

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Hampden</u>	Surveyor/ Engineer:	<u>Frederick Seibert & Assoc., Inc.</u>	Owner/ Developer:	<u>Vibrant Christian Church</u>
Plat Title:	<u>Vibrant Church</u>				
Plat Status:	<u>P/Final</u>	Plat Type:	<u>LD</u>		
# of New Lots:	<u>0</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>0</u>
				Total Tract Acreage:	<u>24</u>
Zoning District:	<u>R-C</u>		Proposed Land Use:	<u>Church</u>	
Date Received:	<u>5/11/2020</u>	County Review:	<u>5/15/20</u>	Reviewed by:	<u>KS</u>
				Checked by:	<u>EG</u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The applicant requested a waiver of Chapter 22-403.2.A. The Cumberland County Recorder of Deeds accepts plans greater in size than 18X24. The waiver should be approved.
2. Zoning 606.1 – The existing and proposed lot coverage should be shown in the site data table on page 2.
3. SALDO 402.2.L – The entire tract boundary should be shown on the plan.
4. SALDO 511.3 – Previously paid recreation contribution evidence required or waiver approved.
5. Location of pole mounted lights should be shown on the plan.

SIGNATURES

CUMBERLAND COUNTY PLANNING DEPARTMENT

Reviewed by the Cumberland County Planning Department on this _____ day of _____, 2020.

Director of Planning

RECORDER OF DEEDS

This plan was recorded in the Cumberland County Courthouse on this _____ day of _____, 2020.
Instrument Number: _____

TOWNSHIP PLANNING COMMISSION

Recommended for approval by the Hampden Township Planning Commission this _____ day of _____, 2020.

Chairman

Secretary

TOWNSHIP BOARD OF COMMISSIONERS

Approved by the Hampden Township Board of Commissioners and all conditions imposed with respect to such approval were completed on this _____ day of _____, 2020.

President

Secretary

HAMPDEN TOWNSHIP

Reviewed this _____ day of _____, 2020.

Director of Public Works: _____

The stormwater management system as shown on this plan is adequate to meet the requirements of the Hampden Township Ordinances.

Justin Doty, P.E. _____ Date _____

The stormwater management facilities (including but not limited to swales, piping, BMPs) or any part thereof will be maintained by the owner as per Hampden Township requirements. Every contract for the sale of a lot containing a stormwater management facility or part thereof shall contain a statement in the contract clearly indicating to the buyer the maintenance, inspection, reporting requirements, and the associated restrictions of the stormwater facility or part thereof. This requirement also shall be stated in the deed of the lot.

Owner: Vibrant A Christian Church Pastor Don Hamilton _____ Date _____

OWNER'S STATEMENT

It is hereby certified that the undersigned has legal or equitable title to the land shown. All roads or streets shown hereon if not previously dedicated, are hereby offered for public use.

Owner: Vibrant A Christian Church Pastor Don Hamilton _____ Date _____

Recorded under Instrument#: 201829472

OWNER'S STATEMENT OF ACKNOWLEDGEMENT

It is hereby certified that the undersigned has legal or equitable title to the land shown hereon, and all streets, if not previously dedicated, are hereby dedicated to the public.

Owner: Vibrant A Christian Church o/o Pastor Don Hamilton _____ PROPERTY ID #: 10-15-1279-006

Signature _____

Date _____

State of: _____

County of: _____

On this _____ day of _____, 2020, Before Me _____
The Undersigned Officer, Personally Appeared

Known to me to be the person(s) whose name is subscribed above and acknowledge that they executed the same for the purpose hereon contained.

In witness whereof, I hereunto set my hand and official seals.

Notary Public _____

ENGINEER'S CERTIFICATION

THE ENGINEER/SURVEYOR HAS BEEN TO THE SITE AND OBSERVED THE PRESENT CONDITION AND THE PLAN INDICATES THE ACTUAL CONDITION OF THE PLAN, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT IS TRUE AND CORRECT, AND THE TOWNSHIP MAY RELY UPON THE ACCURACY THEREOF.

PROFESSIONAL ENGINEER _____

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Pennsylvania, License No. PE080613, Expiration Date: 09-30-2021.

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

for

VIBRANT CHURCH MULTI-USE EXPANSION

Situated between I-81 and Hunters Drive, south of the intersection of Hunters Drive and Lambs Gap Road

Hampden Township
Cumberland County, Pennsylvania

OWNER:

Vibrant A Christian Church
c/o Pastor Don Hamilton and Jamie Keener
1775 Lambs Gap Road
Mechanicsburg, PA 17050

