

Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Upper Allen</u>	Surveyor/ Engineer:	<u>Alpha Consulting Engineers, Inc.</u>	Owner/ Developer:	<u>Highview Commercial</u>
Plat Title:	<u>151 Gettysburg Pike</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Subdivision and Land Development</u>		
# of New Lots:	<u>1</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>2.93</u>
				Total Tract Acreage:	<u>2.93</u>
Zoning District:	<u>C-2</u>	Proposed Land Use:	<u>Convenience Store/Restaurant</u>		
Date Received:	<u>6/1/2020</u>	County Review:	<u>6/12/2020</u>	Reviewed by:	<u>EG</u>
				Checked by:	<u>SJW</u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

- Calculations for parking provided in Site Data #14 should be verified for the convenience store use. It appears that 1 space per 200 feet of retail area is required. (Zoning 245-17.2.A)
- The width of the access drive off Gettysburg Pike should be reviewed, as it appears to have 3 travel lanes, with a required width of 12 feet each. (Zoning 245-17.6.C.4)
- A traffic study should be submitted with the plan to analyze internal circulation patterns as well as impacts on nearby roads. The Township should verify that information related to parking has been provided as part of the required traffic study (Zoning 245-14.19.L and 245-17.2.D)
- A wetland delineation report should be included with the plan. (SLDO 220-9.C.4.j)
- Notifications required for DEP sewage facility planning module and other required permits should be detailed on the plan. (SLDO 220-10.B.3.c&d)
- When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

PRELIMINARY / FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN

151 GETTYSBURG PIKE UPPER ALLEN TOWNSHIP CUMBERLAND COUNTY, PENNSYLVANIA

POST-CONSTRUCTION STORMWATER MANAGEMENT (PSCM) PLAN OPERATION, OWNERSHIP AND MAINTENANCE PROGRAM

The storm water volume and quality control Best Management Practices (BMPs) constructed for the 151 Gettysburg Pike Land Development Plan will be maintained to function as designed, and shall implement the procedures described below; this shall be in the deed of the lot whenever the lot is sold to another. The owner of the lot shall own and maintain the stormwater facilities within the lot.

The approved facilities are to be permanent, and can only be removed or altered after approval by one or more of the following entities which may have jurisdiction: Upper Allen Township, and/or PA D.E.P. The lot owner, shall maintain on-lot stormwater management, and permanent erosion and sediment pollution control system(s) as set forth herein.

The following physical facilities shall be maintained to the original design and dimensions shown on the design plans approved by Upper Allen Township, until such time as an amended plan is approved by the Township:

- stormwater inlets, pipes and riprap aprons;
- rain gardens;
- surface stormwater detention basin #1; and
- stormwater facility #2.

The designated maintainer / lessee shall complete a visual inspection of BMPs as specified below for each BMP.

Rain Gardens #A, B, C and D.

- Inspect two times per year for sediment build-up, any erosion, and adequate vegetative cover condition.
- Remove any accumulation of debris at least once per year (such debris may include, but shall not be limited to aggregate material, leaves, grass clippings, and soil material). Removal of sediment/debris shall take place when the area has dried, if possible. Dispose of sediment, trash or other waste material at suitable disposal / recycling sites and in compliance with local, state and federal waste regulations.
- Maintain groundcover vegetation, and re-vegetate repaired areas in accordance with the specifications contained in the applicable erosion and sediment pollution control plan; and immediately repair any erosion damage by replacing topsoil on all areas that experience minor erosion, and seeding, mulching and matting such areas immediately in accordance with the specifications contained in the applicable erosion and sediment pollution control plan.
- Trees and shrubs should be inspected twice per year to evaluate health. Plants may need to be watered during periods of extended drought. Perennial herbaceous plantings may be out down between the end of the growing season and the beginning of the next growing season.
- If mulched, mulch should be re-applied when erosion is evident and be replenished as needed. Once every 2 to 3 years the mulch area may require much replacement.
- If the rain garden has an underdrain pipe(s), they must remain plugged / capped unless runoff is being retained greater than 72 hours, after which they can be unplugged / uncapped to drain the rain garden. Once drained, they must be capped / plugged again.

