

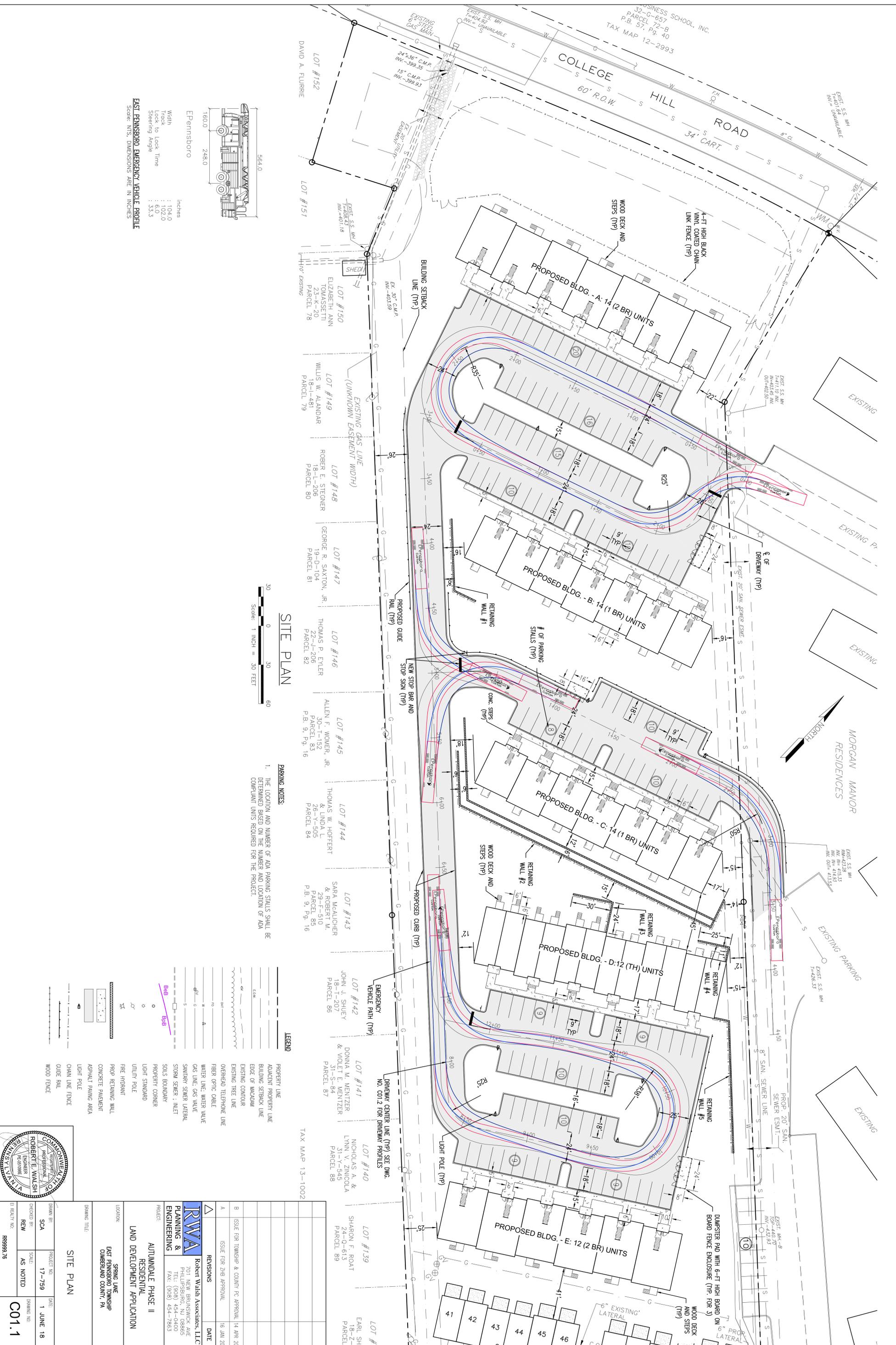
Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>East Pennsboro</u>	Surveyor/ Engineer:	<u>Robert Walsh</u>	Owner/ Developer:	<u>Autumndale Associates</u>
Plat Title:	<u>Autumndale Phase II</u>				
Plat Status:	<u>P/Final</u>	Plat Type:	<u>LD</u>		
# of New Lots:	<u>0</u>	# of New Dwelling Units:	<u>66</u>	New Acreage Subdivided/Developed:	<u>0</u>
				Total Tract Acreage:	<u>8.28</u>
Zoning District:	<u>R-3</u>	Proposed Land Use:	<u>MF Residential</u>		
Date Received:	<u>4/28/2020</u>	County Review:	<u>5/8/2020</u>	Reviewed by:	<u>KS</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. SALDO 22-309.B.4 -- The plan should show the full connection to Summer Lane and include a note with the terms of the 25' wide access easement.
2. SALDO 22-506.4.D(6) – Clear sight triangle should be provided at the stop intersection shown on the plan.
3. SALDO 22-507 – Sidewalks are required or a waiver approved.
4. SALDO 22-509 – The street names (Summer Lane or Spring Lane) should be included on the plan.
5. SALDO 22-510 – Street lights should be considered for the access road connecting the 5 residential buildings.
6. SALDO 22-519.2 – Trees with a caliper of 6” or more shall not be removed or a waiver offered.
7. The approval block for the Cumberland County Planning Commission should include a single signature line for the “Director of Planning”.
8. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide electronic copies of the .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



SITE PLAN

PARKING NOTES:
 1. THE LOCATION AND NUMBER OF ADA PARKING STALLS SHALL BE DETERMINED BASED ON THE NUMBER AND LOCATION OF ADA COMPLIANT UNITS REQUIRED FOR THE PROJECT.