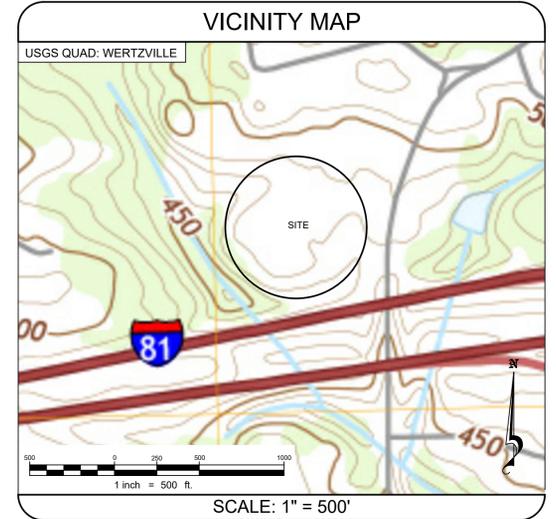
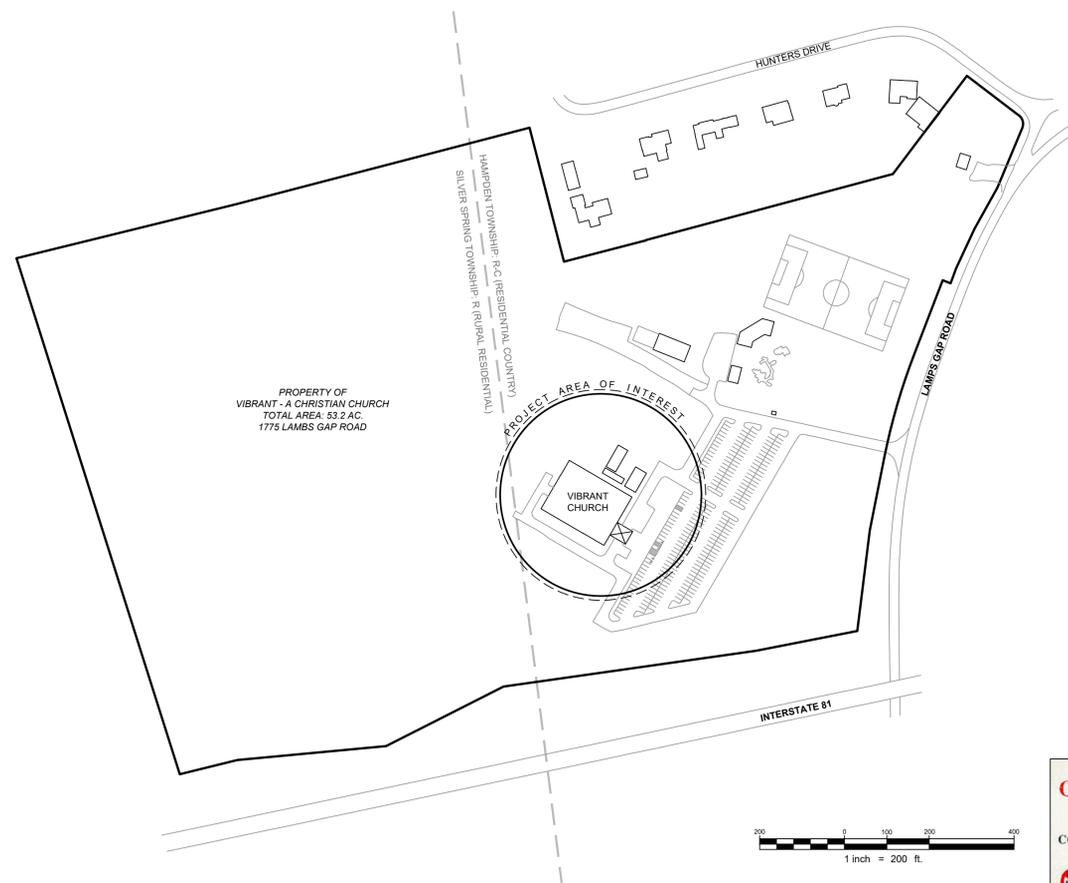
Site Engineering & Land Surveying By:

FREDERICK SEIBERT & ASSOCIATES, INC. © 2020

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS

128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
505 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013
5201 SPRING ROAD, SHERMANS DALE, PENNSYLVANIA 17090

(301) 791-3650 (717) 597-1007 (717) 701-8111 (717) 567-3680 fsa-md.com



SHEET INDEX

TYPE	NUMBER	TITLE
G-001	SHEET 1	COVER SHEET
G-002	SHEET 2	GENERAL NOTES
V-101	SHEET 3	SITE CONTEXT PLAN
C-101	SHEET 4	DEMOLITION PLAN
C-102	SHEET 5	LAYOUT & DIMENSION PLAN
C-103	SHEET 6	GRADING & UTILITY PLAN
C-201	SHEET 7	PROFILES
L-101	SHEET 8	LANDSCAPE PLAN
C-501	SHEET 9	SITE DETAILS & NOTES
ESC-001	SHEET 1	EROSION & SEDIMENT CONTROL PLAN COVER SHEET
ESC-002	SHEET 2	EROSION & SEDIMENT CONTROL PLAN
ESC-003	SHEET 3	EROSION & SEDIMENT CONTROL DETAILS & NOTES
ESC-004	SHEET 4	EROSION & SEDIMENT CONTROL DETAILS & NOTES
PCSM-001	SHEET 1	POST CONSTRUCTION SWM COVER SHEET
PCSM-002	SHEET 2	POST CONSTRUCTION SWM PLAN
PCSM-003	SHEET 3	POST CONSTRUCTION SWM DETAILS & NOTES
PCSM-004	SHEET 4	POST CONSTRUCTION SWM DETAILS & NOTES

WAIVERS

- A waiver has been requested for the following:
- Chapter 22, Section 304.2.A: Submission of Preliminary Plans
 - Chapter 22, Section 303.2: Plan Filing Fees
 - Chapter 22, Section 403.2.A: 18" x 24" Maximum Plan Sheet Size

LAND DEVELOPMENT NOTES

- The purpose of this plan is to expand the existing Vibrant Church facility with a proposed 7,700 sq. ft. addition. Along with this addition there will be a new parking lot, 2 new drop-off areas at the new entrances, utility upgrades, stormwater management area expansion and on-site existing modular relocation.
- The property boundary and land survey information for the Vibrant Church property was provided by FSA by Herbert, Rowland and Grubic, Inc. The field survey was performed between August - October 2017. All site feature locations, takeoffs, dimensioning, etc. shown hereon are based on this survey information.