Failure (BMP no longer provides the benefit or performance anticipated) for this BMP is the following:

- Inability to support vegetation due to standing water and/or compaction of soil; and
- Standing water for greater than 72 hours.

Corrective measure options should failure of this BMP occur:

- Examine the soil structure to see if it is compacted. If so, aerate the area. If this does not work, then in a short-term continuous operation when the area is dry, till surface soil and re-vegetate immediately. Or, replace the top 18" with new loam soil and immediately re-vegetate.

Storm Basin #1 and Surface Area of Stormwater Facility #2

- Inspect two times per year.
- Inspect the outlet structure, basin bottom, inlet, containment berm and riprap areas. Inspect for sediment build-up, any erosion, damage to outlet structure, berm stability, clogging of outlet, pools of standing water, and for adequate (min. 80%) vegetative cover condition.
- Remove any accumulation of debris (such debris may include, but shall not be limited to aggregate material, leaves, grass clippings, and soil material). Removal of sediment/debris shall take place when the area has dried, if possible. Dispose of sediment, trash or other waste material at suitable disposal / recycling sites and in compliance with local, state and federal waste regulations.
- Maintain groundcover vegetation. Mow and trim vegetation to ensure safety, aesthetics, proper swale operation, and to suppress weeds and invasive / exotic vegetation. Mow only when dry, to avoid rutting. Vehicular access is prohibited within basins except for maintenance; and care should be taken to avoid excessive compaction by mowers.
- For any erosion, rills and gullies, correct as needed. Re-vegetate and repair areas in accordance with the specifications contained in the applicable erosion and sediment pollution control plan; and immediately repair any erosion damage by replacing topsoil on all areas that experience minor erosion, and seeding, mulching and matting such areas immediately in accordance with the specifications contained in the applicable erosion and sediment pollution control plan.
- Apply fertilizer and pesticides only when absolutely necessary to salvage desirable vegetation, and to eliminate exotic / invasive species.
- Aerate turf areas if they become compacted.

Subsurface portion of Stormwater Facility #2.

- All inlet structures draining to an infiltration bed should be inspected two times per year, and be cleaned as needed. Dispose of sediment, trash or other waste material at suitable disposal / recycling sites and in compliance with local, state and federal waste regulations.
- Evaluate the drain-down time of the facility to ensure the maximum time of 72 hours is not being exceeded. If drain-down times are exceeding the maximum, drain the facility via pumping and clean out perforated piping. If slow drainage persists, the system may need to be replaced. If debris and/or standing water is visible in the inlets and system, then it shall be vacuumed to remove accumulated debris. Stormwater quality/recharge facilities that do not drain within seventy-two (72) hours shall be evaluated by a qualified engineer, geologist, and/or hydrogeologist prior to initiating any repair and/or reconstruction activities.

Failure (BMP no longer provides the benefit or performance anticipated) for this BMP is the following:

- Standing water for greater than 72 hours.

Corrective measure options should failure of this BMP occur:

- Clean the perforated pipes and contributing inlets by vacuuming out debris.
- Check the contributory watershed for sources of debris / silt, such as erosion, leaves in roof drains, mulch washing from landscape beds, lawn clippings washing into the inlet. Correct the contributing situation so debris / silt does not enter the pipe system.
- If vacuuming does not work, then the BMP might have to be replaced. Consult a qualified engineer's consultant.

Storm Inlets, Storm Piping and Riprap Aprons:

- Inspect for signs of contamination or spills.
- All inlets, control orifices, storm piping, collection swales and drainage structures shall be kept free of any obstructions and foreign material that would cause disruption of water flow in a manner not anticipated for the facility.
- Dislodged rock in any riprap apron should be reset in place or replaced.
- Inspect two times per year, with one time being in late autumn after leaves have dropped, and the other in early spring when there may be grit and plow deposits.