LEGEND

- PROPERTY LINE
- ADJOINT PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF MACHADAM
- EXISTING CONTOUR
- EXISTING TREE LINE
- OVERHEAD TELEPHONE LINE
- FIBER OPTIC CABLE
- WATER LINE; WATER VALVE
- GAS LINE; GAS VALVE
- SEWERY SEWER LATERAL
- STORM SEWER; INLET
- SOILS BOUNDARY
- PROPERTY CORNER
- LIIFT STANDARD
- UTILITY POLE
- PROP RETAINING WALL
- CONCRETE PAVEMENT
- ASPHALT PAVING AREA
- LIGHT POLE
- CHAIN LINE FENCE
- GUIDE RAIL
- WOOD FENCE



SPRING LINE EAST PENNSBORO TOWNSHIP CUMBERLAND COUNTY, PA	
DRAWING TITLE	
SITE PLAN	
SHEET NO. SCA	PROJECT NO. 17-759
CHECKED BY: REW	SCALE AS NOTED
DATE 1 JUNE 18	DRAWING NO. C01.1

NO.	REVISIONS	DATE
A	ISSUE FOR TOWNSHIP & COUNTY FC APPROVAL	14 APR 20
B	ISSUE FOR ZHB APPROVAL	16 JAN 20

RWA
 Robert Walsh Associates, LLC
 701 N. BRUNSWICK AVE
 SUITE 200
 FRENCH CREEK, PA 17036
 TEL: (908) 454-0400
 FAX: (908) 454-7863

PROJECT:
AUTUMDALE PHASE II
 RESIDENTIAL
 LAND DEVELOPMENT APPLICATION

LOT #152 DAVID A. FLURRIE	LOT #151	LOT #150 ELIZABETH ANN TOMASSETTI 23-K-20 PARCEL 78	LOT #149 WILLIS W. ALANDAR 18-L-481 PARCEL 79	LOT #148 ROBER E. STEIGNER 18-L-206 PARCEL 80	LOT #147 GEORGE R. SAXTON, JR. 19-D-104 PARCEL 81	LOT #146 THOMAS P. EYLER 22-N-206 PARCEL 82	LOT #145 ALLEN F. WOMER, JR. 30-T-152 PARCEL 83	LOT #144 THOMAS W. HOFFERT 26-Y-505 PARCEL 84	LOT #143 SARA M. AULCHER & ROBERT M. 29-F-510 PARCEL 85	LOT #142 JOHN J. SHUEY 18-T-207 PARCEL 86	LOT #141 DONNA M. MENTZER & VIOLET E. MENTZER 31-S-84 PARCEL 87	LOT #140 NICHOLAS A. & LYNN V. ZINICOLA 31-Y-545 PARCEL 88	LOT #139 SHARON F. ROAT 24-O-613 PARCEL 89	LOT #138 EARL SH... 18-Z-... PARCEL...
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AUTUMNDALE PHASE II RESIDENTIAL DEVELOPMENT