INVENTORY OF REQUIRED PERMITS/APPROVALS

AGENCY	DATE SUBMITTED	PERMIT NO.	APPROVAL DATE
CUMBERLAND COUNTY PLANNING COMMISSION	5/8/2020		
CUMBERLAND COUNTY CONSERVATION DISTRICT	05-08-2020		

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

POCS SERIAL NUMBER _____

PA1 SYSTEM, INC. 1-800-242-1776

DESCRIPTION	DATE	GRADING CHK BY:	DATE:	PROJECT NUMBER:
Initial submission to Township and County agencies	05-08-2020	JTD	05-05-2020	50211
		SEC CHK BY:	DATE:	
		JTD	05-05-2020	
		SWM CHK BY:	DATE:	
		JTD	05-05-2020	
		PLAN CHK BY:	DATE:	
		JTD	05-05-2020	

COVER SHEET

G-001

SHEET 1 OF 9

ZONING DATA	
ZONING ORDINANCE	Hampden Township
ZONING DISTRICT	R-C (Residential Country)
EXISTING USE	Church or similar place of worship (Considered Conditional Use under R-C District)
PROPOSED USE	Church or similar place of worship
PROPERTY AREA	±24 ac.
INSTRUMENT #	201829472
PROPERTY ID #	10-15-1279-006
PROPERTY ADDRESS	1775 Lambs Gap Rd, Mechanicsburg, PA 17050
LOT REQUIREMENTS	
BUILDING HEIGHT LIMITS	No building shall be erected to a height in excess of 35 feet; provided, however, that this height may be increased 1 foot for each additional foot that the width of each yard exceeds the minimum required. All yards shall ex-ceed the minimum by the number of feet proposed to be added to the maximum height of 35 feet
LOT AREA AND WIDTH	Public Sewer: Each single family, detached dwelling shall be located on a lot with an area of not less than 30,000 square feet and lot width of not less than 100 feet along the street line and not less than 150 feet at the building line. Private Sewer: Each single family, detached dwelling shall be located on a lot with an area of not less than 40,000 square feet and a lot width of not less than 100 feet along the street line and not less than 150 feet at the building line. The maximum lot coverage of any lot in this zoning district shall be 20% of the total area of said lot less any additional area required to be free of impervious material as part of the stormwater management facilities required by the Township. Any portion of a lot not covered with impervious material and not required to be otherwise developed as part of the stormwater management facilities required by this Township shall be planted and maintained with vegetative material. For any subdivision of two or more lots which provides a minimum of 20 percent of the subdivided tract in contiguous permanent open space in a configuration approved at the sole discretion of the Board of Commissioners, the maximum lot coverage of any lot in the subdivided tract may be 40 percent of the total area of said lot. Front - 50 ft. Side - 20 ft. Rear - 35 ft. The exterior side yard of a corner lot shall not be less than 50 feet, 9 ft. x 19 ft.
LOT COVERAGE	Church: 1 space per 3 seats, Multi-use 1 space per 200 SF
YARDS	
SIDE YARDS OR CORNER LOTS	
PARKING SPACE SIZE	
PARKING DEMAND	

SITE DATA	
TOTAL PROPERTY AREA	± 24.0 ac.
SITE AREA	± 2.0 ac.
PROPOSED ADDITIONAL IMPERVIOUS COVERAGE	± 1.0 ac.
PROPOSED BUILDING HEIGHT	<35 ft.
PROPOSED BUILDING COVERAGE	7,700 sq. ft.
PROPOSED SITE LIGHTING	Pole lights and building mounted
EXISTING PARKING SPACES	238 parking spaces 12 handicap spaces
PARKING SPACE REQUIREMENTS	700 existing seats; 700/ 3= 234 spaces 6,200 SF additional meeting space: 6,200/ 200=31 spaces
additional parking	265 spaces
TOTAL REQUIREMENT	38 additional parking spaces in new lot 6 existing handicap spaces removed
PROPOSED PARKING SPACE ADJUSTMENTS	4 additional handicap parking spaces in new lot 276 parking spaces 10 handicap spaces
PROPOSED PARKING SPACE TOTAL	286 total parking spaces

ABBREVIATION LEGEND	
AASHTO = AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	N.T.S. = NOT TO SCALE
ADS = ADVANCED DRAINAGE SYSTEM	O.A.E. = OR APPROVED EQUAL
ASTM = AMERICAN SOCIETY FOR TESTING & MATERIAL	O.C. = ON CENTER
AWWA = AMERICAN WATER WORKS ASSOCIATION	PC = POINT OF CURVE
BLDG = BUILDING	PCC = POINT OF COMPOUND CURVE
BOT = BOTTOM	PGL = PROPOSED GRADE LINE
CIP = CAST IRON PIPE	PRC = POINT OF REVERSE CURVE
CL = CENTERLINE	PT = POINT OF TANGENT
CMP = CORRUGATED METAL PIPE	PVC = POINT OF VERTICAL CURVE
CO = SANITARY SEWER CLEAN-OUT	PVI = POINT OF VERTICAL INTERSECTION
CONC = CONCRETE	PVT = POINT OF VERTICAL TANGENT
DA = DRAINAGE AREA	R/W = RIGHT-OF-WAY
DIA = DIAMETER	SAN = SANITARY
EGL = EXISTING GRADE LINE	SCE = STABILIZED CONSTRUCTION ENTRANCE
EX = EXISTING	SDR = STANDARD DIMENSION RATIO
FH = FIRE HYDRANT	SDMH = STORM DRAIN MANHOLE
GV = GATE VALVE	SF = SQUARE FEET
HGL = HYDRAULIC GRADE LINE	SSMH = SANITARY SEWER MANHOLE
HDPE = HIGH DENSITY POLYETHYLENE	STA = STATION
INV = INVERT	STD = STANDARD
LF = LINEAR FEET	SY = SQUARE YARDS
MAX = MAXIMUM	T.A.N. = TYPE AS NOTED
MB = MAIL BOX	TEMP = TEMPORARY
MIN = MINIMUM	TG = TOP OF GRATE
MJ = MECHANICAL JOINT	TYP = TYPICAL
NO = NUMBER	VIF = VERIFY IN FIELD
N.T.C. = NOT THIS CONTRACT	WM = WATER VALVE

