

**Cumberland County Subdivision and Land Development Review Report**

Municipality:	<u>Silver Spring</u>	Surveyor/ Engineer:	<u>Integrated Development Partners</u>	Owner/ Developer:	<u>Shreekaya LLC</u>
Plat Title:	<u>Tulips at 38 Woods Drive</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Subdivision &amp; Land Development</u>		
# of New Lots:	<u>20</u>	# of New Dwelling Units:	<u>20</u>	New Acreage Subdivided/Developed:	<u>14.66</u>
				Total Tract Acreage:	<u>14.66</u>
Zoning District:	<u>R-1</u>	Proposed Land Use:	<u>Residential</u>		
Date Received:	<u>4/9/2020</u>	County Review:	<u>4/20/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

*Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.*

1. The adjoining property owner information should include a reference to recorded deeds and plans (SLDO 402.03.2.F).
2. The General Notes on the Cover Sheet should address the Pennsylvania DEP Sewage Planning requirements (SLDO 402.05.2).
3. Sheet 10 indicates that a 75' Clear Sight Triangle has been provided. A 100' Clear sight triangle should be shown (SLDO 602.12.6).
4. A Clear Sight triangle should be provided at each driveway on the Landscape Plan (SLDO 602.17.4).
5. The Cover Sheet should address a dedication of recreation land or a fee in lieu of dedication (SLDO 615).
6. The Cover Sheet should indicate that a portion of the site is located in the Floodplain Zone. All applicable requirements should be addressed (Zoning 231).
7. The plan should indicate the location of the required Common Greens (Zoning 232.4.4 & SLDO 618.03.2.F).
8. A minimum of 20% of the greenway land should be owned and managed by a community association, conservation organization or the township (Zoning 232.4.5).
9. The plan should show the proposed impervious coverage for each lot (Zoning Table 232 F). It is recommended that the proposed layouts do not maximize the impervious surface area. This will allow the individual property owner flexibility to add accessory buildings, porches, etc. in the future.

10. The Conservation Easement used to protect the Greenway Land should be reviewed by the municipal solicitor prior to approval (Zoning 232.9).
11. The General Notes should address the ownership and maintenance of the Greenway Land (Zoning 232.10).
12. The Landscape Plan indicates that the street trees will be Acer Rebrum-Red Oak. It appears that this should indicate Red Maple (Zoning 345.1).
13. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



PROFESSIONAL SEAL

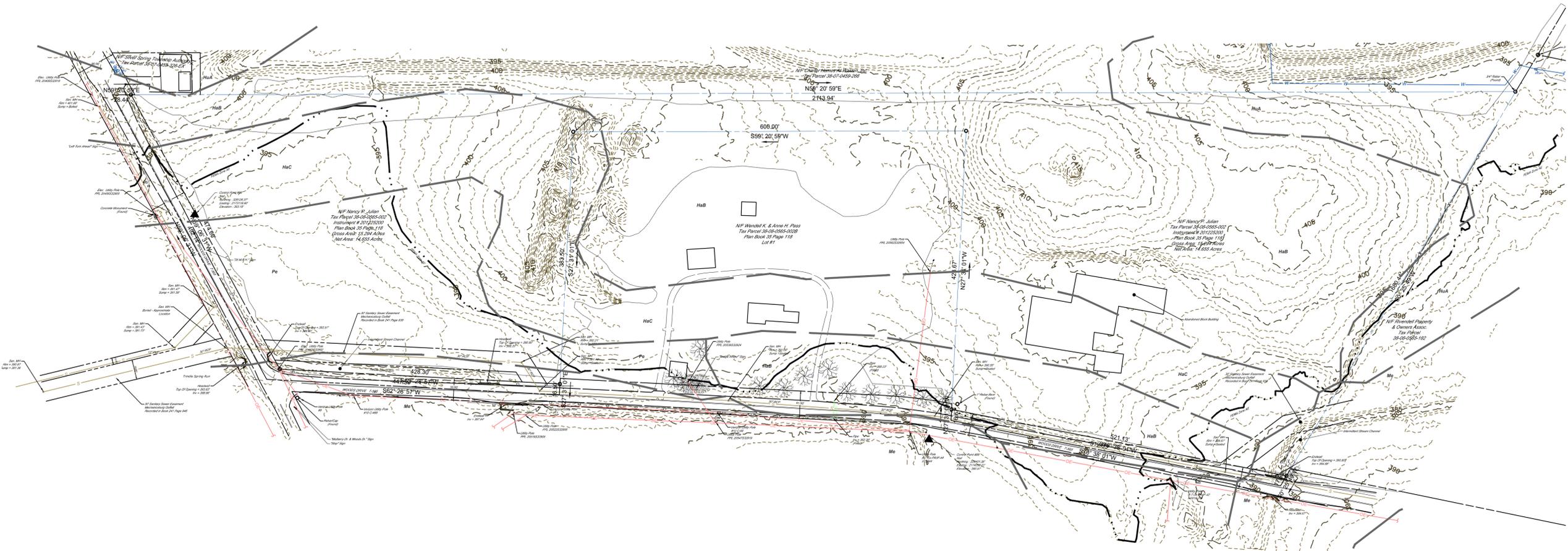
DRAWN	GSD
REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	02 - EXISTING CONDITIONS

REVISIONS	NO.	DATE	DESCRIPTION

TITLE  
**OVERALL  
EXISTING  
CONDITIONS**

SHEET NO.

02 of 27



**SURVEY NOTES**

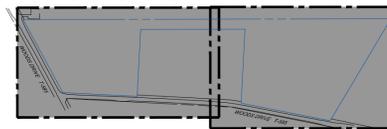
1. THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY TERRAVIZ GEOSPATIAL COMPLETED IN JANUARY 2020.
3. PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND AND CURRENT DEEDS OF RECORD.
4. CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
5. BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
6. UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 20200082428 WAS ASSIGNED ON JANUARY 08, 2020.
7. THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR TOWNSHIP OF SILVER SPRING, PANEL NO. 42041C0257E, EFFECTIVE DATE MARCH 16, 2009.
8. THE WETLAND REPORT WAS PERFORMED BY VORTEX ENVIRONMENTAL, INC. ON JANUARY 23, 2020.

**LEGEND**

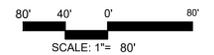
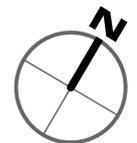
EXISTING CONDIT	
	EXISTING PROPERTY LINE
	ADJOINING PROPERTY LINE
	EXISTING PROPERTY SETBACK LINE
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING TREELINE
	EXISTING RAILROAD TRACKS
	EXISTING FENCE
	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STORM DRAIN
	EXISTING GAS LINE
	EXISTING SANITARY SEWER
	EXISTING ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING WATER LINE
	EXISTING WATER STRUCTURE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING IRON PIN
	EXISTING RAILROAD SPIKE
	SIGN
	UTILITY POLE
	LIGHT POLE
	SOIL TYPE BOUNDARY LINE
	SOIL TYPE
	100 YEAR FLOODPLAIN

**SOILS INFORMATION**

- HaB** Hagerstown Silt Loam  
3 TO 8 PERCENT SLOPES
- HaC** Hagerstown Silt Loam  
8 TO 15 PERCENT SLOPES
- HuA** Huntington Silt Loam  
0 TO 5 PERCENT SLOPES
- Me** Melvin Silt Loam
- Pe** Penwin Silt Loam



**KEY MAP**  
SCALE: NONE









PROFESSIONAL SEAL

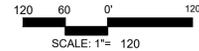
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REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	02.50- EXISTING RESOURCES

**SOILS INFORMATION**

- HaB**  
Hagerstown Silt Loam  
3 TO 8 PERCENT SLOPES  
Class 2e Agricultural Soil  
Hydric Soil: No  
Hydrologic Soil Group: B
- HaC**  
Hagerstown Silt Loam  
8 TO 15 PERCENT SLOPES  
Hydric Soil: No  
Hydrologic Soil Group: B
- HcC**  
Hagerstown silt loam, rocky,  
8 TO 15 PERCENT SLOPES  
Hydric Soil: No  
Hydrologic Soil Group: B
- HuA**  
Huntington Silt Loam  
0 TO 5 PERCENT SLOPES  
Class 1 Agricultural Soil  
Hydric Soil: No  
Hydrologic Soil Group: B
- Me**  
Mehar Silt Loam  
0 TO 2 PERCENT SLOPES  
Hydric Soil Rating: Yes  
Hydrologic Soil Group: BD
- Pe**  
Perris Silt Loam  
0 TO 3 PERCENT  
Hydric Soil Rating: Yes  
Hydrologic Soil Group: CD