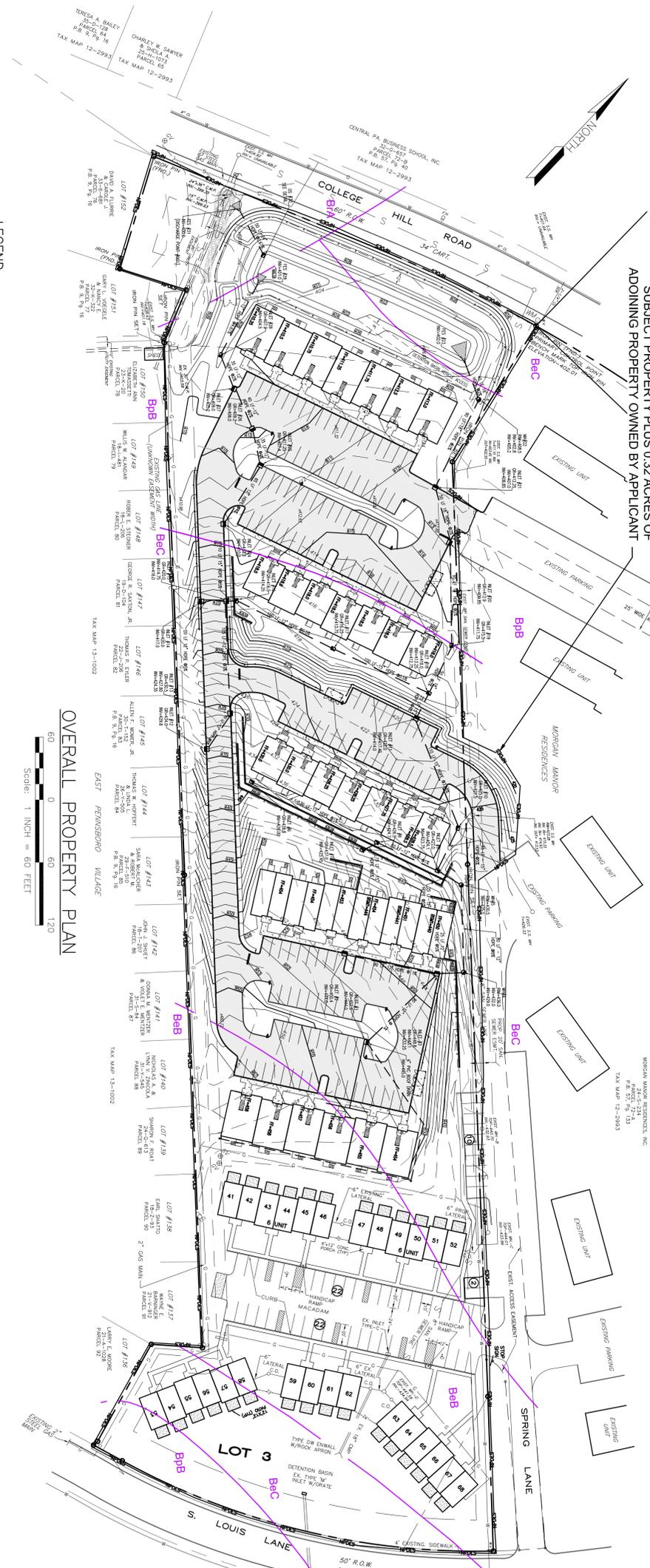
SPRING LANE, EAST PENNSBORO TOWNSHIP

CUMBERLAND COUNTY, PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

NPDES BOUNDARY = 8.6 ACRES.
SUBJECT PROPERTY PLUS 0.32 ACRES OF
ADJOINING PROPERTY OWNED BY APPLICANT

LOT 1



LEGEND

EXISTING FEATURES		PROPOSED FEATURES	
---	PROPERTY LINE	---	PROP. REMAINING WALL
---	ADJACENT PROPERTY LINE	---	CONCRETE PAVEMENT
---	BUILDING SETBACK LINE	---	ASPHALT PAVING AREA
---	EDGE OF WALKWAY	---	PROP. WATER VALVE
---	EXISTING CONDUIT	---	PROP. SANITARY SEWER LINE
---	EXISTING TREE LINE	---	PROP. WATER SERVICE
---	OVERHEAD TELEPHONE LINE	---	PROP. UNDERGROUND ELECTRIC SERVICE
---	FIBER OPTIC CABLE	---	PROP. TRAFFIC CONTROL SIGN
---	WATER LINE; WATER VALVE	---	PROP. LIGHT POLE
---	GAS LINE; GAS VALVE	---	PROP. GUYE RAIL
---	SANITARY SEWER LATERAL	---	PROP. WOOD FENCE
---	STORM SEWER - INLET	---	PROP. TYPE C INLET
---	PROPERTY CORNER	---	PROP. TYPE W INLET
---	LIGHT STANDARD	---	PROP. STORM MANHOLE
---	LUNTY POLE	---	PROP. CONCRETE FLARED END SECTION
---	FIRE HYDRANT	---	PROP. STORM PIPE
---		---	PROP. BRIDGE PIPE OUTFALL APRON
---		---	PROP. CONTOUR
---		---	PROP. SPOT ELEVATION
---		---	NPDES BOUNDARY
---		---	LIMIT OF SOIL DISTURBANCE

BMP INSTALLATION SEQUENCE & CRITICAL STAGES:

- PCSM BMPs SHALL BE INSTALLED IN THE FOLLOWING GENERAL SEQUENCE. REFER TO DRAWING NO. ES02 FOR SEQUENCE OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING DESIGN ENGINEER SUFFICIENTLY IN ADVANCE OF BMP INSTALLATION SO THAT A REPRESENTATIVE CAN BE PRESENT AT THE SITE DURING CONSTRUCTION OF THE FOLLOWING PCSM BMPs:
1. DETENTION BASIN.
 2. TEMPORARY SEDIMENT BASIN.
 3. REMAINING WALLS.
 4. CONVEYER SEDIMENT TRAP TO FINAL STABILIZED DETENTION BASIN.

PROJECT WASTE:

1. REFER TO SITE DEMOLITION PLAN DWG. NO. C01.0 FOR EXISTING SITE FEATURES TO BE REMOVED. THESE ITEMS GENERALLY CONSIST OF DRAINAGE STRUCTURES, CONCRETE CURBS, DRAINAGE PIPING AND VEGETATION.
2. ALL MATERIALS SHALL BE RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE CCOD NOTES ON DWG. NO. ES03.
3. THERE ARE NO KNOWN GEOLOGICAL FEATURES OR SOIL CONDITIONS PRESENT WITHIN THE PROJECT LIMITS THAT WOULD HAVE THE POTENTIAL TO CAUSE POLLUTION.

PA ONE CALL

LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-7176), A MINIMUM OF 3 DAYS PRIOR TO EXCAVATION AS REQUIRED BY PA ACT 187 (1991).

SOIL TYPES:

- * (H) BcB - Berks channery silt loam, 3 to 8% slopes
- * (H) BcC - Berks spdy silt loam, 8 to 15% slopes
- * (H) BcD - Berks silt loam, 3 to 8% slopes
- * (H) BcE - Berks silt loam, 0 to 3% slopes
- * - INDICATES SOIL TYPES PRESENT IN THE AREA OF DISTURBANCE.
- (H) - INDICATES HYDRIC SOIL

BMP MAINTENANCE SCHEDULE

NAME OF BMP	OWNER	MAINTENANCE PROCEDURES
PROPOSED DETENTION BASIN	AUTUMNDALE ASSOCIATES, LLC	INSPECT ONCE OR TWICE PER YEAR FOR DEBRIS OR ACCUMULATION OF SEDIMENT. INSPECT SPILLWAY AFTER LARGE STORM EVENTS AND REMOVE DEBRIS.
STORM INLETS & CURBS	AUTUMNDALE ASSOCIATES, LLC	INSPECT QUARTERLY AND AFTER LARGE RAINFALL EVENTS FOR PRESENCE OF DEBRIS. REMOVE AND DISPOSE OF DEBRIS.

RESPONSIBLE PARTY FOR OPERATIONS & MAINTENANCE:

AUTUMNDALE ASSOCIATES, LLC
8 RIDGEHILL AVENUE
COLUMBIA, MD 21046
PHONE: (970) 775-7777

OWNER/APPLICANT:

AUTUMNDALE ASSOCIATES, LLC
8 RIDGEHILL AVENUE
COLUMBIA, MD 21046
PHONE: (970) 775-7777

SITE ADDRESS:

AUTUMNDALE APARTMENT
SPRING LANE
EAST PENNSBORO TOWNSHIP
CUMBERLAND COUNTY, PA



DRAWING INDEX

PSM01	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN COVER SHEET
PSM02	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PSM03	PCSM DRAINAGE PROFILES
PSM04	PCSM DETAILS
LOT 0	LANDSCAPE PLAN
LOT 1	LANDSCAPE SECTIONS & DETAILS