GENERAL NOTES	
1. Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor to Hampden Township's specifications and satisfaction.	
2. No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.	
3. FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction. Contractor to contact PA One Call System Inc. at (800) 242-1776	
4. The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.	
5. Utility easements are offered for dedication to their respective Authority upon approval and acceptance of said respective authority.	
6. No trees, shrubs, fences, buildings, or improvements are permitted within the 100' clear sight triangles at any street intersection, existing or proposed.	
7. No trees, shrubs, fences, buildings, or improvements are permitted within any easements, existing or proposed, unless otherwise shown on this plan.	
8. The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.	
9. All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or unneeded if required.	
10. The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:	
PA One Call System (800) 242-1776	
Hampden Township (717) 761-0119	
Cumberland County Conservation District (717) 240-7812	
Hampden Utility Department (717) 909-7145	
11. All underground utilities including, but not limited to, water, sewer, gas, electric are shown as approximate based on best available records. Contractor must verify these utilities prior to digging and must use PA One call in advance.	
12. The contractor shall be responsible for coordination of his construction with the construction of other contractors.	
13. The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.	
14. The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.	
15. Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.	
16. The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project.	
17. The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.	
18. Erosion and sediment control measures shall be installed per erosion and sediment control plans, details and specifications.	
19. It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.	
20. A copy of the approved erosion and sediment control plan & report must be available at the project site at all times.	
21. Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.	
22. Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.	
23. Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.	
24. All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.	
25. The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.	
26. This site is underlain with karst geology and there is an elevated risk of sinkhole formation. Contractor to consult geotechnical recommendations for repair of a sinkhole.	
27. Site benchmark is shown on C-101 Demolition Plan (Sheet 4) as an existing stormdrain inlet at elevation 483.12.	
28. There are no known wetlands within the proposed site area according to on-site observations by experienced wetland professionals.	

SURVEY NOTES	
Below are survey notes provided by HRG in reference to their site survey and the survey information that was provided to FSA.	
1. Subject property/ right of way lines depicted on this plan have been established based upon evidence obtained through the performance of a field run boundary survey by Herbert, Rowland and Grubic, Inc. on 8/22/17 through 10/30/17. Referencing the following documents of record maintained by Cumberland County offices and PennDOT District 8:	
a. Current deed of record instrument# 201829472	
b. Plan book 37 page 148	
c. PennDOT right of way plans for L.R. 1005 (I-81)	
2. This survey horizontally references the North American datum of 1983 (NAD 83 NSRS 2011) PA south zone, US survey feet, determined through GNSS methods based upon positional information referenced through the KEYNETGPS GNSS VRS network.	
3. The vertical datum is based on the North American vertical datum of 1988 (NAVD 88). Derived through GNSS methods based upon positional information referenced through the KEYNETGPS GNSS VRS network. Datum referenced project bench mark is a chisled square cut on a light standard base as shown on plan with an elevation of 485.76 feet.	
4. Topographic existing conditions and contours shown are derived from a photogrammetric survey performed by T3 global strategies on 9/24/17.	
5. Wetlands depicted were delineated by a qualified wetland scientist.	
6. This plan was prepared without the benefit of a title report and may be subject to easements and other restrictions, either recorded or unrecorded. The surveyor has made no investigation or independent search for easement of record, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose other than what is shown on this plan.	
7. The locations of utilities as shown hereon are based on above ground features, field observations/survey, and record drawings provided by utility companies. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures. It shall be the contractors responsibility to field verify the exact location and depth of all utility lines prior to the start of any construction activities.	
8. Prior to the commencement of any construction activities, the contractor shall contact all utility companies in compliance with Act 187 to verify the exact location of all underground utilities. A PA One Call was performed prior to field surveying, serial no. 20172330529 and 20172330530	
9. The site developer shall be responsible to coordinate with a professional land surveyor to set all proposed boundary monumentation at the completion of construction.	

LEGEND		
EXISTING FEATURES		PROPOSED FEATURES
	SUBJECT BOUNDARY	
	ADJOINING BOUNDARY	
	CONTOUR (INDEX)	
	CONTOUR (INTERMEDIATE)	
	TREELINE	
	EDGE OF WATER	
	FLOW LINE	
	CENTERLINE	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL	
	EDGE OF CONCRETE	
	CONCRETE CURB	
	GUARD RAIL	
	FENCE LINE	
	ELECTRIC LINE (UNDERGROUND)	
	ELECTRIC LINE (OVERHEAD)	
	GAS LINE	
	SANITARY SEWER	
	SANITARY SEWER FORCE MAIN	
	STORM DRAIN	
	TELEPHONE LINE	
	WATER LINE	
	FIRE WATER LINE	