General Provisions for any BMP listed above--

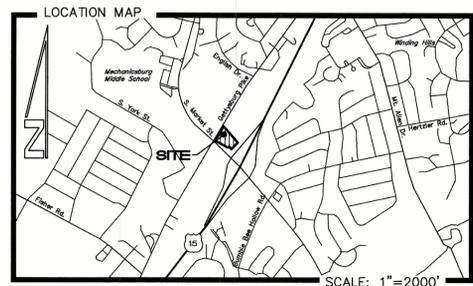
- A written report documenting each inspection shall be retained by the designee, including dates of inspection, dates of repair, list of items inspected, list of items repaired, list of items replaced, costs of replaced items, list of maintenance tasks performed, name and organization of the person conducting the inspection, and the contractor's information.
- For any structural facility (pipe, inlet, manhole), it must be repaired or replaced if damaged more than superficially, in a way that is a safety hazard, if structurally unsound, or if not substantially performing as it is intended per the original design.
- The owner shall immediately notify Upper Allen Township prior to initiating any "major" repair activities (such repairs that may be required as a result of settlement, sinkholes, seeps, structural cracking, foundation movement). All "major" repairs shall be conducted under the direction and supervision of a qualified engineer, geologist, and/or hydrogeologist.
- Vehicular access and parking is prohibited within basins and rain gardens except for maintenance; and care should be taken to avoid excessive compaction by mowers.
- All impervious surfaces shall be maintained clean of oil, fuel or other toxic spills, in accordance with State, Federal or local regulations.
- The PSCM plan, inspection reports, and monitoring records must be available for review and inspection by the PA Department of Environmental Protection and/or the County Conservation District.

Upper Allen Township shall have the right to:

- a. Enter the site and inspect the facilities at any time;
- b. Require the facility maintainer to take corrective measures, and assign reasonable time periods for any necessary action; and
- c. Authorize maintenance to be done by the Township or an agent or contractor of the Township, and the liening of the cost of the work against the lot owner.

A licensed professional or their designee shall be present on the site for the following critical stages:

- Installation and then final configuration / stabilization of storm basins #1 and #2;
- Installation of subsurface storm facility #2; and
- Installation of underdrains and amended soil of rain gardens #A, B, C and D.



ZONING REQUIREMENTS:

Site is zoned C-2: Highway Commercial District.
Minimum lot area: None; Based upon meeting other requirements
Minimum front yard: 30 feet
Minimum side yard: 15 feet
Minimum rear yard: 15 feet
Minimum street frontage: 150 feet
Maximum building coverage: 50%
Maximum impervious coverage: 70%
Maximum landscaping / vegetative coverage: 30%
Maximum principal building height: 35 feet

Standards for Convenience Store with Gas Dispensing:

- 1. Driveway / access drive:
 - minimum 40 feet from intersection of street right-of-way lines
 - 10 feet from side lot line
 - minimum width of 12 feet
 - maximum width of 35 feet
 - minimum separation of drives on same lot of 25 feet
- 2. Minimum setbacks from street right-of-way line:
 - pump: 40 feet
 - building: 50 feet
 - canopy: 55 feet
- 3. Minimum setback of fuel pump from parking area: 20 feet

Standards for Drive-in Facilities for permitted uses:

- 1. Minimum driveway setback from property line: 10 feet
- 2. Minimum distance between driveways on the site: 65 feet
- 3. Minimum distance of a driveway from a street intersection: 60 feet measured from the intersection of the street right-of-way line to the nearest end of the curb radius.
- 4. All drive-thru windows shall be separated from the parking lot's interior driveways, and shall have a stacking lane of at least 150 feet for fast-food businesses.

SITE DATA:

SITE DATA--

1. Applicant-- Highview Commercial LLC
280 Route 35, Suite 150
Red Bank, NJ 07701
(732) 530-9191
2. Total Site area: Gross (includes street right-of-way): 133,476 square feet, or 3.06 acres. