

**Cumberland County Subdivision and Land Development Review Report**

Municipality:	<u>Carlisle</u>	Surveyor/ Engineer:	<u>Frederick Seibert &amp; Assoc., Inc.</u>	Owner/ Developer:	<u>100 WPS Partners</u>
Plat Title:	<u>614-620 Walnut Street</u>				
Plat Status:	<u>P/Final</u>	Plat Type:	<u>S Subdivision</u>		
# of New Lots:	<u>2</u>	# of New Dwelling Units:	<u>4</u>	New Acreage Subdivided/Developed:	<u>0.71</u>
				Total Tract Acreage:	<u>0.71</u>
Zoning District:	<u>R-5</u>	Proposed Land Use:	<u>Residential</u>		
Date Received:	<u>5/11/2020</u>	County Review:	<u>5/15/20</u>	Reviewed by:	<u>KS</u>
				Checked by:	<u>KS</u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

***Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.***

1. The plan includes construction detail but is labeled only as a subdivision plan. The plan status should be determined and labeled appropriately. Subdivision note #8 should be revised according to the agreed upon status if a LD plan will not be submitted in the future.
2. SLDO 226-32-B. – Recreation land or fees in lieu of are required or a waiver approved.
3. Zoning 255-12.C – The paved area setback should be shown on the plan.
4. Zoning 255-17.D. and E. – The zoning table on page 1 should show the proposed impervious coverage and building coverages for each lot.
5. The approval date for the stormwater management exemption listed in general note 1 on page 3 should be listed on the plan, if granted.
6. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide an electronic copy of the .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

**SIGNATURES**

**CUMBERLAND COUNTY PLANNING COMMISSION**  
 REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT ON  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DIRECTOR OF PLANNING \_\_\_\_\_

**BOROUGH ENGINEER REVIEW STATEMENT**

THIS PLAN WAS REVIEWED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, BY BOROUGH ENGINEER.

BOROUGH ENGINEER \_\_\_\_\_

**FINAL PLAN APPROVAL STATEMENT**

APPROVED BY THE CARLISLE BOROUGH COUNCIL AND ALL CONDITIONS IMPOSED ON  
 SUCH APPROVAL WERE COMPLETED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

CARLISLE BOROUGH COUNCIL - MAYOR \_\_\_\_\_

ATTEST  
 BOROUGH OF CARLISLE SECRETARY \_\_\_\_\_

**OWNER'S STATEMENT OF ACKNOWLEDGEMENT**

It is hereby certified that the undersigned has legal or equitable title to the land shown  
 hereon, and all streets, if not previously dedicated, are hereby dedicated to the public.

Owner: 100 WPS Partners LLC *PROPERTY ID #: 04-21-0322-318*  
 c/o Michael Garrity, President

Signature \_\_\_\_\_

Date \_\_\_\_\_

State of: \_\_\_\_\_

County of: \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_, 2020, Before Me \_\_\_\_\_  
Notary Public - Print Name

The Undersigned Officer, Personally Appeared \_\_\_\_\_

Owner-Print Name \_\_\_\_\_

Known to me to be the person(s) whose name is subscribed above and acknowledge that  
 they executed the same for the purpose hereon contained.

In witness whereof, I hereunto set my hand and official seals.

Notary Public \_\_\_\_\_

**FINAL SUBDIVISION PLAN**

for

**614 - 620 WALNUT STREET**

SITUATE AT THE INTERSECTION OF  
 WILSON STREET AND WALNUT STREET

614-620 WALNUT STREET  
 CARLISLE BOROUGH  
 CUMBERLAND COUNTRY, PENNSYLVANIA

OWNER/DEVELOPER:  
 100 WPS Partners, LLC  
 c/o Michael Garrity  
 P.O. BOX 39  
 Carlisle, PA 17013  
 717.240.2112

Land Survey and Subdivision Plan By:

**FREDERICK SEIBERT & ASSOCIATES, INC.** ©2020

CIVIL ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ LAND PLANNERS

128 SOUTH POTOMAC STREET, HAGERSTOWN, MARYLAND 21740  
 20 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
 505 SOUTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013  
 5201 SPRING ROAD, SHERMANS DALE, PENNSYLVANIA 17090

(301) 791-3650 (717) 597-1007 (717) 701-8111 (717) 567-3680 fsa-md.com

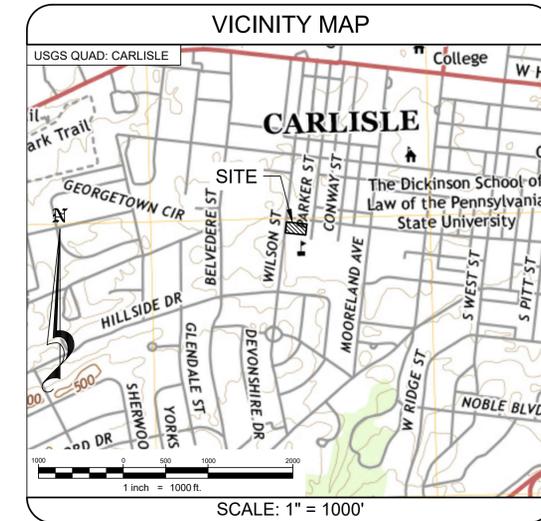
**SURVEYOR'S CERTIFICATION**

I hereby certify to the best of my professional knowledge and belief that the plat shown  
 hereon is correct; that it is a subdivision of the lands of 100 WPS Partners, LLC under  
 instrument number 201904816 recorded among the Land records of Cumberland  
 County, Pennsylvania. That this boundary survey was personally prepared by me or  
 that I was in responsible charge over its preparation and the surveying work reflected  
 hereon is in compliance with the standards published by the Pennsylvania Society of  
 Land Surveyors in its Manual of Practice for Professional Surveyors in the  
 Commonwealth of Pennsylvania, adopted July 10, 1998.