REVISIONS	DATE
A	ISSUE FOR TOWNSHIP & COUNTY P.C. APPROVAL 14 APR 20
B	ISSUE FOR ZONING APPROVAL 16 JUN 20

RWA
Robert Walsh Associates, LLC
701 NEW BRUNSWICK AVE
PHILADELPHIA, PA 19106
TEL: (908) 454-0400
FAX: (908) 454-7863

PROJECT: AUTUMNDALE PHASE II RESIDENTIAL LAND DEVELOPMENT APPLICATION

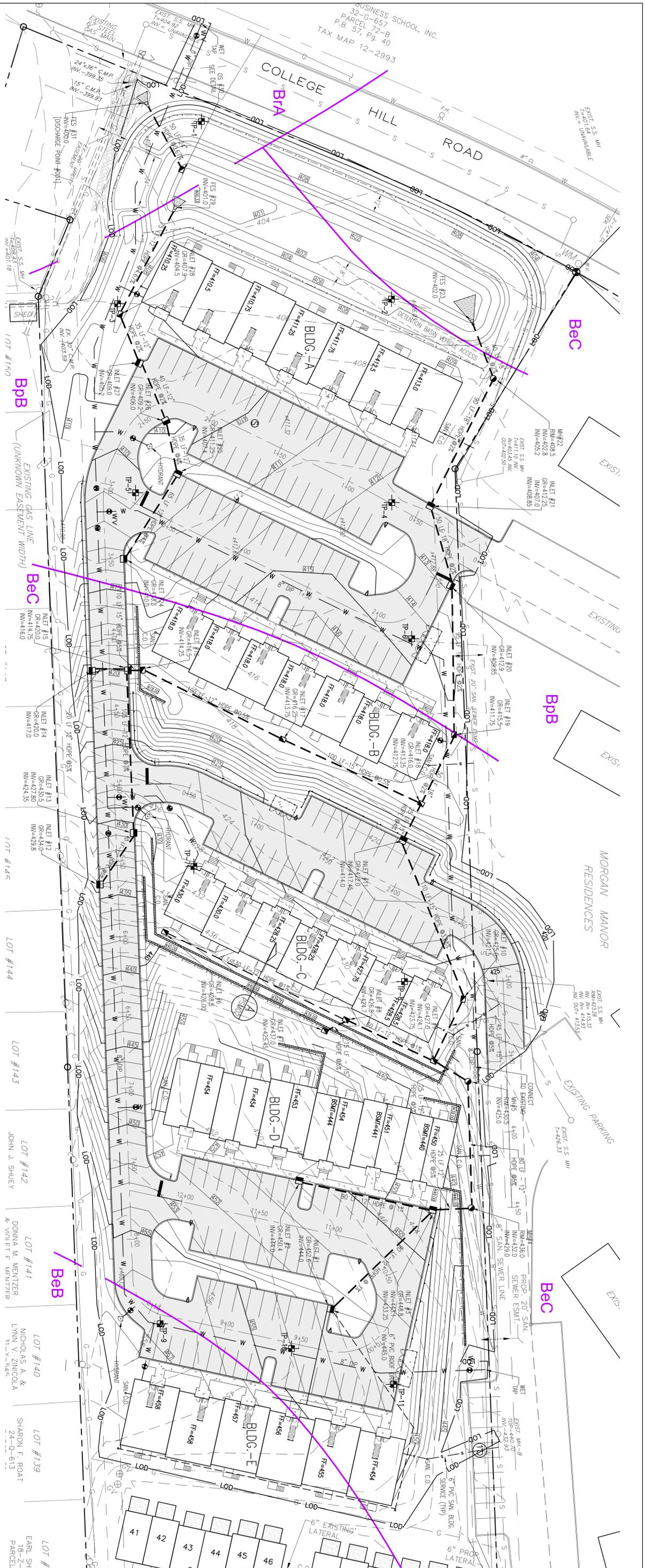
LOCATION: SPRING LANE, EAST PENNSBORO TOWNSHIP, CUMBERLAND COUNTY, PA

DRAWING TITLE: POST CONSTRUCTION STORMWATER MANAGEMENT PLAN COVER SHEET

DRAWING NO: PSM01

DATE: 1 JUNE 18

SCALE: AS NOTED



EXISTING FEATURES

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF MACHOAM
- EXISTING CONTOUR
- EXISTING TREE LINE
- OVERHEAD TELEPHONE LINE
- FIBER OPTIC CABLE
- WATER LINE, WATER VALVE
- GAS LINE, GAS VALVE
- SANITARY SEWER, INLET
- SANITARY SEWER, LATERAL
- SOILS BOUNDARY
- PROPERTY CORNER
- LIGHT STANDOFF
- UTILITY POLE
- FIRE HYDRANT

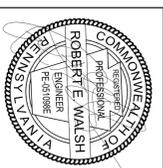
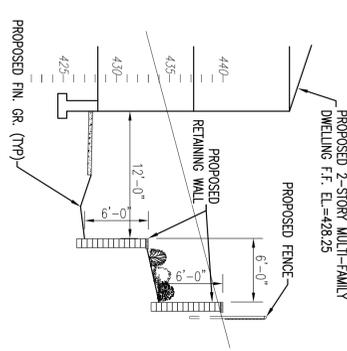
PROPOSED FEATURES

- PROP. RETAINING WALL
- CONCRETE PAVEMENT
- ASPHALT PAVING AREA
- PROP. WATER VALVE
- PROP. SANITARY SEWER LINE
- PROP. WATER SERVICE
- LIGHT POLE
- CHAIN LINE FENCE
- GUIDE RAIL
- WOOD FENCE
- PROP. TRAFFIC CONTROL SIGN
- PROP. HYDRANT
- PROP. TYPE C INLET
- PROP. TYPE M INLET
- PROP. STORM MANHOLE
- PROP. CONCRETE FLARED END SECTION
- PROP. STORM PIPE
- PROP. RIPRAP PIPE OUTFALL ARRON
- PROP. SPOT ELEVATION
- LIMIT OF SOIL DISTURBANCE
- INFILTRATION TEST PIT LOCATION