**LEGEND**

- EXISTING CONDITIONS PLAN
- EXISTING PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - EXISTING PROPERTY SETBACK LINE
  - EXISTING EASEMENT
  - EXISTING RIGHT-OF-WAY
  - EXISTING CENTERLINE
  - EXISTING TREELINE
  - EXISTING RAILROAD TRACKS
  - EXISTING FENCE
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  - EXISTING STORM DRAIN MANHOLE
  - EXISTING IRON PIN
  - EXISTING RAILROAD SPIKE
  - SIGN
  - UTILITY POLE
  - LIGHT POLE
  - SOIL TYPE BOUNDARY LINE
  - SOIL TYPE
  - 100 YEAR FLOODPLAIN



REVISIONS

NO.	DATE	DESCRIPTION

TITLE  
**EXISTING RESOURCES & SITE ANALYSIS PLAN**

PROFESSIONAL SEAL

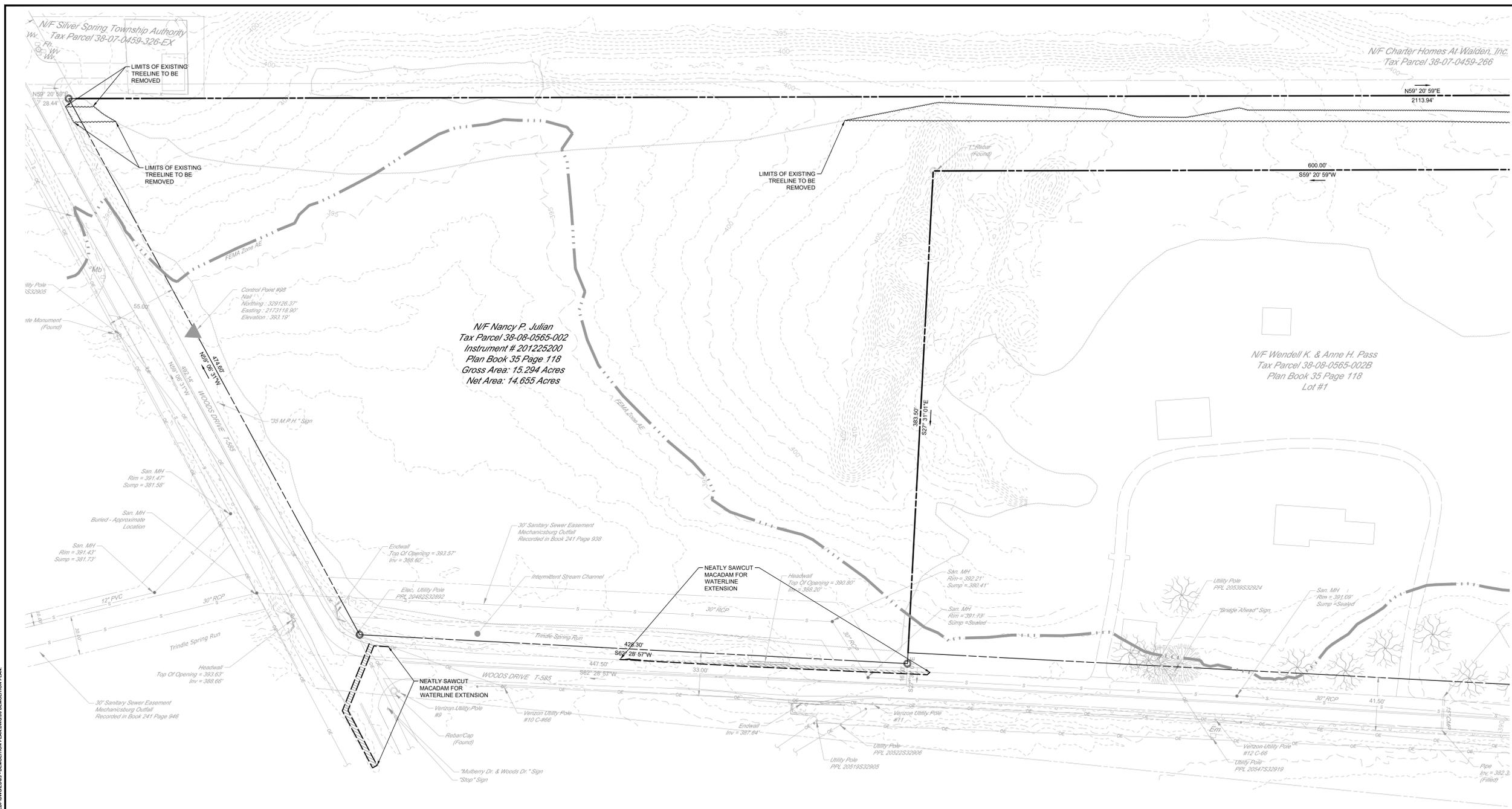
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DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	03 - DEMOLITION PLAN

REVISIONS

NO.	DATE	DESCRIPTION

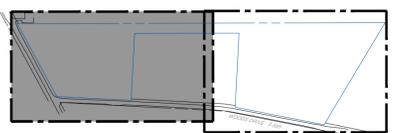
TITLE  
**DEMOLITION PLAN**

SHEET NO.  
**06 of 27**



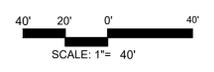
**DEMOLITION PLAN NOTES**

- ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY IMPROVEMENTS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF-SITE LANDFILL. BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SUITABLE FILL, COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
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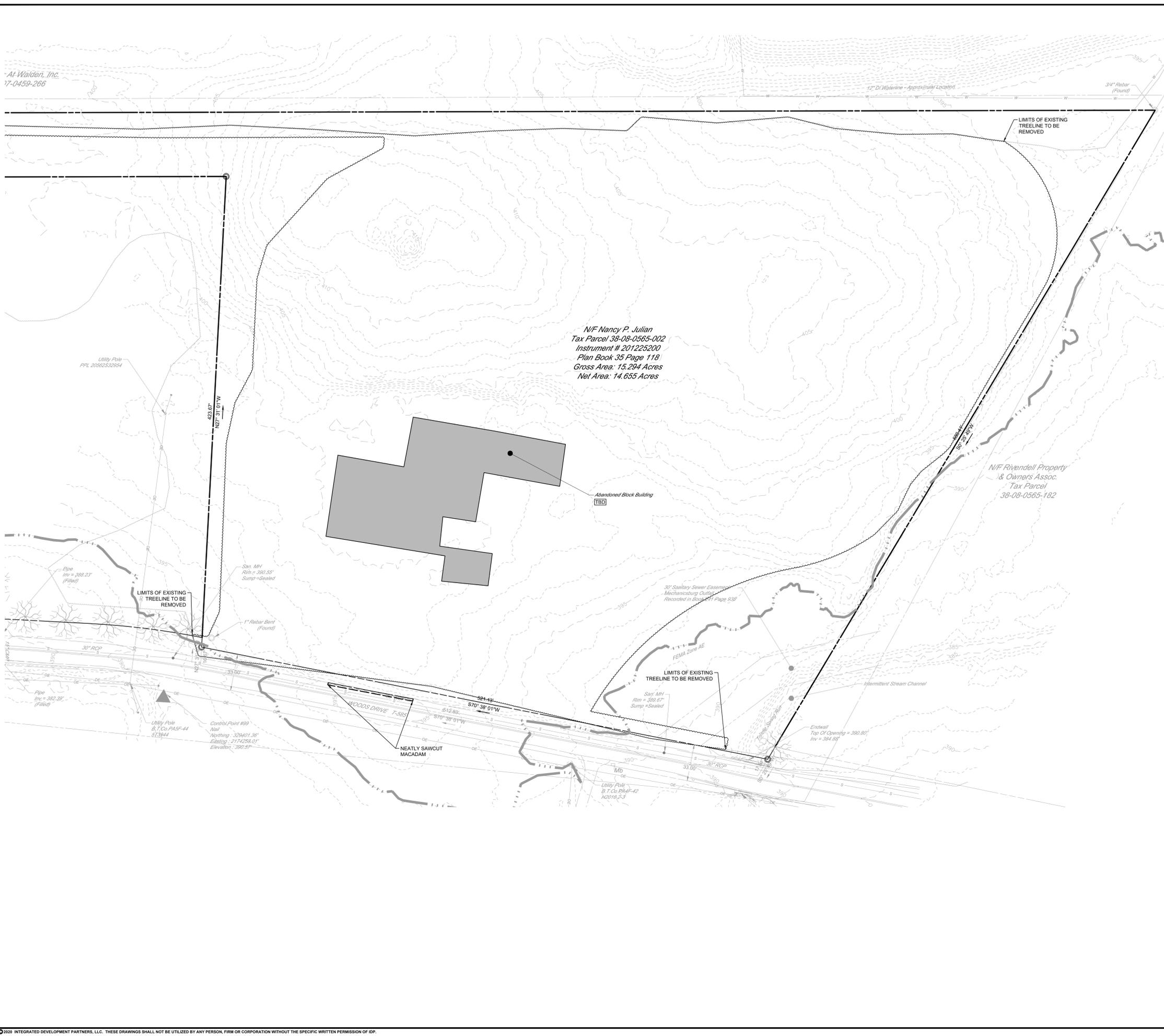
**LEGEND** DEMOLITION PLAN