Matthew B. Cassano  
 Professional Land Surveyor  
 License No. SU055706  
 Expiration Date: 9/30/2021

**ZONING DATA**

ZONING ORDINANCE	Carlisle Borough
ZONING DISTRICT	R-5 (Traditional Residential)
EXISTING USE	Residential - Semidetached Single Family
PROPOSED USE	Residential - Semidetached Single Family
<b>SINGLE-FAMILY SEMI-DETACHED</b>	
LOT AREA	7,000 sq. ft.
FRONT BUILDING MINIMUM SETBACK	20 ft. (10 ft. may include an unenclosed porch)
FRONT BUILDING MAXIMUM SETBACK	40 ft. (no accessory structure shall be located between the principal building and the street right-of-way)
MINIMUM FRONT PORCH SIZE	60 sq. ft. (unenclosed porch only)
MINIMUM LOT WIDTH	45 ft. (at building setback and streetline)
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM IMPERVIOUS COVERAGE	60%
REAR YARD SETBACK	30 ft. (principal building) 5 ft. (accessory building)
SIDE YARD SETBACK	2 ft. (storage shed less than 100 sq. ft.) 8 ft. (only one side required for principal building) 5 ft. (accessory building)
MAXIMUM BUILDING HEIGHT	2 ft. (storage shed less than 100 sq. ft.) 35 ft., or 2.5 stories, whichever is less
MINIMUM BUILDING LENGTH AND WIDTH	16 ft.
MINIMUM FLOOR AREA	1,000 sq. ft.
MULTIPLE FRONTAGE LOTS	No rear setback is required
PAVING SETBACK FROM ROW/PROPERTY LINE	10 ft.



**SHEET INDEX**

TYPE	NUMBER	TITLE
G-001	SHEET 1	COVER SHEET
V-101	SHEET 2	EXISTING CONDITIONS
V-102	SHEET 3	SUBDIVISION PLAN
C-501	SHEET 4	LANDSCAPE PLAN & SITE DETAILS
C-101	SHEET 5	EROSION & SEDIMENT CONTROL PLAN
C-502	SHEET 6	EROSION & SEDIMENT CONTROL DETAILS

**GENERAL NOTES**

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor to Carlisle Borough's specifications.
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
- FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction. Contractor to contact PA One Call System Inc. at (800) 242-1776.
- The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- Utility easements are offered for dedication to their respective Authority upon approval and acceptance of said respective authority.
- No trees, shrubs, fences, buildings, or improvements are permitted within the 100' clear sight triangle at any street intersection, existing or proposed.
- No trees, shrubs, fences, buildings, or improvements are permitted within any easements, existing or proposed, as shown on this plan.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:  

<b>PA One Call System</b>	<b>(800) 242-1776</b>
<b>Carlisle Borough</b>	<b>(717) 249-4422</b>
<b>Cumberland County Conservation District</b>	<b>(717) 240-7812</b>
- The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- Load bearing fills (Class 1) proposed for support of buildings, walls, and other structures whose function thereof would be especially impaired by the settlement shall be compacted at optimum moisture content to a 95% density.
- Load bearing fills (Class 2) proposed for support of roadways, pavement, and structures which would not be especially impaired by moderate settlement shall be compacted at optimum moisture content to a 90% density.
- All fills shall be placed in approximately horizontal layers each layer having a loose thickness of not more than eight (8) inches for class 1 and twelve (12) inches for class 2.

**SUBDIVISION NOTES**

- The purpose of this plan is to subdivide 100 WPS Partners LLC properties at 620 Walnut Street into four separate lots. See lot calculations on Sheet 3.
- Frederick, Seibert and Associates has not performed any subsurface investigation. All Utilities included on plan have been plotted according to field survey, site inspection of visible elements and Carlisle Borough records.
- Topography shown hereon is based on PASDA GIS data.
- According to FEMA FIRM Panel 6204100229E, this property is not located in a 100 year floodplain.
- There are no watercourses, wetlands, marshes or rock outcrops located on this property according to visual site inspection.
- Survey in PA SPC South NAD 83 performed by Frederick, Seibert and Associates in June, 2019.
- No proposed state road access. Before access to any state road is to be constructed, a Highway Occupancy Permit is required from PennDOT.
- No proposed land development work associated with this subdivision plan. Site layout show is just representational. A land development plan will be prepared for the Carlisle Borough review and approval.
- Current lot sewer and water services are provided by the Carlisle Borough.
- Access/Maintenance Easement for all 4 lots created from this subdivision was recorded under instrument # \_\_\_\_\_.