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN



SECTION THROUGH REAR YARD OF BUILDING "C" A



PROJECT: AUTUMNDALE PHASE II RESIDENTIAL LAND DEVELOPMENT APPLICATION		CLIENT: RWA Robert Walsh Associates, LLC 701 NEW BRUNSWICK AVE PHILIPSBURG, NJ 08865 TEL: (908) 454-0400 FAX: (908) 454-7863	
LOCATION: SPRING LINE EAST PENNSBORO TOWNSHIP CUMBERLAND COUNTY, PA		DATE: 1 JUNE 18	
DRAWING TITLE: POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN		SCALE: AS NOTED	
DESIGNED BY: SCA		DRAWING NO.: PSM02	
CHECKED BY: REW		DATE: 1 JUNE 18	
PROJECT NO.: 17-759		SCALE: AS NOTED	
PROJECT NO.: 17-759		SCALE: AS NOTED	
PROJECT NO.: 17-759		SCALE: AS NOTED	

AUTUMNDALE PHASE II RESIDENTIAL DEVELOPMENT

SPRING LANE, EAST PENNSBORO TOWNSHIP

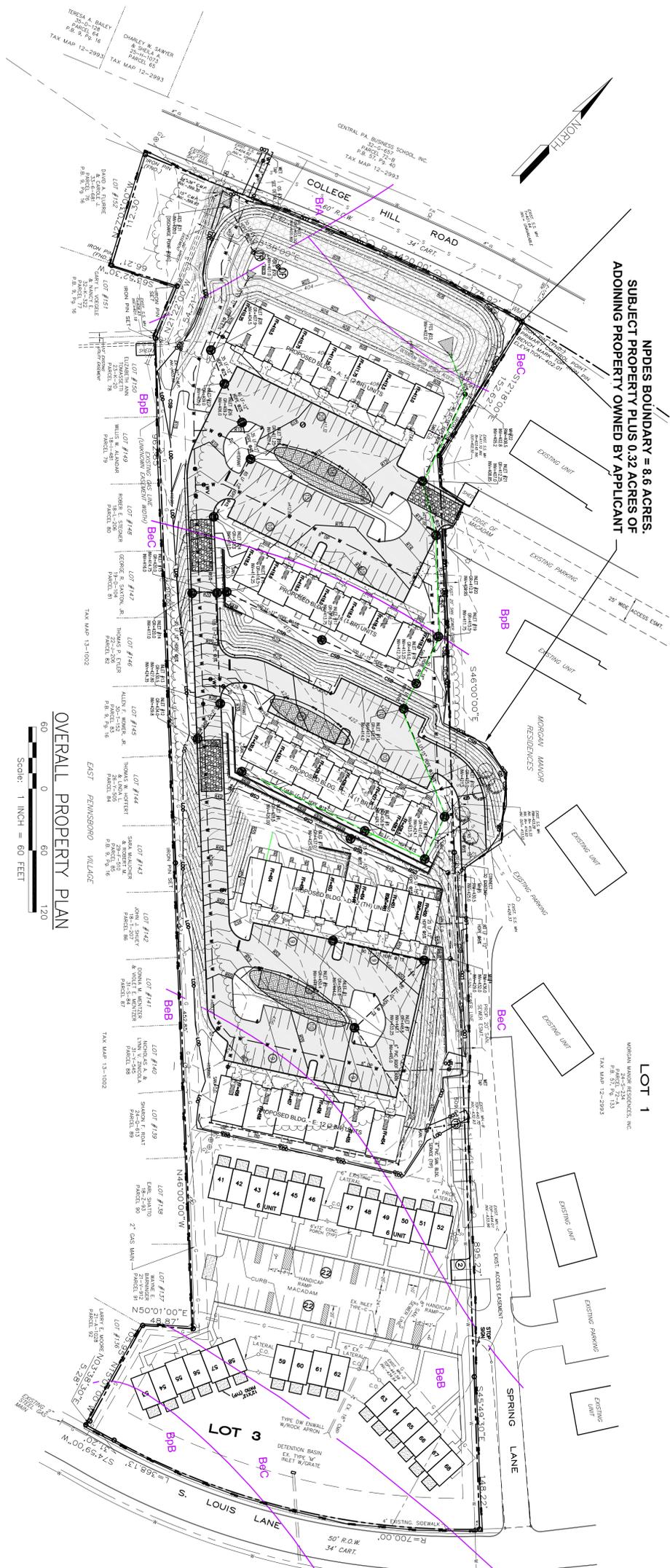
CUMBERLAND COUNTY, PENNSYLVANIA

EROSION & SEDIMENT POLLUTION CONTROL PLAN

NPDES BOUNDARY = 8.6 ACRES.
SUBJECT PROPERTY PLUS 0.32 ACRES OF
ADJOINING PROPERTY OWNED BY APPLICANT

LOT 1

WILSON MANOR RESIDENCES, INC.
PARCEL 214
P.O. BOX 351, PG. 133
TAX MAP 12-2993



OVERALL PROPERTY PLAN

Scale: 1" INCH = 60 FEET

EXISTING FEATURES	PROPOSED FEATURES
PROPERTY LINE	PROP. RETAINING WALL
ADJACENT PROPERTY LINE	CONCRETE PAVEMENT
BUILDING SETBACK LINE	ASPHALT PAVING AREA
EDGE OF MACHAM	PROP. WATER VALVE
EXISTING CONTOUR	PROP. SANITARY SEWER LINE
EXISTING TREE LINE	PROP. WATER SERVICE
OVERHEAD TELEPHONE LINE	PROP. UNDERGROUND ELECTRIC SERVICE
FIBER OPTIC CABLE	PROP. TRAFFIC CONTROL SIGN
WATER LINE, WATER VALVE	PROP. HI-RAMP
GAS LINE, GAS VALVE	PROP. LIGHT POLE
SANITARY SEWER LATERAL	PROP. CHAIN LINK FENCE
STORM SEWER - INLET	PROP. WOOD FENCE
SOILS BOUNDARY	PROP. TYPE C INLET
PROPERTY CORNER	PROP. TYPE C INLET
UTILITY POLE	PROP. STORM MANHOLE
FIRE HYDRANT	PROP. CONCRETE FLARED END SECTION
	PROP. STORM PIPE
	PROP. BRIDGE PIPE OUTFALL APRON
	PROP. CONTOUR
	PROP. SPOT ELEVATION