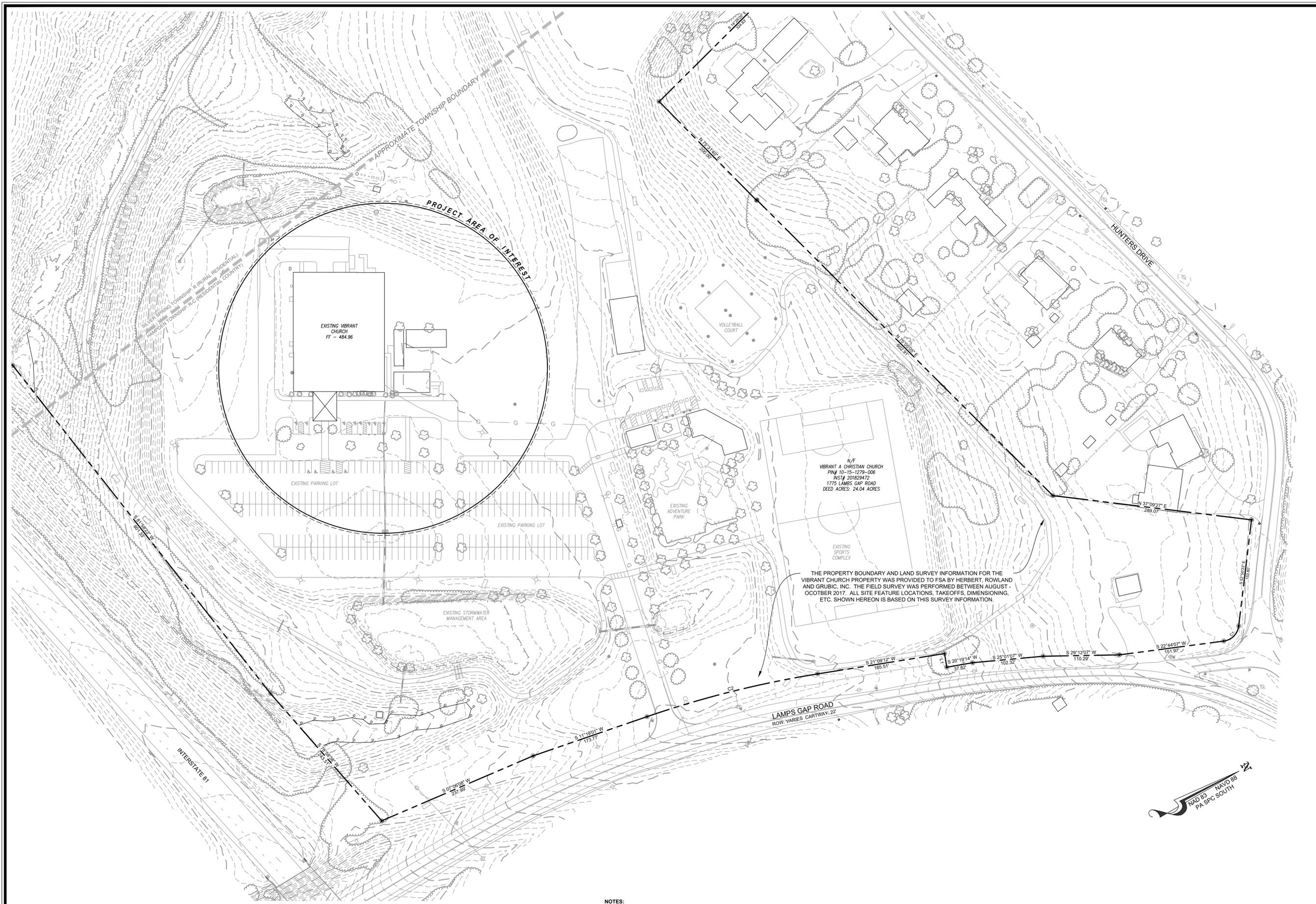
LEGEND		
EXISTING FEATURES		PROPOSED FEATURES
	FIRE HYDRANT	
	WATER GATE VALVE	
	WATER METER SINGLE / DOUBLE	
	WATER METER VAULT	
	CAP / PLUG, REDUCER, BEND	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER STUB	
	SANITARY SEWER CLEAN-OUT	
	SANITARY SEWER METER SINGLE / DOUBLE	
	STORM DRAIN INLET	
	STORM DRAIN MANHOLE	
	STORM DRAIN END SECTION	
	STORM DRAIN HEADWALL	
	UTILITY POLE	
	LIGHTING	
	GAS VALVE	
	CONCRETE BOLLARD	
	HANDICAP PARKING SYMBOL	
	ROAD SIGN	
	SITE SIGN	
	CONCRETE WHEEL STOP	
	PARKING SPACE COUNT	
	SPOT ELEVATION	
	BUILDING / HOUSE	
	CONTROL POINT	
	DETAIL REFERENCE	
	SITE BENCHMARK SURVEY WORK POINT ELEV. #	

FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LIGHT PLANNERS
 500 SOUTH HANOVER STREET, GREENCASTLE, PENNSYLVANIA 17025
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17025
 500 SPRING ROAD, SUITE 3, SHEPPARDSTOWN, PENNSYLVANIA 17190

VIBRANT CHURCH MULTI-USE EXPANSION
 Situated between I-81 and Hunters Drive
 along the intersection of Hunters Drive and Lambs Gap Rd.
 Hampden Township
 CUMBERLAND COUNTY, PENNSYLVANIA

UNDER AGENCY REVIEW - NOT APPROVED FOR CONSTRUCTION

PROJECT NO:	50211
CAD DWG FILE:	50211-02 General Notes
OWN BY:	RCH
DATE:	10-11-2019
CHK BY:	JTD
DATE:	05-05-2020
PROPERTY ID #:	10-15-1279-006
SCALE:	NTS
SHEET TITLE:	GENERAL NOTES
G-002	
SHEET 2 OF 9	

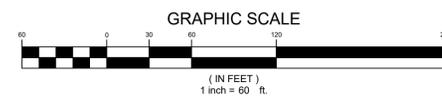


THE PROPERTY BOUNDARY AND LAND SURVEY INFORMATION FOR THE VIBRANT CHURCH PROPERTY WAS PROVIDED TO FSA BY HERBERT, ROWLAND AND GRUBIC, INC. THE FIELD SURVEY WAS PERFORMED BETWEEN AUGUST - OCTOBER 2017. ALL SITE FEATURE LOCATIONS, TAKEOFFS, DIMENSIONING, ETC. SHOWN HEREON IS BASED ON THIS SURVEY INFORMATION.