**WAIVERS**

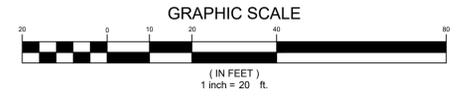
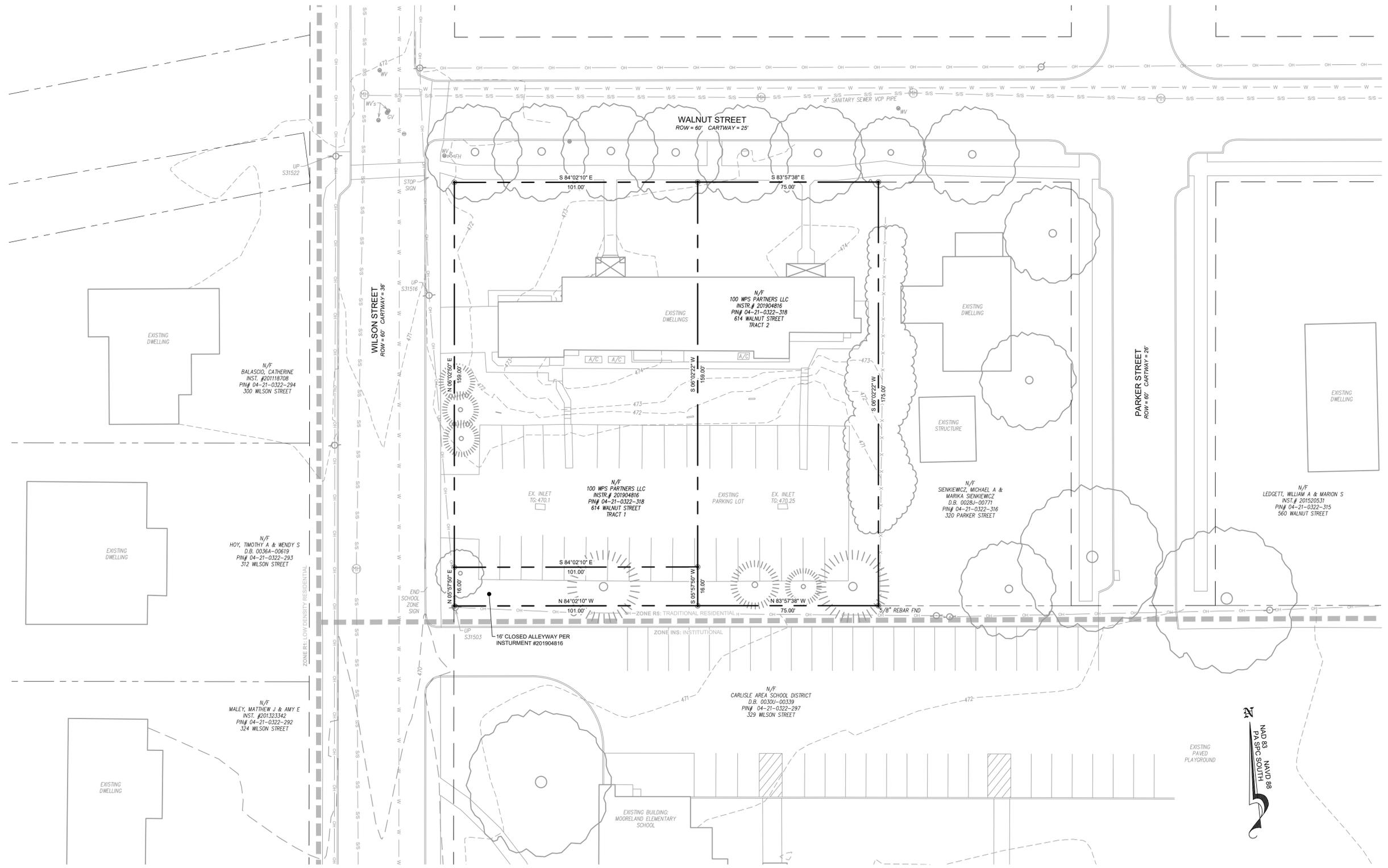
A waiver has been requested by Carlisle Borough Council for the following:  
 1. Article IV, Section 226-17, submittal of preliminary plans.

**VARIANCE**

A dimensional variances was granted by the Carlisle Zoning Hearing Board on October 3, 2019 for the following zoning requirement for a minimum 45 ft. lot width:  
 1. Article VII, Section 255-47, required minimum lot width of 45 feet.

PROPERTY ID #: 04-21-0322-318

DESCRIPTION:	DATE:	GRADING CHK BY:	DATE:	PROJECT NUMBER: 50222
		JTD	05-08-2020	
		SEC CHK BY:	DATE:	COVER SHEET
		JTD	05-08-2020	
		SWM CHK BY:	DATE:	G-001
		JTD	05-08-2020	
		PLAN CHK BY:	DATE:	SHEET 1 OF 6
		MBC	05-08-2020	



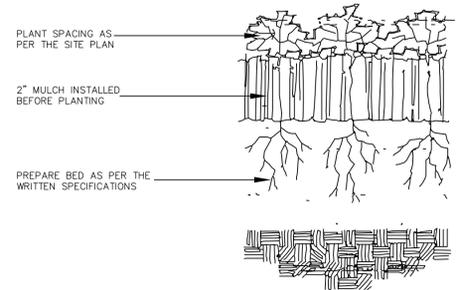
**FREDERICK SEIBERT & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS - LAND PLANNERS  
 100 WPS PARTNERS, LLC, c/o Michael Garity  
 P.O. Box 39, Carlisle, PA 17013  
 717-246-2172

**UNDER ALLEY REVIEW - NOT APPROVED FOR CONSTRUCTION**

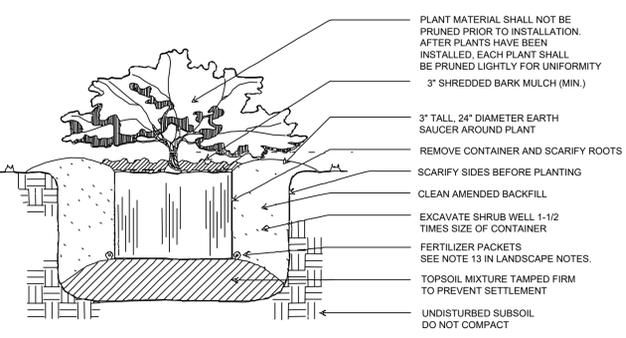
MARK	DESCRIPTION	DATE

PROJECT NO: 50222  
 CAD DWG FILE: 50222-02 Existing Conditions  
 DWN BY: CMC DATE: 11-04-2019  
 CHK BY: JTD DATE: 05-08-2020  
 PROPERTY ID #: 04-21-0322-318  
 SCALE: 1" = 20'  
 SHEET TITLE: EXISTING CONDITIONS  
 V-101  
 SHEET 2 OF 6

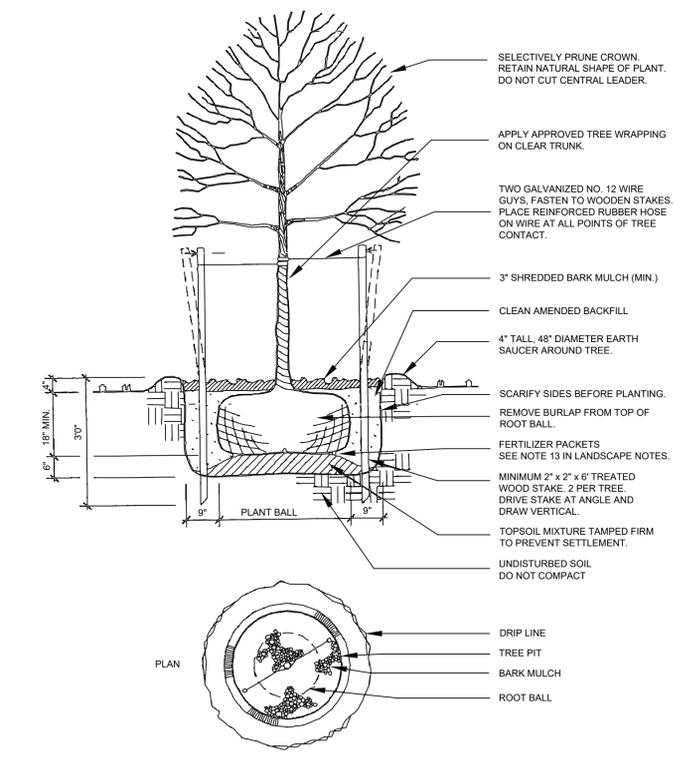




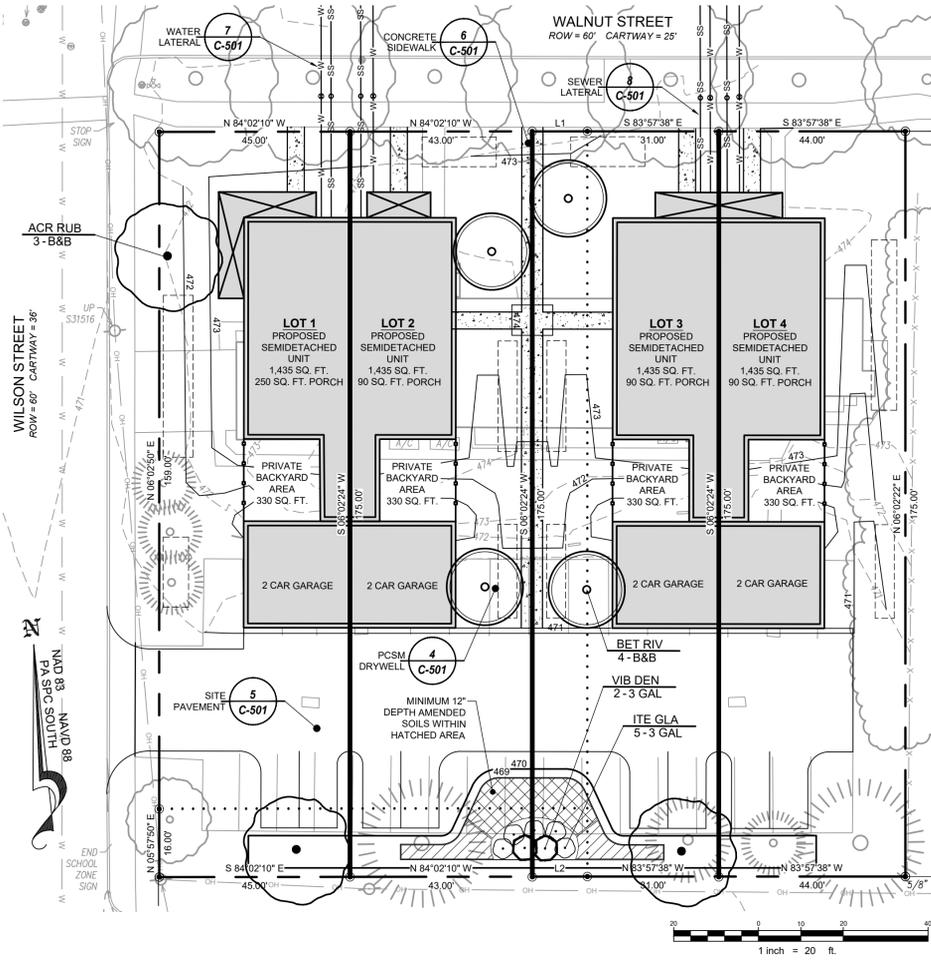
**1 GROUNDCOVER/PLUG PLANTING DETAIL**  
C-501 NOT TO SCALE



**2 CONTAINER SHRUB PLANTING**  
C-501 NOT TO SCALE



**3 SMALL TREE PLANTING (UP TO 2-1/2\"/> C-501 NOT TO SCALE**



**PLANTING SCHEDULE**

CODE	QTY	COMMON NAME/BOTANICAL NAME	CONT.	SIZE	DETAIL	REMARK / NOTE
<b>DECIDUOUS TREES</b>						
ACR RUB	3	Red Maple / <i>Acer rubrum</i>	B&B	MIN. 12"	3/C-501	Limp trees up to a minimum of 5'
BET RIV	4	River Birch / <i>Betula nigra</i>	B&B	10' - 12"	3/C-501	Limp trees up to a minimum of 5'
<b>SHRUBS</b>						
ITE GLA	5	Inkberry Holly / <i>Ilex glabra</i>	3 gal		2/C-501	
VIB DEN	2	Viburnum / <i>Viburnum dentatum</i>	3 gal		2/C-501	

**HERBACEOUS PLANTING SCHEDULE**

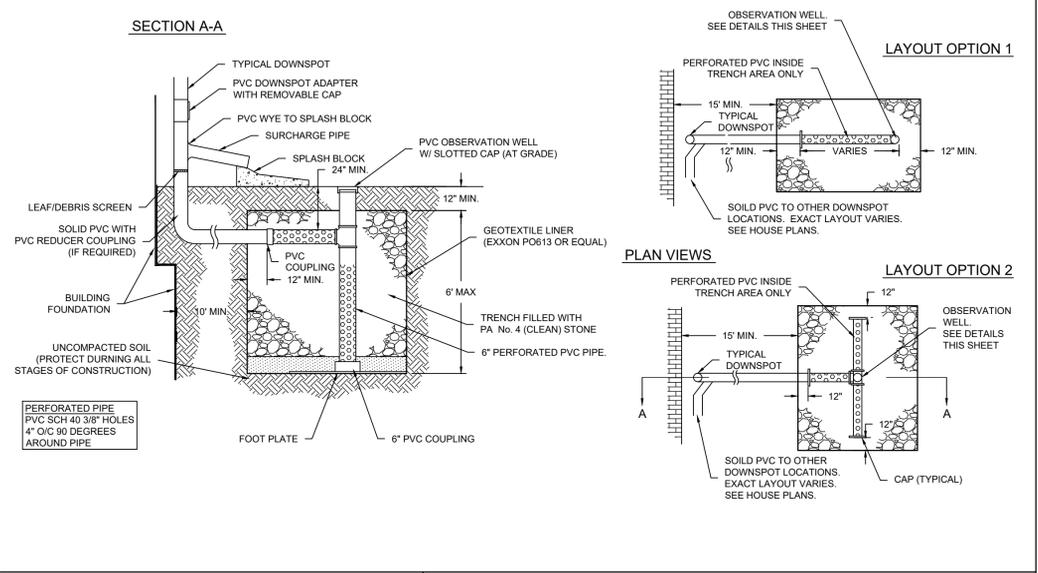
QUANTITY	PLUG	BOTANICAL NAME	COMMON NAME	SIZE	DETAIL
290 SF	75		MIXED GRASSES	2" PLUGS	DETAIL 1C-501
195 SF	45		MIXED PERENNIALS	2" PLUGS	DETAIL 1C-501