SOIL TYPES:	SOILS DESCRIPTION AND LIMITATIONS:
* (H) BeB - Berks cherterty silt loam, 3 to 8% slopes	1. Soils will require fine and organic matter for the topsoil
* (H) BeC - Berks shaly silt loam, 8 to 13% slopes	2. Soils are erodible
* (H) BbB - Brifton silt loam, 3 to 8% slopes	3. Soils are erodible to concrete and steel
* (H) BbA - Brifton silt loam, 0 to 3% slopes	4. Soils are susceptible to cone or slope failure due to excavation.
* - INDICATES SOIL TYPES PRESENT IN THE AREA OF DISTURBANCE.	5. Soils are susceptible to frost heave.
(H) - INDICATES HYDRIC SOIL	6. Presence of groundwater.
	7. Potential slow percolation rates.

- RESOLUTIONS TO SOIL LIMITATIONS:**
- Provide soil amendments to adjust pH and add organic to topsoil.
 - Install infiltration systems where a minimum of 2 feet separation is proposed for infiltration systems and where percolation rates are acceptable for infiltration systems.
 - The weathered bedrock can be excavated using conventional hydraulic excavating equipment. According to the soil investigation all weather bedrock elevations encountered will be a minimum of 5 feet below
 - Imbed grade.
 - Interior and exterior finish grades shall be specified for pre-cast concrete structures.
 - Interior and exterior finish grades shall be specified for pre-cast concrete structures.
 - All excavations shall be sloped or temporarily supported per OSHA standards. Finished grade slopes shall have a maximum grade of 3:1 and shall be permanently stabilized.
 - Provide well drained aggregate sub-base material below concrete sidewalks.

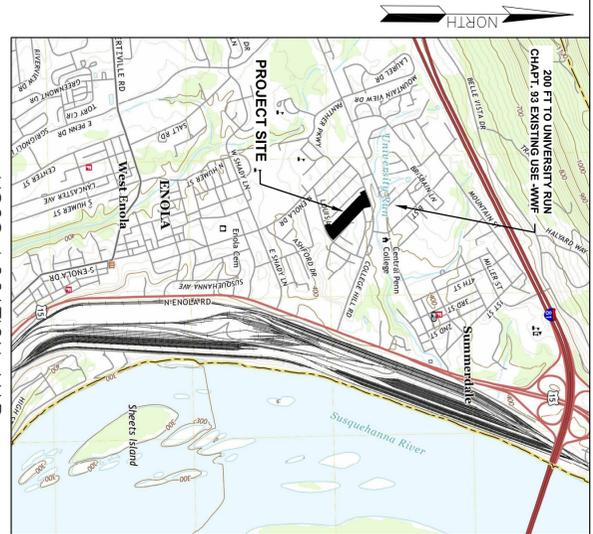
- MAINTENANCE NOTES & SPECIAL INSTRUCTIONS:**
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS (SEE DRAWING NO. ES01). IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
 - ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILLS, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS/WASTES.
 - UNDERGROUND UTILITIES CROSSING THROUGH ANY ACTIVE CHANNEL SHALL BE PROTECTED BY A CONCRETE COVER OR OTHER PROTECTIVE MEASURES. ORIGINAL CROSS-SECTION AND PROTECTIVE LINING, ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONNECTED PAST THE WORK AREA IN THE MANNER ACCEPTABLE TO THE CUMBERLAND COUNTY CONSERVATION DISTRICT (CCCD) UNTIL SUCH RESTORATION IS COMPLETE.
 - CHANNELS HAVING RIPRAP, REND MATRESS, OR CARBON LININGS MUST BE SURFACED AFTER EXCAVATION SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER PLACEMENT OF THE PROTECTIVE LINING.
 - SEWAGE BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLUTE THE SURFACE WATERS.
 - CONSTRUCTION SHALL BE PROTECTED FROM UNAUTHORIZED ACTS BY THIRD PARTIES.
 - ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, CUMBERLAND COUNTY CONSERVATION DISTRICT AND THE OWNER OF THE DAMAGED PROPERTY.
 - AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP DETENTION STRUCTURE SHALL BE SUBMITTED TO THE CUMBERLAND COUNTY CONSERVATION DISTRICT FOR REVIEW AND APPROVAL.
 - EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
 - FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROCKS, OR OTHER OBJECTS/VEGETATION. ORGANIC MATERIAL, LARGE STONES, AND OTHER QUESTIONABLE MATERIALS SHALL BE REMOVED FROM THE AREA TO BE COMPACTED IN MAXIMUM 12-INCH LAYERED LIFTS AT 95% DENSITY. THIS DOES NOT APPLY TO AREAS THAT HAVE BEEN IDENTIFIED AS AREAS TO BE GRADED WITH LIGHT EQUIPMENT.

UTILITY TRENCHING NOTES:

- ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSURE THAT ALL TRENCH EXCAVATIONS BE ADEQUATELY STABILIZED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, STATE, MUNICIPAL, AND ANY OTHER LOCAL AGENCY CODES OF SAFE PRACTICE REGARDING SUPPORT REQUIREMENTS.
- LIMIT ADVANCE CLEARING AND GROUNDING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.
- TRENCH PILES WILL BE SPACED IN ACCORDANCE WITH THE TABLE AND BE CONSTRUCTED OF MATERIALS AND TO THE SPECIFICATIONS SHOWN IN THE DETAIL.
- WATERS WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. THE SEEPAGE WILL BE PUMPED TO A FACILITY FOR REMOVAL OF SEDIMENT. THIS FACILITY MUST BE LOCATED OUTSIDE OF THE CHANNEL. IF EXCAVATION TRENCHES ARE UNDERNEATH OR ADJOINING SMALL STREAMS, THE DETAIL "PUMPED WATER FILTER BAG" ILLUSTRATES THE FACILITY TO BE USED.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND THE APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. STABILIZING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.

