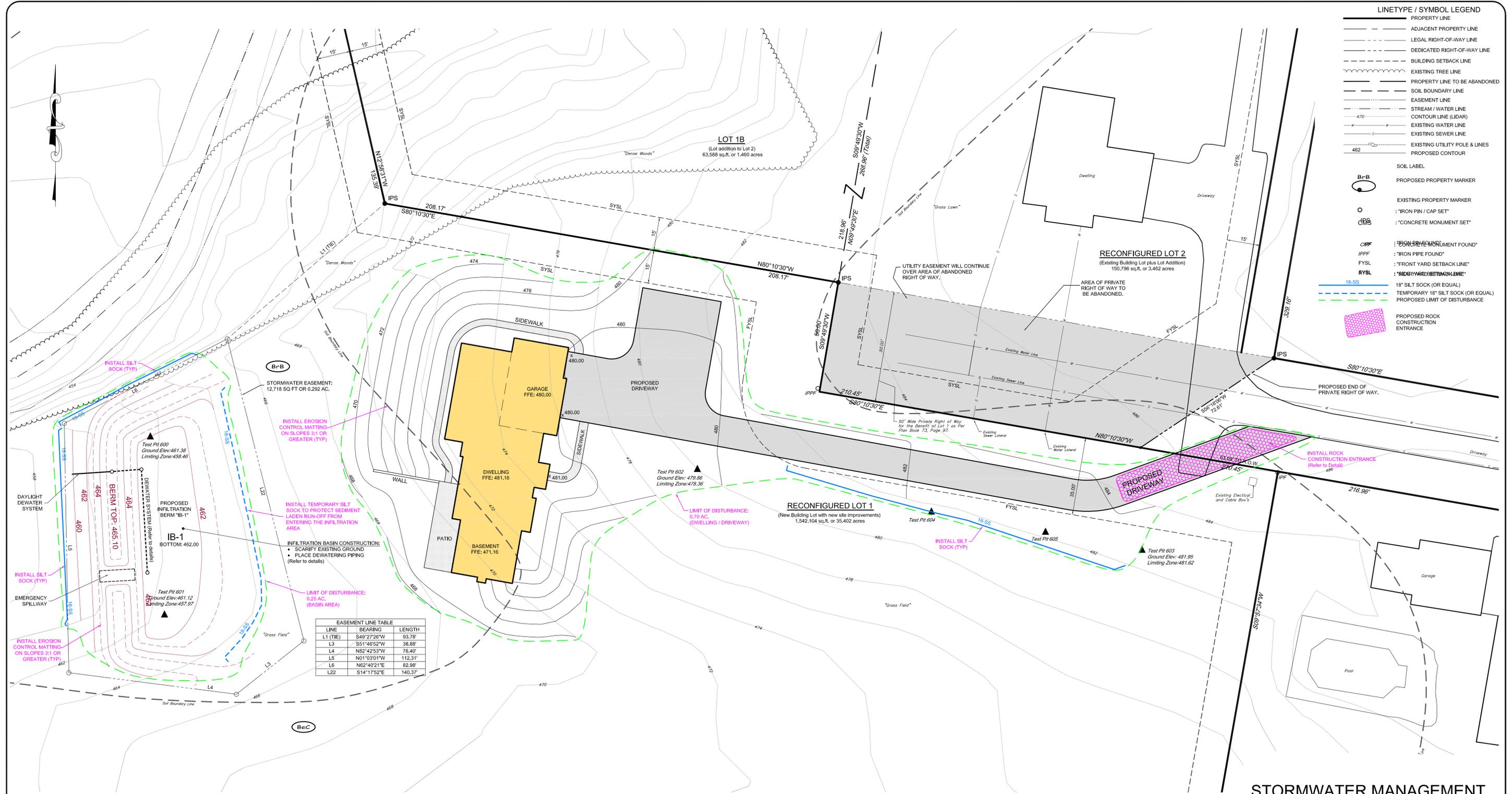
GRAPHIC SCALE



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 - IPPF "IRON PIPE FOUND"
 - FYSL "FRONT YARD SETBACK LINE"
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 - 18-SS 18" SILT SOCK (OR EQUAL)
 - 18-SS TEMPORARY 18" SILT SOCK (OR EQUAL)
 - PROPOSED LIMIT OF DISTURBANCE
 - PROPOSED ROCK CONSTRUCTION ENTRANCE



EASEMENT LINE TABLE

LINE	BEARING	LENGTH
L1 (TIE)	S49°27'25"W	93.78'
L3	S51°46'52"W	38.88'
L4	N82°42'53"W	76.40'
L5	N01°03'01"W	112.31'
L6	N62°40'21"E	82.98'
L22	S14°17'52"E	140.37'

STORMWATER MANAGEMENT / E&S CONTROL PLAN

FINAL MINOR LOT ADDITION / LOT CONSOLIDATION & SUBDIVISION PLAN
for
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and
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TAX MAP NUMBER		
Tax Parcel 21-15-1258-024A Tax Parcel 21-15-128-037		
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