**MIXED PERENNIALS**

COMMON NAME	SCIENTIFIC NAME	COMMON NAME	SCIENTIFIC NAME
Aster, New England	<i>Aster novae-angliae</i>	Rush, soft	<i>Juncus effusus</i>
Butterflyweed	<i>Asclepias tuberosa</i>	Sedge, broom	<i>Carex scoparia</i>
Cardinal Flower	<i>Lobelia cardinalis</i>	Sedge, Pennsylvania	<i>Carex pennsylvanica</i>
Coneflower, orange	<i>Rudbeckia fulgida</i>	Switchgrass	<i>Panicum virgatum</i>
Trumpetweed	<i>Eupatorium fistulosum</i>		
Phlox, meadow	<i>Phlox maculata</i>		

- GENERAL LANDSCAPE NOTES:**
- Landscape contractor is to call PA One Call and have all underground utilities marked prior to any digging or planting.
  - Landscape Contractor shall install all plant material in a timely fashion.
  - Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
  - NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
  - Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
  - All plants shall be watered thoroughly during installation and prior to final acceptance.
  - All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
  - All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
  - Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
  - Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
  - All plant material shall be warranted for one year. 60 days prior to the end of the warranted period, the Engineering Department shall perform an inspection. Of which there should be a 90% survival rate of all plant material. All surviving plant material shall be found in a healthy condition. The warranty shall commence on the date of initial acceptance by the owner.
  - The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
  - Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.

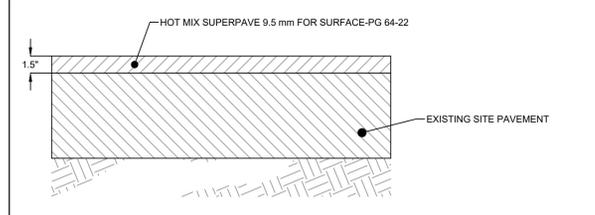
- MAINTENANCE:**
- Owner to remove silt/sediment if the accumulation of sediment exceeds one inch over the bioretention area.
  - All trash and debris should be removed from the top of the bioretention area as necessary.
  - Areas devoid of mulch shall be re-mulched on an annual basis.
  - All areas of turfgrass that have been disturbed from construction or is not growing properly should be seeded with an appropriate grass seed mix.



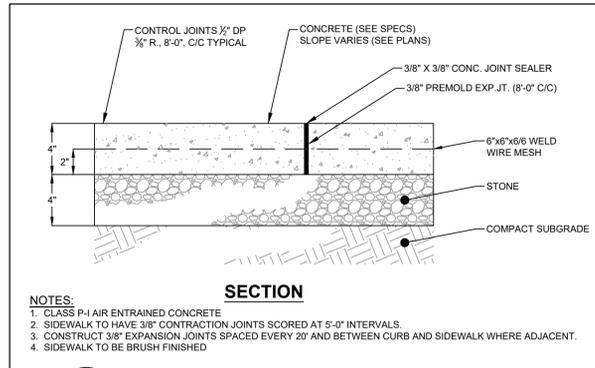
**4 PCSM DRYWELL DETAIL**  
C-501 NOT TO SCALE

**DRYWELL SCHEDULE**  
SEE PLAN ON SHEET 3 FOR DRYWELL LOCATIONS (DEPTH OF ALL DRYWELLS ARE 2.5 FT.)

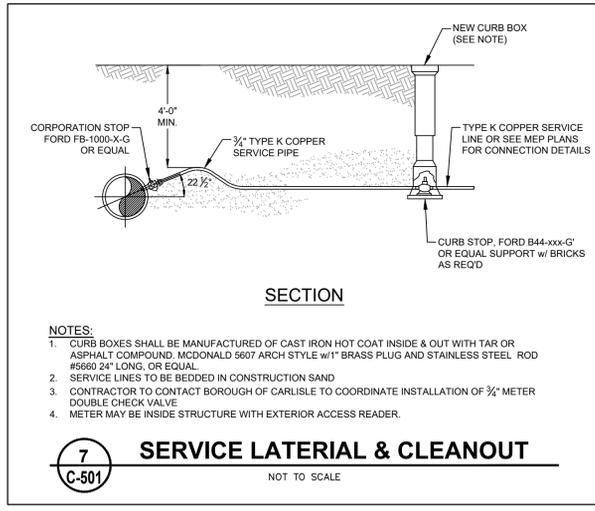
DRYWELL	DRYWELL VOLUME	TRENCH ELEVATION - TOP	TRENCH ELEVATION - BOTTOM
1	665.00 CU. FT.	470.50	468.00
2	247.00 CU. FT.	470.00	467.50
3	306.00 CU. FT.	471.50	469.00
4	306.00 CU. FT.	471.50	469.00
5	292.00 CU. FT.	471.50	469.00
6	247.00 CU. FT.	470.25	467.75
7	292.00 CU. FT.	471.50	469.00
8	247.00 CU. FT.	470.25	467.75
9	600.00 CU. FT.	471.00	468.50
10	247.00 CU. FT.	469.50	467.00