- NOTES:**
- Subject property/ right of way lines depicted on this plan have been established based upon evidence obtained through the performance of a field boundary survey by Herbert, Rowland and Grubic, Inc. on 8/22/17 through 10/30/17. Referencing the following documents of record maintained by Cumberland County offices and PennDOT District 8:
 - Current deed of record instrument # 201829472
 - Plan book 37 page 148
 - PennDOT right of way plans for L.R. 1005 (I-81)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	32.98'	25.00'	75° 34' 40"	S 15° 03' 13" E	30.64'
C2	1254.09'	11483.39'	12° 50' 11"	S 16° 14' 07" W	254.18'

LINE BEARING	DISTANCE
L1	N 69° 02' 53" W 20.00'



FREDERICK & SEIBERT ASSOCIATES, INC. P.E.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225
 3001 SPRING ROAD, SUITE 2, SHERMANSDALE, PENNSYLVANIA 17080
 (301) 791-3300 (301) 416-4218 (717) 981-0097 www.fsa-inc.com

UNDER REVIEW - NOT APPROVED FOR CONSTRUCTION

VIBRANT CHURCH MUTLI-USE EXPANSION

PROJECT NO: 50211

DATE: _____

DESCRIPTION: _____

MARK: _____

DATE: _____

PROJECT NO: 50211

DATE: 10-11-2019

CAD DWG FILE: 50211-03 Site Context Plan

DATE: 05-05-2020

DWN BY: CMC

DATE: 10-11-2019

CHK BY: JTD

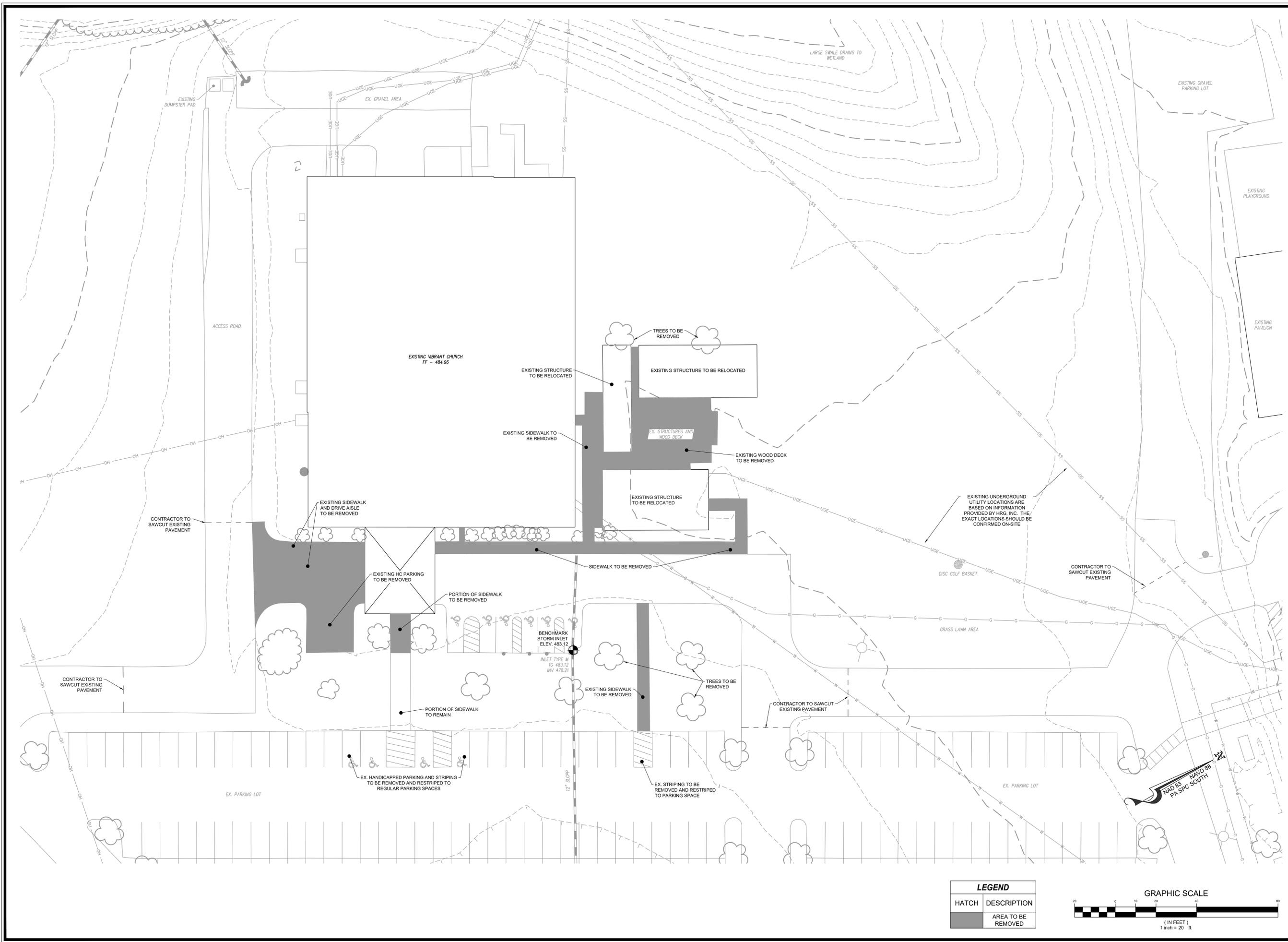
DATE: 05-05-2020

PROPERTY ID # 10-15-1279-006

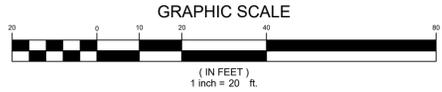
SCALE: 1" = 60'