- DEMOLISH MACADAM
- DEMOLISH BUILDING
- PROPOSED SAW CUT LINE
- DNOTES A FEATURE TO BE REMOVED



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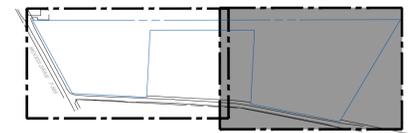


N/F Nancy P. Julian  
Tax Parcel 38-08-0565-002  
Instrument # 201225200  
Plan Book 35 Page 118  
Gross Area: 15.294 Acres  
Net Area: 14.655 Acres

N/F Rivendell Property  
& Owners Assoc.  
Tax Parcel  
38-08-0565-182

**LEGEND**

- DEMOLISH MACADAM
- DEMOLISH BUILDING
- PROPOSED SAW CUT LINE
- DENOTES A FEATURE TO BE REMOVED



**KEY MAP**  
SCALE: NONE

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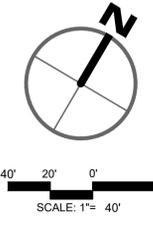
PROFESSIONAL SEAL

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REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	03 - DEMOLITION PLAN

REVISIONS	NO.	DATE	DESCRIPTION

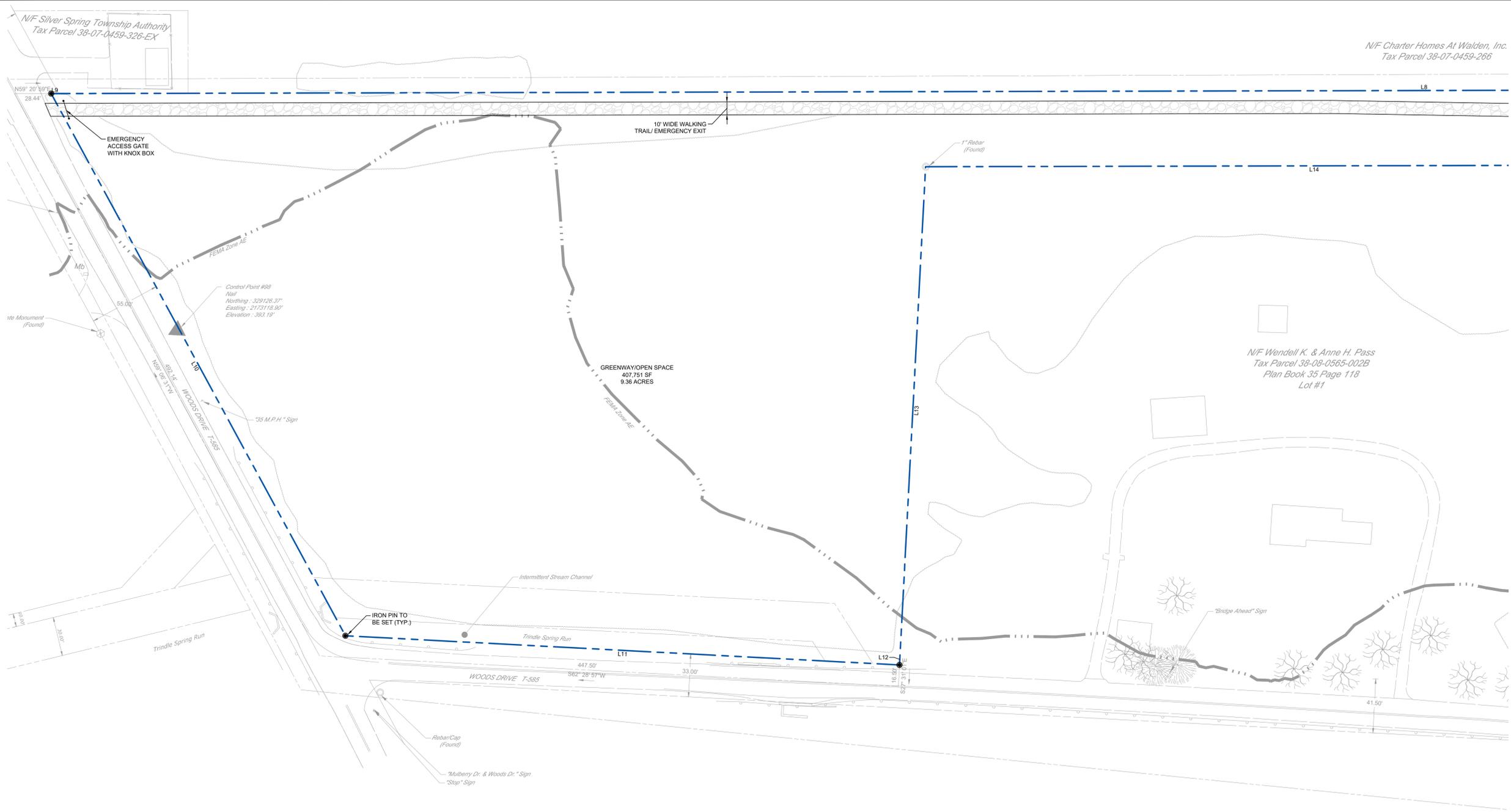
TITLE  
**DEMOLITION PLAN**

SHEET NO.  
**07 of 27**

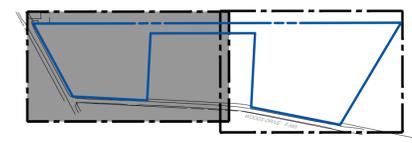


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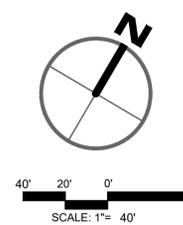


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**KEY MAP**  
SCALE: NONE

- LEGEND**
- PROPOSED PROPERTY LINE
  - PROPOSED SETBACK LINE
  - PROPOSED BUILDING
  - PROPOSED CONCRETE
  - PROPOSED STANDARD DUTY PAVEMENT
  - PROPOSED CLEAR SIGHT TRIANGLE
  - PROPOSED WALKING TRAIL/ EMERGENCY EXIT
  - PROPOSED CENTERLINE
  - PROPOSED CURB
  - PROPOSED IRON PIN PROPERTY CORNER MARKER
  - PROPOSED CONCRETE MONUMENT PROPERTY CORNER MARKER



PROFESSIONAL SEAL

DRAWN	GSD
REVIEWED	TLD
SCALE	AS NOTED
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CAD FILE:	04 - SITE PLAN

NO.	DATE	DESCRIPTION

PROFESSIONAL SEAL

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REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	04 - SITE PLAN

REVISIONS	NO.	DATE	DESCRIPTION

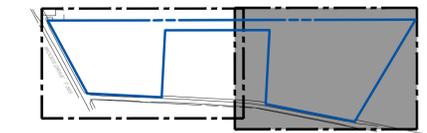
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**SITE PLAN**

SHEET NO.