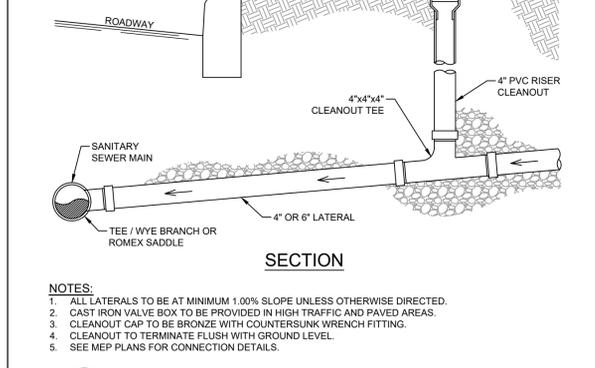
**5 PAVEMENT - SITE**  
C-501 NOT TO SCALE



**6 SIDEWALK - CONCRETE**  
C-501 NOT TO SCALE



**7 SERVICE LATERAL & CLEANOUT**  
C-501 NOT TO SCALE



**8 SERVICE LATERAL & CLEANOUT**  
C-501 NOT TO SCALE

**FREDERICK SEIBERT & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS - LAND PLANNERS  
100 WEST BALTIMORE STREET, GREENCASTLE, PENNSYLVANIA 17225  
101 NORTH HANOVER STREET, LORRAINE, PENNSYLVANIA 17033  
PH: 717-246-2172

**614 - 620 WALNUT STREET**  
Situate at the intersection of  
Wilson Street and Walnut Street  
Berks County, Pennsylvania  
CUMBERLAND COUNTY, PENNSYLVANIA

**UNDER ALL CITY REVIEW - NOT APPROVED FOR CONSTRUCTION**

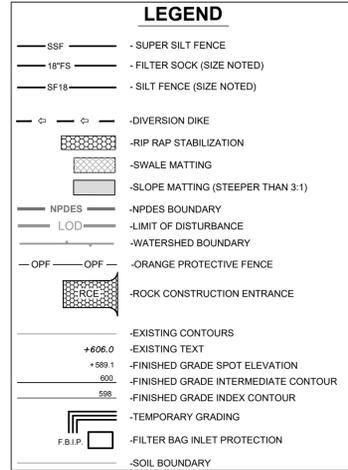
MARK	DESCRIPTION	DATE

PROJECT NO: 50222  
CAD DWG FILE: 50222-04 Landscape and Details  
DWN BY: CMC DATE: 11-04-2019  
CHK BY: JTD DATE: 05-08-2020  
PROPERTY # 04-21-0322-318  
SCALE AS SHOWN  
SHEET TITLE LANDSCAPE PLAN & SITE DETAILS  
C-501  
SHEET 4 OF 6

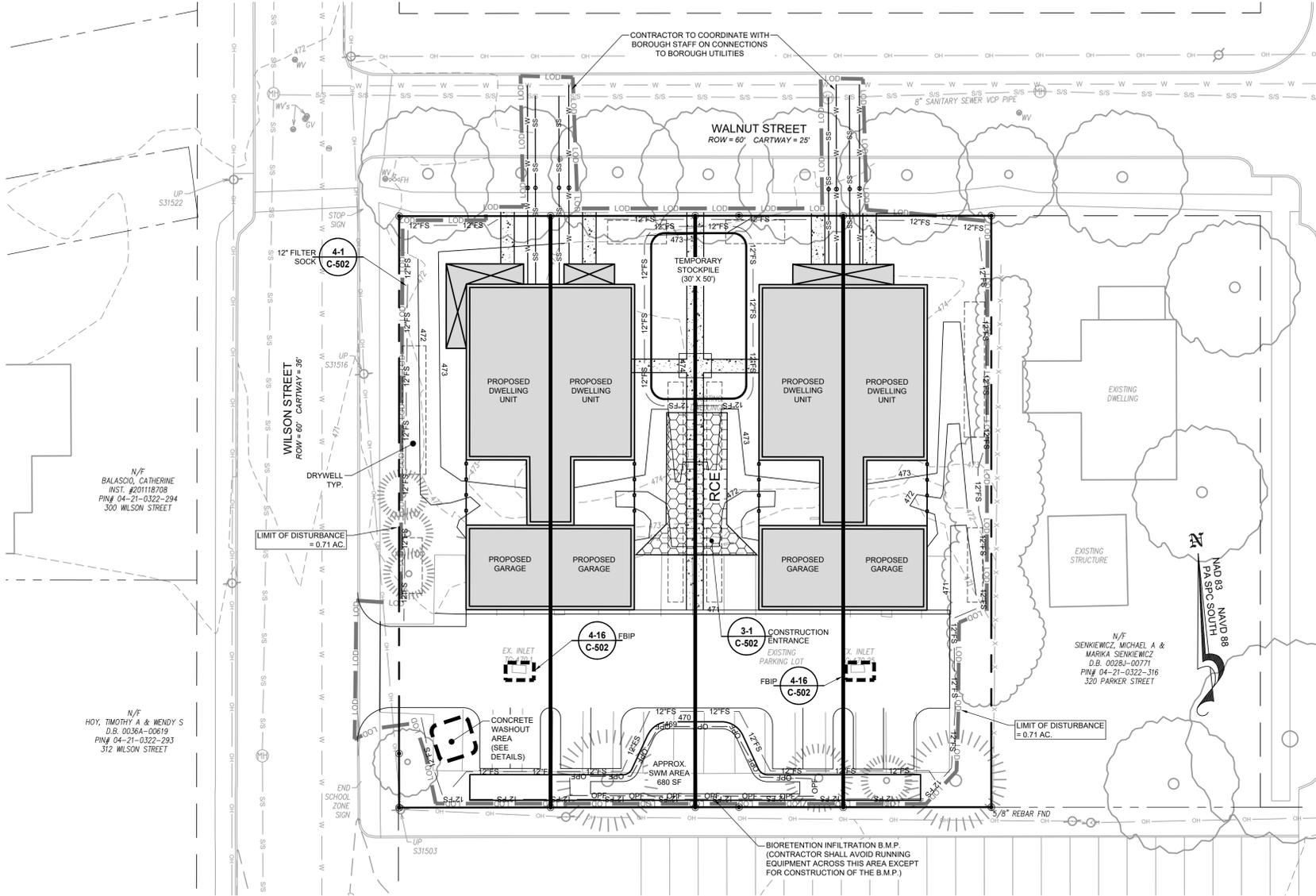
\*\*\*\*A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.\*\*\*\*