SHEET TITLE: SITE CONTEXT PLAN

V-101 SHEET 3 OF 9



LEGEND	
HATCH	DESCRIPTION
	AREA TO BE REMOVED



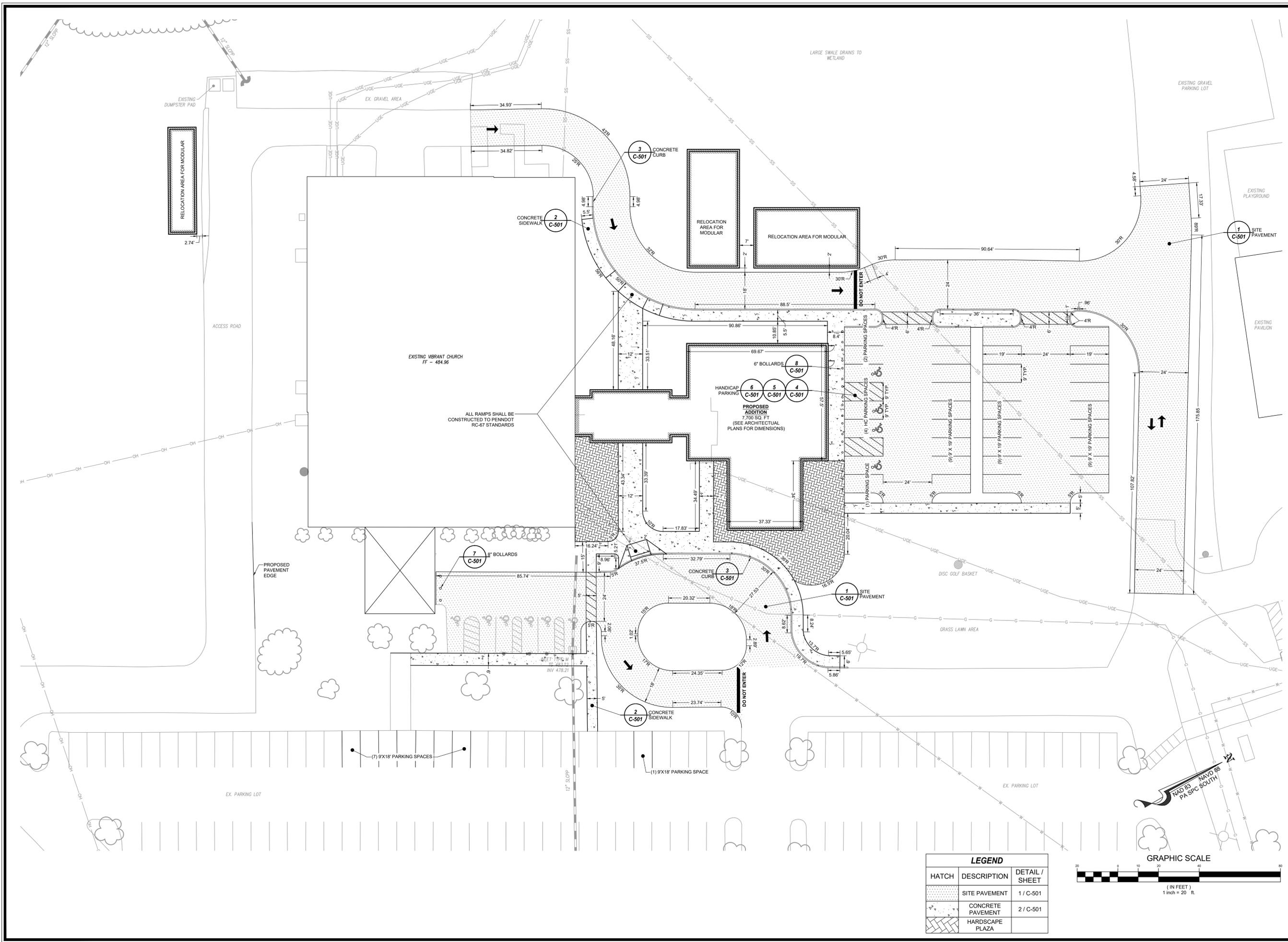
FREDERICK & SEIBERT ASSOCIATES, INC.
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
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 5201 SPRING ROAD, SUITE 2, SHERMANSDALE, PENNSYLVANIA 17090
 (717) 791-3660 (717) 961-0367 www.fsa-inc.com

UNDER REVIEW - NOT APPROVED

DATE	DESCRIPTION

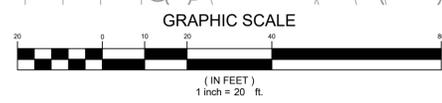
VIBRANT CHURCH MULTI-USE EXPANSION
 Situated between L&I and Hunko Drive
 South of the intersection of Hunko Drive and L&I Road
 HANOVER, PENNSYLVANIA
 COMBERLAND COUNTY, PENNSYLVANIA
 Vibrant Church, c/o Pastor John Hamilton, James Keener
 1775 Lamps Gap Road, Mechanicsburg, PA 17050
 717-732-1882

PROJECT NO: 50211	
CAD DWG FILE: 50211-04 Demo Plan	
DWN BY: CMC	DATE: 10-11-2019
CHK BY: JTD	DATE: 05-05-2020
PROPERTY ID #: 10-15-1279-006	
SCALE: 1" = 20'	
SHEET TITLE: DEMOLITION PLAN	
C-101	
SHEET 4 OF 9	



LEGEND

HATCH	DESCRIPTION	DETAIL / SHEET
[Stippled Pattern]	SITE PAVEMENT	1 / C-501
[Cross-hatched Pattern]	CONCRETE PAVEMENT	2 / C-501
[Diagonal Line Pattern]	HARDSCAPE PLAZA	