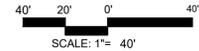
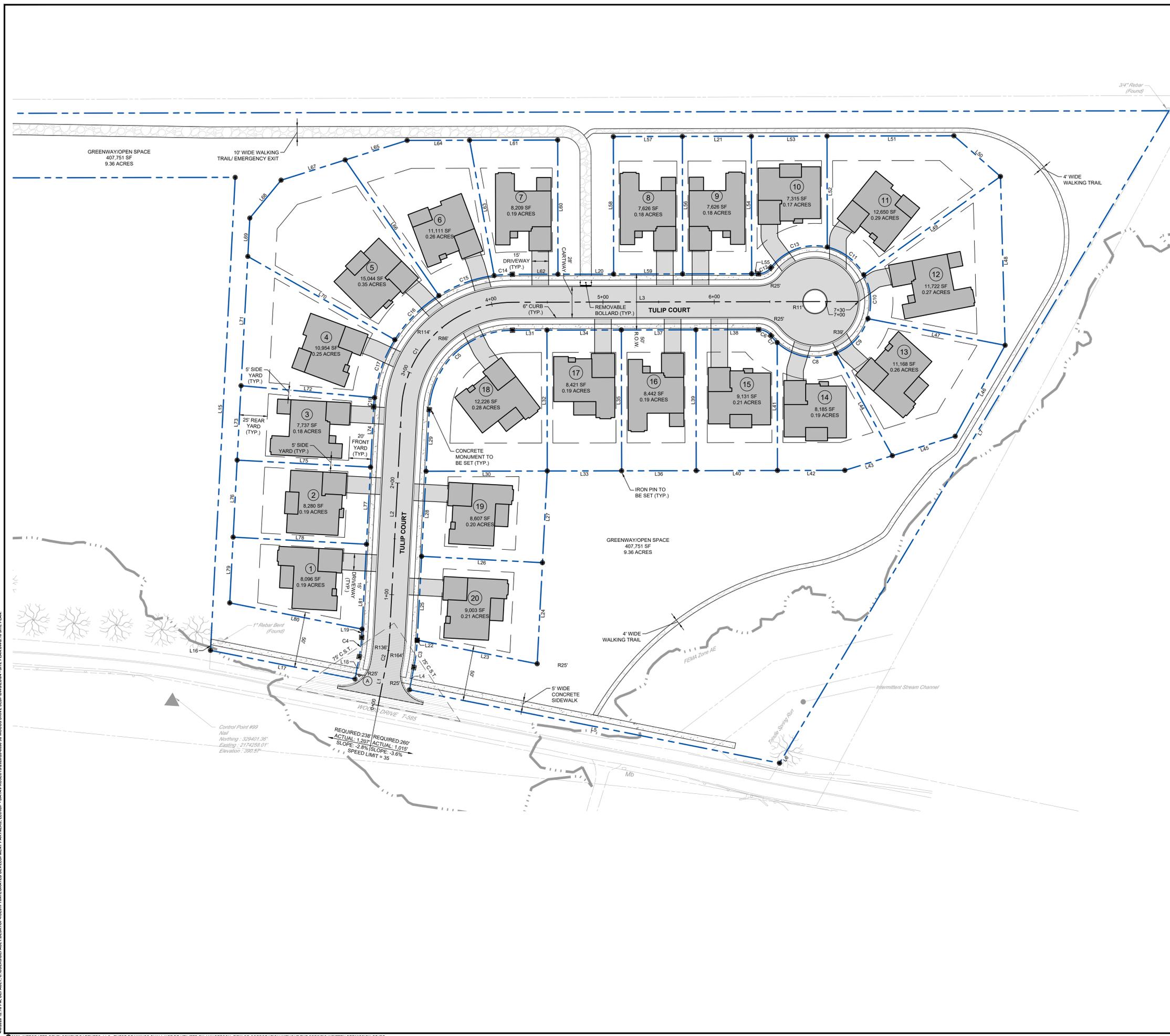
10 of 27

**LEGEND**

- SITE PLAN
- PROPOSED PROPERTY LINE
  - PROPOSED SETBACK LINE
  - PROPOSED BUILDING
  - PROPOSED CONCRETE
  - PROPOSED STANDARD DUTY PAVEMENT
  - PROPOSED CLEAR SIGHT TRIANGLE
  - PROPOSED WALKING TRAIL/ EMERGENCY EXIT
  - PROPOSED CENTERLINE
  - PROPOSED CURB
  - PROPOSED IRON PIN PROPERTY CORNER MARKER
  - PROPOSED CONCRETE MONUMENT PROPERTY CORNER MARKER
  - SITE SIGN

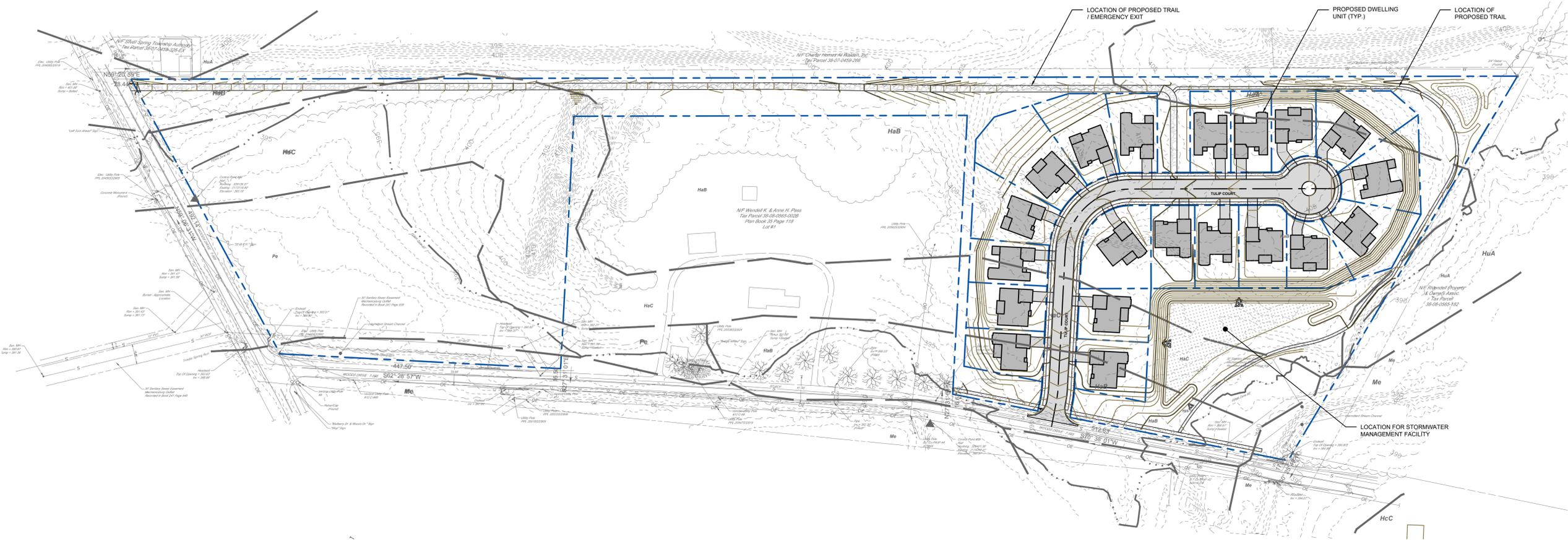


**KEY MAP**  
SCALE: NONE



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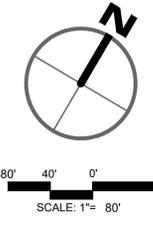
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DRAWN	GSD
REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	04.50 - GREENWAY LAND

REVISIONS NO.	DATE	DESCRIPTION

TITLE  
**GREENWAY  
LAND -  
STEPS 2-4**

SHEET NO.  
**12 of 27**



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PROFESSIONAL SEAL

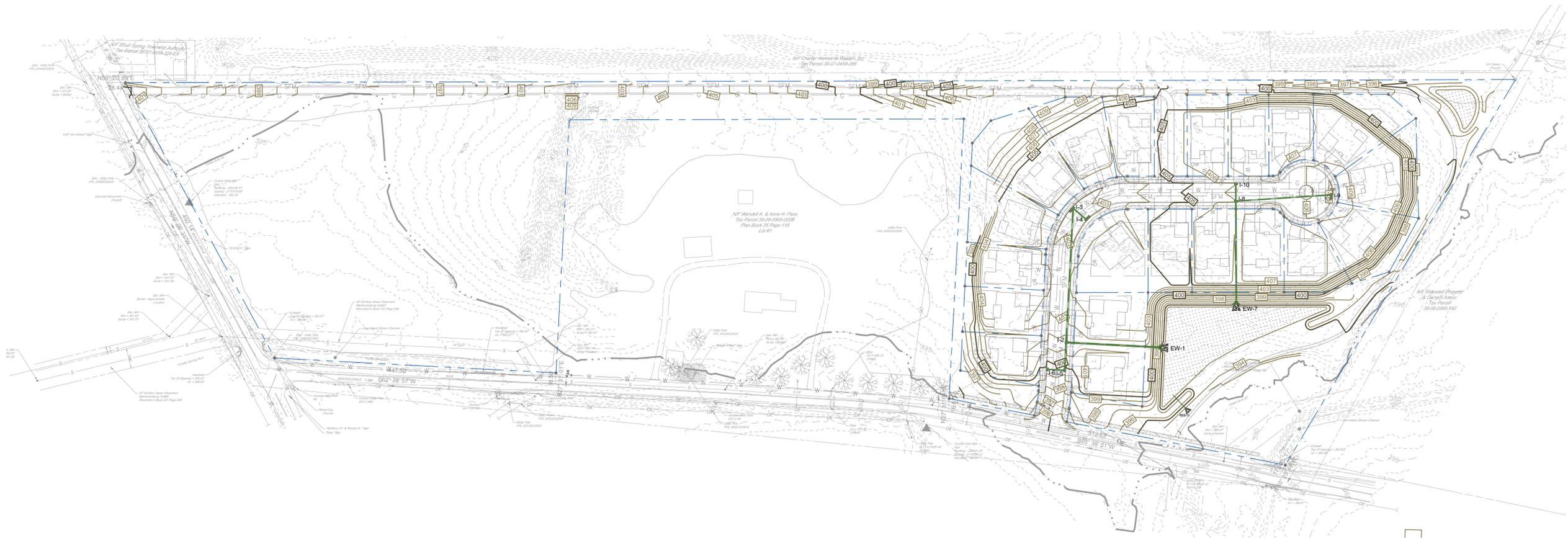
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DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	05 - GRADING PLAN

REVISIONS	NO.	DATE	DESCRIPTION

TITLE  
**OVERALL GRADING & DRAINAGE PLAN**

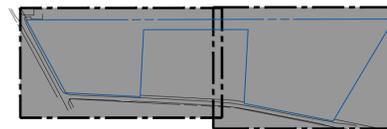
SHEET NO.

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**GRADING NOTES**

1. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
3. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 96% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
4. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.

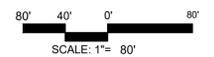
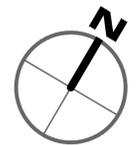


**KEY MAP**

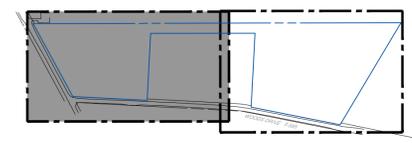
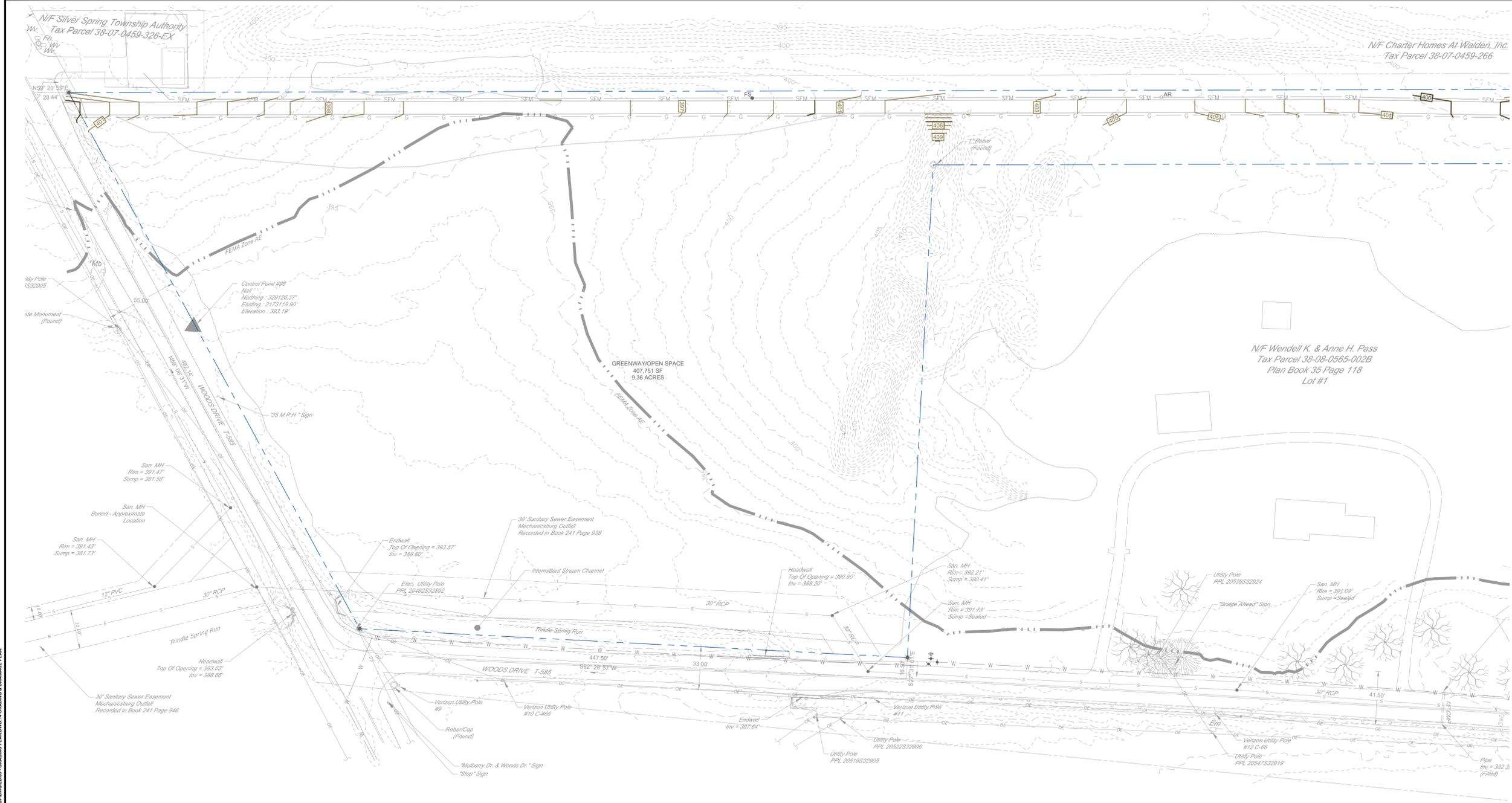
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**LEGEND**

GRADING AND DRAINAGE PLAN	
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED SPOT ELEVATION: TOP OF CURB BOTTOM OF CURB
	PROPOSED SPOT ELEVATION: HIGH POINT
	PROPOSED SLOPE ARROW
	PROPOSED STORM LINE
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED ROOF DRAIN
	PROPOSED CLEANOUT
	PROPOSED AMENDED SOILS
	PROPOSED RIPRAP APRON



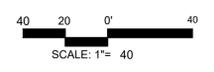
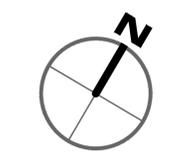
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**KEY MAP**  
SCALE: NONE

**LEGEND**

GRADING AND DRAINAGE PLAN	
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED SPOT ELEVATION: TOP OF CURB
	PROPOSED SPOT ELEVATION: BOTTOM OF CURB
	PROPOSED SPOT ELEVATION: HIGH POINT
	PROPOSED SLOPE ARROW
	PROPOSED STORM LINE
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED ROOF DRAIN
	PROPOSED CLEANOUT
	PROPOSED AMENDED SOILS
	PROPOSED RIPRAP APRON



PROFESSIONAL SEAL

DRAWN	GSD
REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	05 - GRADING PLAN

REVISIONS	NO.	DATE	DESCRIPTION

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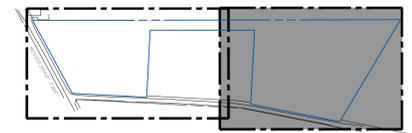
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**LEGEND**

GRADING AND DRAINAGE PLAN

- 310 PROPOSED MAJOR CONTOUR
- 300 PROPOSED MINOR CONTOUR
- 307.66 PROPOSED SPOT ELEVATION
- TC 310.17 BC 309.50 PROPOSED SPOT ELEVATION: TOP OF CURB BOTTOM OF CURB
- H.P. 310.20 PROPOSED SPOT ELEVATION: HIGH POINT
- 1.00% PROPOSED SLOPE ARROW
- PROPOSED STORM LINE
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- RD RD PROPOSED ROOF DRAIN
- CO PROPOSED CLEANOUT
- PROPOSED AMENDED SOILS
- PROPOSED RIPRAP APRON