**CCCD Erosion & Sediment Control Plan Standard Notes**

1. Topsoil stockpile heights shall not exceed 35 feet. Stockpile side slopes must be 2:1 or flatter.
2. A copy of the approved erosion and sediment control plan must be available at the project site at all times.
3. At least 7 days before starting any earth disturbance activities, the owner and/or operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer, and a representative of the Cumberland County Conservation District to an on-site pre-construction meeting.
4. At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for the location of existing underground utilities.
5. All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed and immediately stabilized before any following stage is initiated. Clearing, grubbing and topsoil stripping shall be limited only to those areas described in each stage.
6. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate the potential for accelerated erosion and/or sediment pollution.
7. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, over undisturbed vegetated areas.
8. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operators shall contact the Cumberland County Conservation District for an inspection prior to the removal of the BMPs.
9. Upon completion of all earth disturbance activities, removal of all temporary BMPs and permanent stabilization of all disturbed areas, the owner and/or operators shall contact the Cumberland County Conservation District for a final inspection.
10. All channels must be kept free of obstructions such as fill ground, fallen leaves & woody debris, accumulated sediment, and construction materials/wastes. Channels should be kept mowed and/or free of all weedy, brushy or woody growth. Any underground utilities running across/ through the channel(s) shall be immediately backfilled and the channel(s) repaired and stabilized per the channel cross-section detail.
11. Vegetated channels shall be constructed free of rocks, tree roots, stumps or other projections that will impede normal channel flow and/or prevent good lining to soil contact. The channel shall be initially over-excavated to allow for the placement of topsoil.
12. Sediment basins/traps shall be kept free of all trash, concrete wash water and other debris that pose the potential for clogging the basin/trap outlet structures and/or pose the potential for pollution to waters of the Commonwealth.
13. When sediment has accumulated to the clean out elevation on any stake, all accumulated sediment shall be removed from the entire trapbasin bottom.
14. Approval of the use of skimmer(s) does not approve use of any skimmer(s) in violation of any patent, patent rights, and/or patent laws.
15. Sediment basins must be protected from unauthorized acts of third parties.
16. Fill material for the embankments shall be free of roots, or other woody vegetation, organic material, large stones, and other objectionable materials. The embankment shall be compacted in maximum 8" layered lifts at 95% density.
17. Permanent stabilization is defined as a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
18. Immediately after earth disturbance activities cease, the operator shall stabilize the disturbed areas. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be re-disturbed within 1 year must be stabilized in accordance with the temporary vegetative stabilization specifications. Disturbed areas which are at final grade or which will not be re-disturbed within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
19. An erosion control blanket will be installed on all disturbed slopes 3:1 and steeper, all areas of concentrated flows, and disturbed areas within 50' of Waters of the Commonwealth.
20. Until the site is stabilized, all erosion and sediment control BMPs must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including cleanout, repair, replacement, re-grading, re-seeding, re-mulching and re-netting must be performed immediately. If erosion and sediment control BMPs fail to perform as expected, replacement BMPs or modifications of those installed will be required.
21. For permitted sites: The permittee and co-permittee must ensure that visual site inspections are conducted weekly, and after each measurable precipitation event by qualified personnel, trained and experienced in erosion and sediment control, to ascertain that the Erosion and Sediment Control (E&S) BMPs are operational and effective in preventing pollution to the waters of the Commonwealth. A written report of each inspection shall be kept, and include:
  - 1) a summary of the site conditions, E&S BMPs, and compliance; and
  - 2) the date, time, and the name of the person conducting the inspection.



TOTAL DISTURBED AREA = 0.71 AC.



**SEQUENCE OF CONSTRUCTION**

A copy of the Erosion and Sediment Control Narrative shall be provided to the contractor. Contractor is to familiarize him/herself with the erosion and sediment control narrative and plans prior to construction.

Contractor shall contact Cumberland County Conservation District (717-240-7812), Borough of Carlisle (717-249-4422) and Frederick, Seibert and Associates (717-701-8111) at least seven (7) days prior to the start of construction to schedule a preconstruction meeting.

Contractor to notify the PA One Call System (1-800-242-1776) for the location of existing underground utilities at least three (3) days prior to starting any earth disturbance activities.

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed and immediately stabilized before any following stage is initiated. Clearing, grubbing and topsoil stripping shall be limited only to those areas described in each stage. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate the potential for accelerated erosion and/or sediment pollution. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, over undisturbed vegetated areas. The contractor shall not operate heavy machinery over the proposed soil amendment areas. All embankment slopes shall be tracked prior to stabilization. As soon as slopes, channels, ditches and other disturbed areas reach final grade they must be stabilized. This site is in a special protection watershed, upon completion or temporary cessation of earth disturbance activity that portion of the site must be immediately stabilized. As disturbed areas within a project approach final grade, preparations should be made for seeding and mulching to begin. In no case should an area exceeding 15,000 square feet, which is to be stabilized by vegetation, reach final grade without being seeded and mulched.

1. Field identify/stake the limits of disturbance.
2. Install Rock Construction Entrances. Install compound filter sock.
3. Install filter bag inlet protection at all existing inlets and orange protection fence around stormwater bmp.
4. Demolish and remove existing building and foundation.
5. Install dwelling and garage foundation.
6. Begin storm drain and utility construction. All storm drains and utilities shall be installed in accordance with the "Pipeline and Utility Erosion and Sediment Control Notes".
7. Begin grading of site, stormwater bmp construction and drywell construction. Grading shall be completed in a manner that does not concentrate flows to perimeter control measures.
8. Fine grade building pad and begin building construction.
9. Mill and overlay existing parking area.
10. Fine grade for site improvements. Complete fine grading of paved areas and supporting slopes. Stabilize with stone subbase.
11. Spread topsoil and stabilize per the permanent seeding specifications.
12. Any remaining disturbed areas shall be stabilized and any affected BMPs must be repaired immediately. Temporary BMPs may not be removed until a minimum uniform 70% perennial vegetative cover is well-established across the entire upswipe contributing drainage area. All areas proposed to be paved must be paved or have a compacted stone base in place.
13. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operators shall contact the Cumberland County Conservation District for a final inspection prior to the removal of any remaining BMPs.

**MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT CONTROL FEATURES**

Until the site is stabilized, all erosion and sediment control BMPs shall be maintained properly. All temporary control measures and facilities shall be inspected weekly and after each runoff event. Required repairs shall be made immediately, and shall be made by the site contractor. Disposal of all material cleaned from various sediment control devices shall be placed on the approved soil stockpile, which shall have filter fence installed on the downhill side.

**ROCK CONSTRUCTION ENTRANCE**  
Thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. At the end of each construction day, all sediment deposited on paved roadways shall be removed and returned to the construction site.

**FILTER BAG INLET PROTECTION**  
Sediment shall be removed when the filter bag is half full or when flow capacity has been reduced so that flooding occurs. Damaged or clogged installations shall be repaired or replaced immediately.

**STABILIZATION MATTING**  
Stabilization matting is specified in the channels and at the end of the driveway culverts where riprap outlet protection is not required. The matting will either be jute or straw with netting (North American Green S75 or equal), as shown on the plans.

**CONCRETE WASHOUT**  
All concrete washout facilities shall be inspected daily. Damaged or leaking washouts should be deactivated and repaired or replaced immediately. Accumulated materials should be removed when they reach 75% capacity. Plastic liners should be replaced with each cleaning of the washout facility.

**GENERAL EROSION & SEDIMENT BMP INSPECTION SCHEDULE**

The purpose of these instructions is to identify the ownership and maintenance activities associated with the proposed stormwater management facilities.

1. Inspect and ensure all Erosion and Control Facilities after heavy rain events to ensure they are still in their appropriate locations and are in adequate condition. Replace and restore as necessary.
2. Inspect and ensure there is no disturbance to existing wetlands, drainage ways, and steep slope areas or any other sensitive natural resource features as outlined on the Post Construction Stormwater Management Plans.
3. Inspect and ensure that all compost filter sock and Erosion and Sediment Control Features outlined above are in place and functioning at all times. Ensure that sediment is removed and restored as it is accumulated. Inspect all erosion control features after heavy rainfall events or storm event measuring 1" or greater.
4. Ensure all natural and existing drainage ways are clear and free of debris after heavy rainfall events and ensure there is evidence of increased surface flows which would result in erosion or sediment leaving the site.
5. Restore areas as needed until a minimum of 70% uniform cover is maintained at all times. It is the responsibility of the Developer to ensure the long term preservation of features onsite (wetlands, natural drainage ways, steep slopes, and uniform seeding cover).

**IMPORT/EXPORT FILL ENVIRONMENTAL DUE DILIGENCE**

Any fill material required for the site or excess material to be wasted from the site is required to be hauled from or to, as applicable, a site with an approved soil erosion and sediment control plan. The Owner/Developer and/or Operator is responsible to perform environmental due diligence and determine that all fill imported to the site or exported from the site meets the D.E.P. definition of clean fill.

Clean Fill: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use.)

Environmental due diligence: Investigative techniques, including, but not limited to visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance.

**RECYCLING & DISPOSAL OF MATERIALS**

Wastes generated during the construction of this project shall be recycled if at all possible. This shall include the erosion control bmps. Any materials that cannot be recycled or reused shall be disposed of at an NPDES permitted site. If soil and/or rock disposal or borrow areas are required, approved erosion and sedimentation controls shall be implemented at these areas that meet chapter 102 and/or other state and federal regulations.

All building materials and wastes must be removed from the site and recycled or disposed in accordance with the department's solid waste management regulations at 25 Pa. code 260.1 et seq. 271.1, and 287.1 et seq. No building materials or waste unused building materials shall be burned, buried, dumped or discharged at the site.

**ANTICIPATED CONSTRUCTION WASTES**

Anticipated construction wastes requiring recycling or disposal are:

1. Road construction waste.
2. Utility construction waste.
3. Concrete wash water.
4. Construction worker's trash.

**PIPELINE AND UTILITY LINE EROSION AND SEDIMENT CONTROL NOTES**

1. All excavated material must be placed on the high side of trench. excess material shall be hauled away to a site with an approved erosion and sediment control plan.
2. All erosion & sediment control measures that are disturbed/damaged shall be repaired the same day.
3. The total length of excavated trench open at any one time should not be greater than the total length of pipeline/utility line that can be placed in the trench and back-filled in one working day.
4. No more than 50' vertical feet of open trench should exist when pipeline/utility line installation ceases at the end of the workday.
5. Soil supplements, seed and mulch shall be applied within seven days after the pipeline/utility line is installed.
6. Erosion & sediment control devices shall be inspected daily and maintained in working condition.
7. For utility construction within the streets, excavated material shall be placed in dump trucks and the waste material shall be hauled to a site with all required permits. streets shall be regularly swept and kept free of debris.

**FREDERICK SEIBERT & ASSOCIATES, INC.**  
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 101 NORTH HANOVER STREET, CARLISLE, PENNSYLVANIA 17013  
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**UNDER AGENCY REVIEW - NOT APPROVED**  
 CUMBERLAND COUNTY, PENNSYLVANIA  
 100 WPS Partners, LLC c/o Michael Gentry  
 P.O. Box 39, Carlisle, PA 17013  
 717.240.2112

**614 - 620 WALNUT STREET**  
 Sheets at the intersection of Walnut Street and  
 Washington Street  
 Borough of Carlisle  
 Cumberland County, Pennsylvania

PROJECT NO: 50222  
 CAD DWG FILE: 50222-05 Erosion Control Plan  
 DWN BY: DATE: 11-04-2019  
 CHK BY: DATE: 05-08-2020  
 JTD: DATE: 05-08-2020  
 PROPERTY ID #: 04-21-0322-318  
 SCALE: 1" = 20'  
 SHEET TITLE: EROSION SEDIMENT CONTROL PLAN  
 C-101  
 SHEET 5 OF 6