DRAWING INDEX

ES01	EROSION & SEDIMENT POLLUTION CONTROL PLAN COVER SHEET
ES02	EROSION & SEDIMENT POLLUTION CONTROL DETAIL-1
ES04	EROSION & SEDIMENT POLLUTION CONTROL DETAIL-2
ES05	EROSION & SEDIMENT POLLUTION CONTROL DETAIL-3

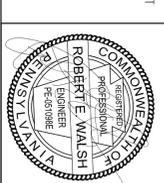
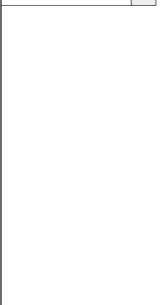


USGS LOCATION MAP

Scale: 1" INCH = 2000 FEET

PA ONE CALL

PA ONE CALL ID NUMBER FOR THIS JOB IS 2018970811-DESIGN. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DRAWINGS, AND/OR SURFACE EVIDENCE ONLY, AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AT LEAST 48 HOURS PRIOR TO EXCAVATION AS REQUIRED BY PA ACT 187 (1991).



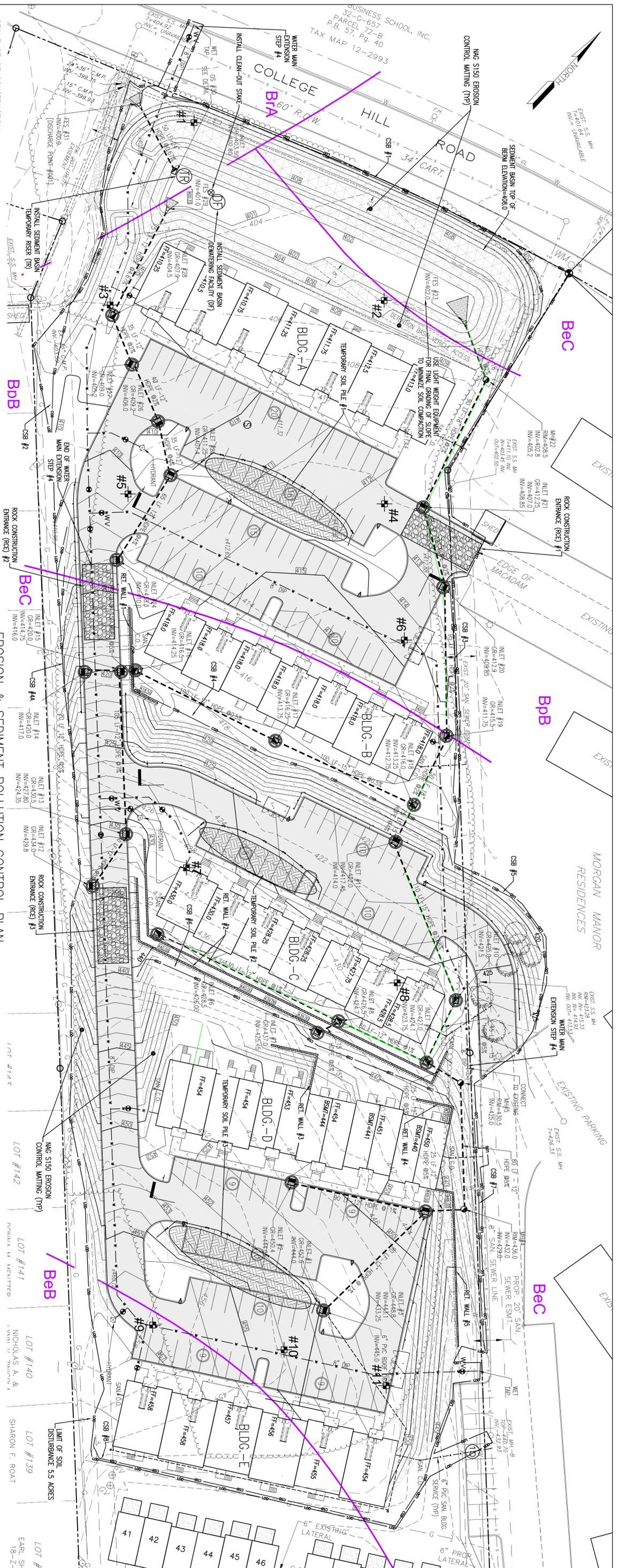
APPLICANT/OWNER:
AUTUMNDALE ASSOCIATES, LLC
C/O ELI PROPERTIES, INC.
8 BERKSHIRE AVENUE
CELEBRATION, MO 65015
973-775-7777

SITE ADDRESS:
AUTUMNDALE APARTMENT
SPRING LANE
EAST PENNSBORO TOWNSHIP
CUMBERLAND COUNTY, PA

PLANNING & ENGINEERING:
RWA
Robert Walsh Associates, LLC
701 NEW BRUNSWICK AVE
PHILADELPHIA, PA 19106
TEL: (908) 424-0400
FAX: (908) 424-7853

DRAWING INDEX

DRAWN BY:	PROJECT NO.:	DATE:
SCA	17-759	1 JUNE 18
CHECKED BY:	SCALE:	DRAWING NO.:
REW	AS NOTED	ES01
ID: RELAY NO.:		
RR9999.76		