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TULIPS AT 38 WOODS DRIVE

SILVER SPRING TOWNSHIP CUMBERLAND COUNTY

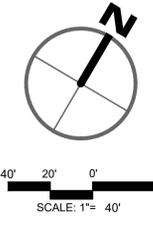
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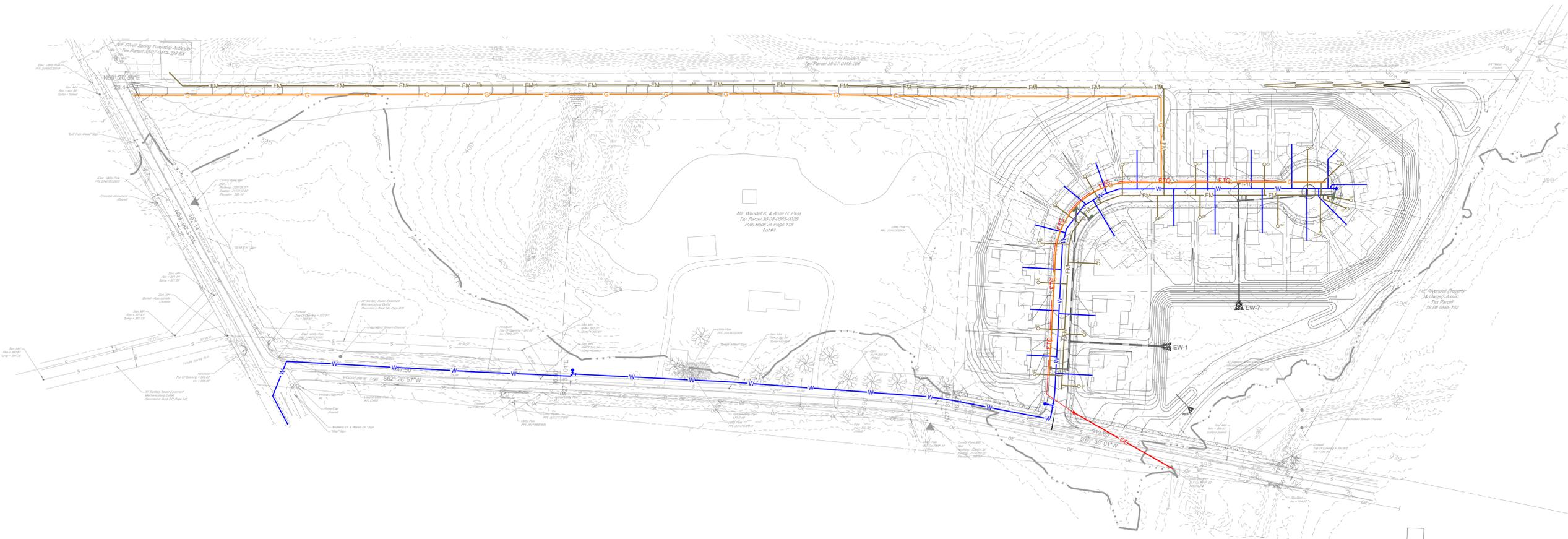
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REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	05 - GRADING PLAN

NO.	DATE	DESCRIPTION

TITLE  
**GRADING & DRAINAGE PLAN**

SHEET NO.  
**15 of 27**



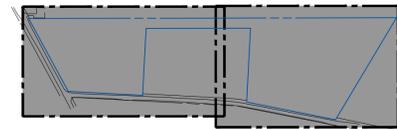


**UTILITY NOTES**

- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASUREMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASUREMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASUREMENT OF THE PROPOSED PIPING.
- SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
- SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE #B.T.Co PA4F-42. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL PVC CONDUITS FOR TELECOMMUNICATIONS SERVICE PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASUREMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
- ALL WATER LINES TO HAVE A MINIMUM COVER OF 4 FEET.
- ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.

**LEGEND**

UTILITY PLAN	
— W —	PROPOSED WATER LINE
WV	PROPOSED WATER VALVE
FH	PROPOSED FIRE HYDRANT
— FM —	PROPOSED SANITARY FORCEMAIN
— S —	PROPOSED SANITARY MANHOLE
— GP —	PROPOSED DOWNSPOUT
— AR —	AIR RELEASE VALVE
— FS —	FLUSHING STATION
— U —	UTILITY POLE
— ETC —	PROPOSED UNDERGROUND ELECTRIC, TELECOMMUNICATION & CABLE LINE
— OE —	PROPOSED OVERHEAD ELECTRIC
— G —	PROPOSED GAS LINE



**KEY MAP**

SCALE: NONE



80' 40' 0' 80'  
SCALE: 1"= 80'

PROFESSIONAL SEAL

DRAWN	GSD
REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	06 - UTILITY PLAN

NO.	DATE	DESCRIPTION

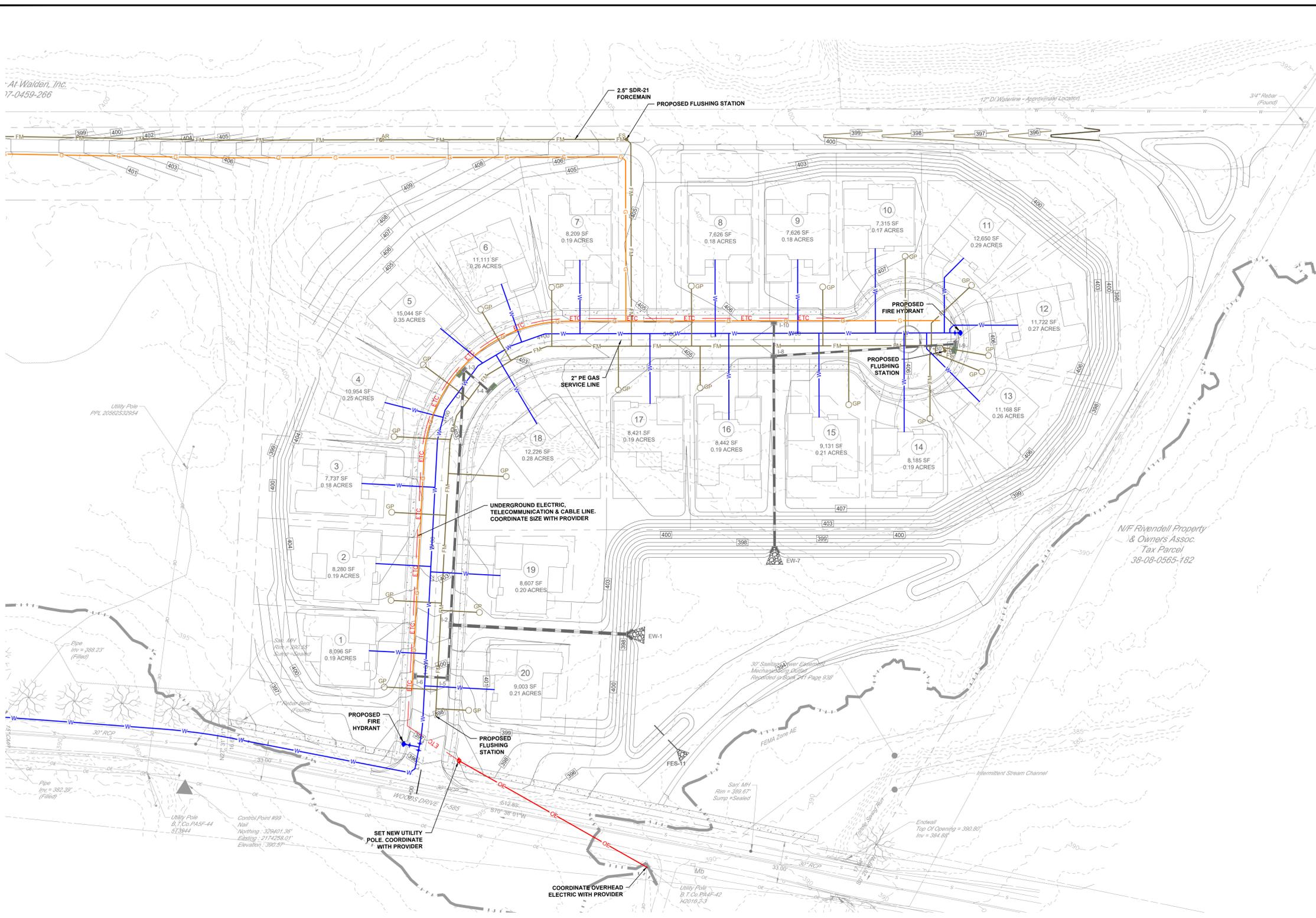
REVISIONS

TITLE  
**OVERALL  
UTILITY PLAN**

SHEET NO.  
**16 of 27**

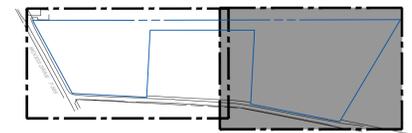


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**LEGEND**

- |  |   |
|--|---|
|  | PROPOSED WATER LINE   |
|  | PROPOSED WATER VALVE  |
|  | PROPOSED FIRE HYDRANT   |
|  | PROPOSED SANITARY FORCEMAIN                                   |
|  | PROPOSED SANITARY MANHOLE                                     |
|  | PROPOSED DOWNSPOUT  |
|  | AIR RELEASE VALVE   |
|  | FLUSHING STATION  |
|  | UTILITY POLE  |
|  | PROPOSED UNDERGROUND ELECTRIC, TELECOMMUNICATION & CABLE LINE |
|  | PROPOSED OVERHEAD ELECTRIC                                    |
|  | PROPOSED GAS LINE   |



**KEY MAP**  
SCALE: NONE

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**TULIPS**  
AT  
38 WOODS DRIVE

SILVER SPRING TOWNSHIP  
CUMBERLAND COUNTY

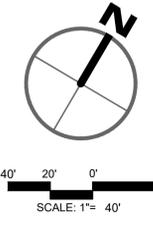
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REVIEWED	TLD
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	06 - UTILITY PLAN

REVISIONS NO.	DATE	DESCRIPTION

TITLE  
**UTILITY PLAN**

SHEET NO.  
**18 of 27**



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PROFESSIONAL SEAL

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SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	06.50 - EASEMENT PLAN

REVISIONS

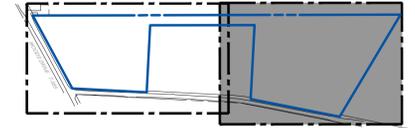
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TITLE  
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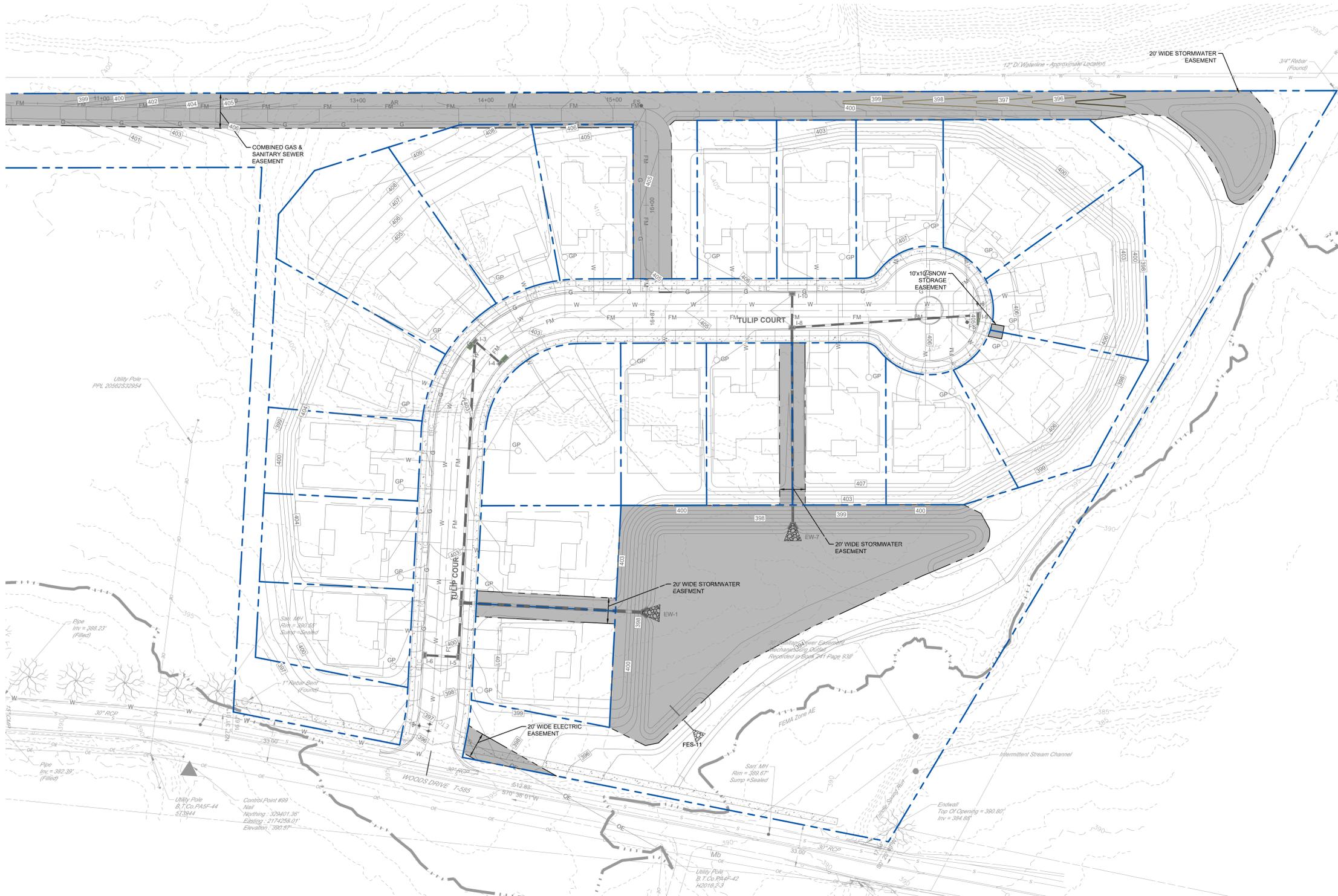
SHEET NO.  
**20 of 27**

**LEGEND**

EASEMENT PLAN	
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT
	PROPOSED EASEMENT HATCH



**KEY MAP**  
SCALE: NONE



40' 20' 0' 40'  
SCALE: 1" = 40'

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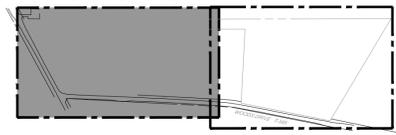
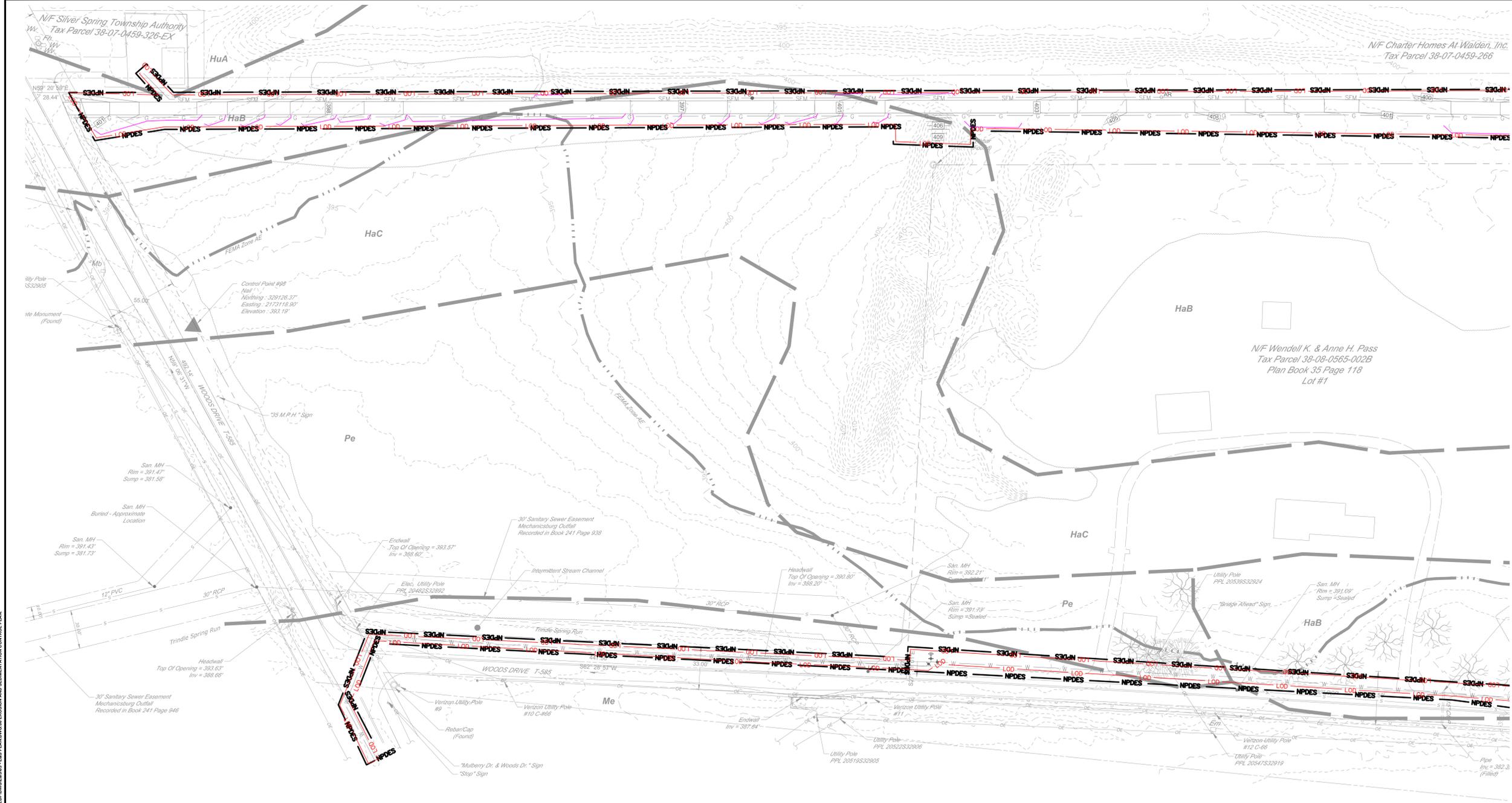
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DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	03 - E&S PLAN

NO.	DATE	DESCRIPTION

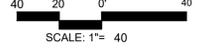
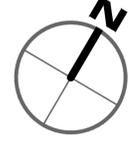
TITLE  
**EROSION AND SEDIMENTATION CONTROL PLAN**

SHEET NO.  
**01 of 02**



KEY MAP  
SCALE: NONE

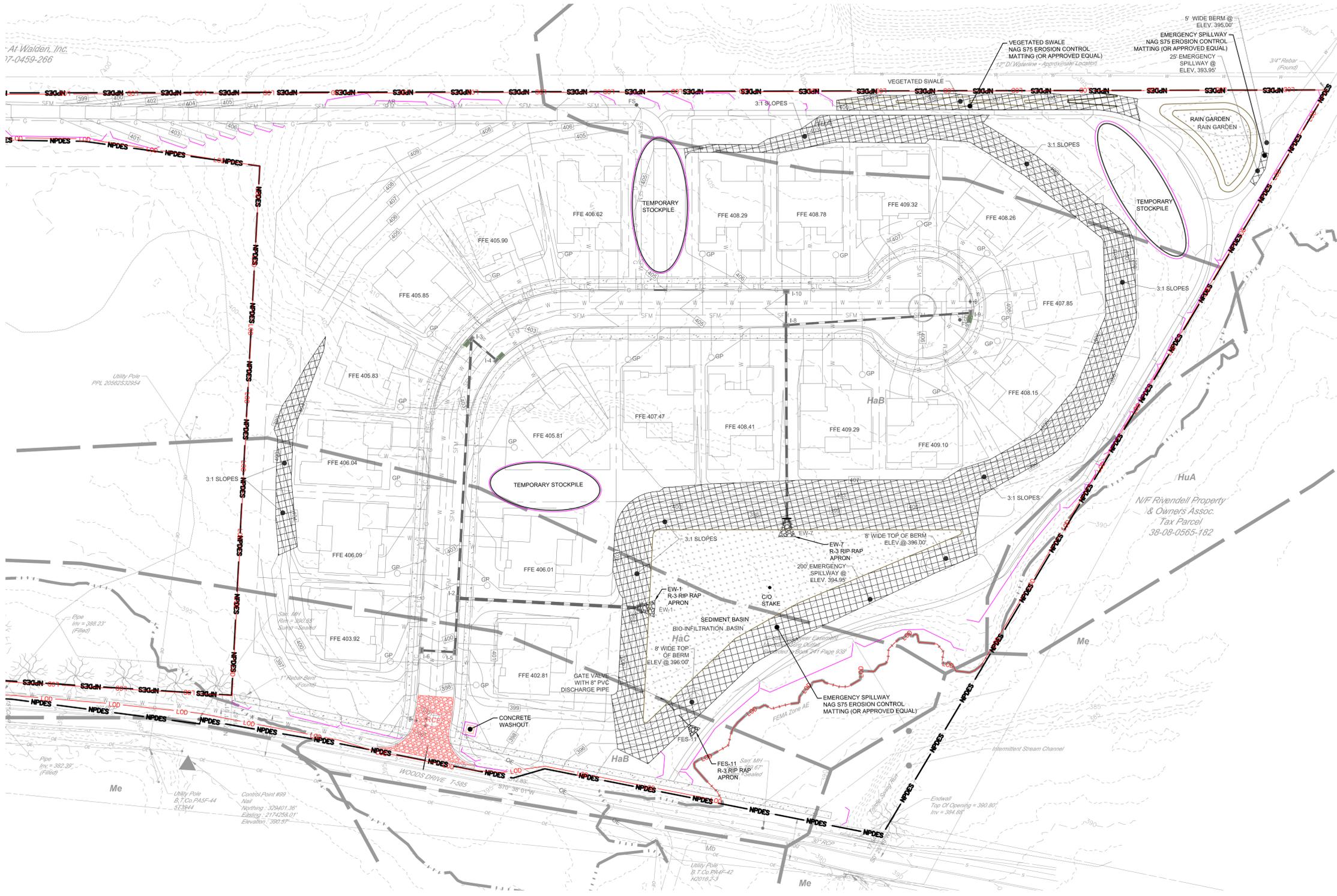
- LEGEND** EROSION AND SEDIMENTATION CONTROL PLAN
- PROPOSED SILT SOCK
  - LIMIT OF DISTURBANCE
  - NPDES BOUNDARY
  - PROPOSED ROCK CONSTRUCTION ENTRANCE
  - RIPRAP APRON
  - SLOPE EROSION CONTROL BLANKET (NAG-S75 OR APPROVED EQUAL)



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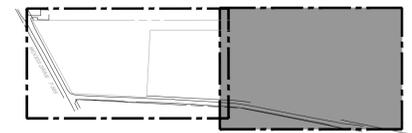
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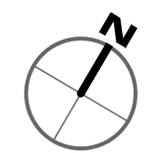


**LEGEND** EROSION AND SEDIMENTATION CONTROL PLAN

- PROPOSED SILT SOCK
- LIMIT OF DISTURBANCE
- NPDES BOUNDARY
- PROPOSED ROCK CONSTRUCTION ENTRANCE
- RIPRAP APRON
- SLOPE EROSION CONTROL BLANKET (NAG-S75 OR APPROVED EQUAL)
- EMERGENCY SPILLWAY NAG S75 EROSION CONTROL MATTING (OR APPROVED EQUAL)
- 25' EMERGENCY SPILLWAY @ ELEV. 393.95'
- RAIN GARDEN
- RAIN GARDEN



**KEY MAP**  
SCALE: NONE



40' 20' 0' 40'  
SCALE: 1" = 40'

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EROSION AND SEDIMENTATION CONTROL PLAN

TULIPS AT 38 WOODS DRIVE

SILVER SPRING TOWNSHIP CUMBERLAND COUNTY

PROFESSIONAL SEAL

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REVIEWED	JLK
SCALE	AS NOTED
DATE	04/07/2020
PROJECT NO.	20-0090
CAD FILE:	03 - E&S PLAN

REVISIONS	NO.	DATE	DESCRIPTION

TITLE  
**EROSION AND SEDIMENTATION CONTROL PLAN**

SHEET NO.  
**02 of 02**