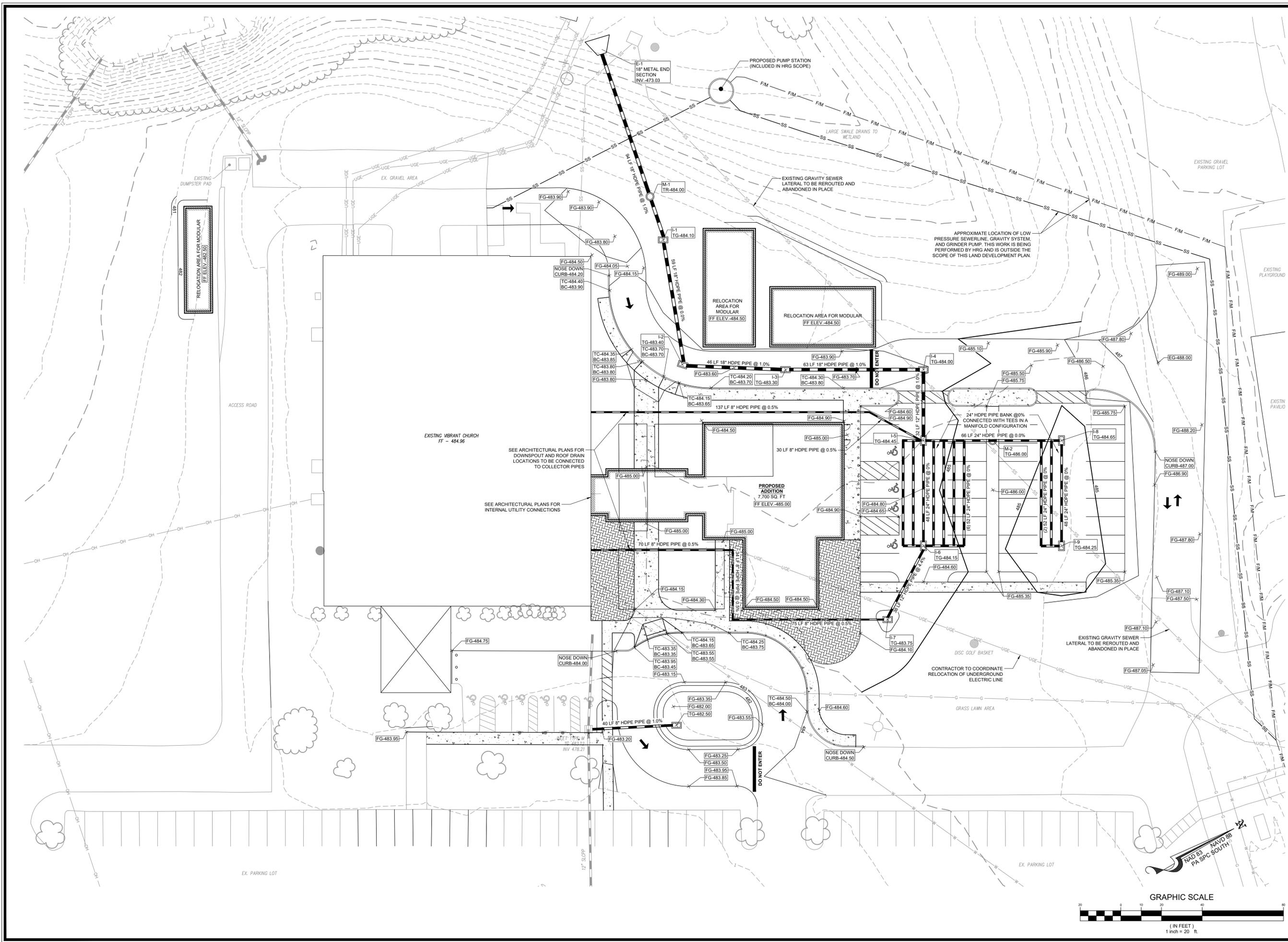
FREDERICK & SEIBERT ASSOCIATES, INC.
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
 128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740
 20 WEST BALTIMORE STREET, GREENSBORO, PENNSYLVANIA 17225
 5201 SPRING ROAD, SUITE 3, SHERMANSDALE, PENNSYLVANIA 17090
 (717) 791-6584
 www.fsa-inc.com

UNDER REVIEW - NOT APPROVED

VIBRANT CHURCH MULTI-USE EXPANSION
 Situated between L&I and Humber Drive
 south of the intersection of Humber Drive and Rte. 66
 in the town of Hagerstown, Hamilton, James Keener
 CUMBERLAND COUNTY, PENNSYLVANIA
 Vibrant Church, c/o Pastor Hamilton, James Keener
 1775 Lamps Gap Road, Mechanicsburg, PA 17050
 717-732-1882

PROJECT NO: 50211
 CAD DWG FILE: 50211-05 Layout and Dimensioning
 DWN BY: CMC DATE: 10-11-2019
 CHK BY: JTD DATE: 05-05-2020
 PROPERTY ID #: 10-15-1279-006
 SCALE: 1" = 20'

SHEET TITLE: LAYOUT & DIMENSION PLAN
 C-102
 SHEET 5 OF 9



FREDERICK & SEIBERT ASSOCIATES, INC.
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 20 WEST BALTIMORE STREET, GREENSBLE, PENNSYLVANIA 17225
 5201 SPRING ROAD, SUITE 3, SHERMANDALE, PENNSYLVANIA 17090
 (717) 791-8584
 www.fsa-inc.com

UNDER REVIEW - NOT APPROVED FOR CONSTRUCTION

DATE	DESCRIPTION

VIBRANT CHURCH MULTI-USE EXPANSION
 Situated between I-81 and Hanes Drive
 South of the intersection of Hanes Drive and Hanes Circle
 Cumberland County, Pennsylvania
 Vibrant Church, c/o Pastor John Hamilton, James Keener
 1775 Lamps Gap Road, Mechanicsburg, PA 17050
 717-732-1882

PROJECT NO: 50213	
CAD DWG FILE: 50211-06 Grading Plan	
DWN BY: CMC	DATE: 10-11-2019
CHK BY: JTD	DATE: 05-05-2020
PROPERTY ID #: 10-15-1279-006	
SCALE: 1" = 20'	
SHEET TITLE: GRADING & UTILITY PLAN	
C-103	
SHEET 6 OF 9	