SEQUENCE OF CONSTRUCTION

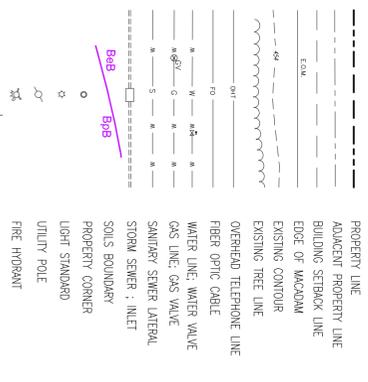
CONSTRUCTION SHALL COMMENCE IN THE SUMMER OF 2021. THE CUMBERLAND COUNTY CONSERVATION DISTRICT (CCCD) AT 7:17-240-6100 SHALL BE GIVEN SEVEN (7) DAYS NOTICE PRIOR TO THE START OF CONSTRUCTION BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES MUST BE PLANNED TO MINIMIZE THE GENERAL EXTENT OF THE EARTH EXPOSURE TO EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY UPON THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE STABILIZED WITHIN A 24-HR PERIOD OR WHEN A MEASURABLE RAINFALL EVENT IS IMMINENT. CONSTRUCTION SHALL REFER TO DRAWING ES03 FOR CONSTRUCTION SEQUENCING NOTES.

EROSION & SEDIMENT POLLUTION CONTROL PLAN

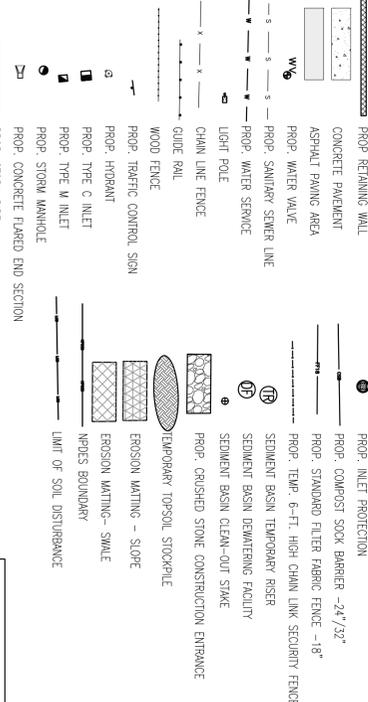


1. INSTALL COMPOST SOCK BARRIER (CSB) #1, #2 & #3.
2. INSTALL THE ROCK CONSTRUCTION ENTRANCE (RCE) #1.
3. CLEAR TREES.
4. INSTALL WATER MAIN EXTENSION.
5. STRIP TOPSOIL AND STOCK PILE AT TOPSOIL PILE #1.
6. BEGIN DETENTION BASIN/ SEDIMENT BASIN CONSTRUCTION.
7. INSTALL NEW STORM DRAINAGE SYSTEM FROM INLET #16 TO FES #31 AND INLET #24 TO FES #29.
8. BEGIN INLET PROTECTION.
9. BEGIN BUILDING FOUNDATION CONSTRUCTION FOR BUILDINGS A & B.
10. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
11. INSTALL CURBS AND PAVEMENT SURFACE.
12. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
13. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
14. INSTALL ASPHALT BASE COURSE & SIDEWALKS BETWEEN BUILDINGS A & B.
15. INSTALL COMPOST SOCK BARRIER (CSB) #4 & #4A.
16. INSTALL THE ROCK CONSTRUCTION ENTRANCE (RCE) #2.
17. CLEAR TREES.
18. INSTALL WATER MAIN EXTENSION.
19. STRIP TOPSOIL AND STOCK PILE AT TOPSOIL PILE #2.
20. CONSTRUCT RETAINING WALLS #1 AND #2.
21. BEGIN NEW STORM DRAINAGE SYSTEM FROM INLET #6 THROUGH #18 ALONG WITH INLET PROTECTION.
22. BEGIN BUILDING FOUNDATION CONSTRUCTION FOR BUILDING C.
23. INSTALL OUTLET LINES FOR GAS, ELECTRIC, WATER & SEWER FOR BUILDING C.
24. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
25. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
26. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
27. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
28. INSTALL COMPOST SOCK BARRIER (CSB) #5, #6, #7 & #8.
29. INSTALL THE ROCK CONSTRUCTION ENTRANCE (RCE) #3.
30. CLEAR TREES.
31. INSTALL WATER MAIN EXTENSION TO SPRING LAKE.
32. STRIP TOPSOIL AND STOCK PILE AT TOPSOIL PILE #3.
33. CONSTRUCT RETAINING WALLS #5.
34. BEGIN BUILDING FOUNDATION CONSTRUCTION FOR BUILDINGS D & E, INCLUDING RETAINING WALLS #3 AND #4.
35. INSTALL OUTLET LINES FOR GAS, ELECTRIC, WATER & SEWER FOR BUILDINGS D & E.
36. INSTALL ASPHALT BASE COURSE & SIDEWALKS FOR BUILDINGS D & E.
37. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
38. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
39. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
40. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.
41. PERMANENTLY STABILIZE EXTERIOR OF DETENTION BASIN BERM.

LEGEND OF EXISTING FEATURES



LEGEND OF PROPOSED FEATURES



PROJECT: AUTUMNDALE PHASE II RESIDENTIAL LAND DEVELOPMENT APPLICATION		DATE: 16 JAN 20	
CLIENT: RWA Robert Walsh Associates, LLC 701 NEW BRUNSWICK AVE PHILADELPHIA, PA 19106 TEL: (215) 382-1000 FAX: (983) 454-7863		REVISIONS:	
LOCATION: EAST PENSACOLA TOWNSHIP CUMBERLAND COUNTY, TN		ISSUE FOR TOWNSHIP & COUNTY FC APPROVAL: 14 APR 20	
DRAWING TITLE: EROSION & SEDIMENT POLLUTION CONTROL PLAN COVER SHEET		ISSUE FOR ZHB APPROVAL: 16 JAN 20	
SCALE: AS NOTED	PROJECT NO.: 17-759	CHECKED BY: REW	DATE: 1 JUNE 18
DRAWING NO.: ES02	PROJECT NO.: 17-759	SCALE: AS NOTED	DATE: 1 JUNE 18
PROJECT NO.: R09939.76			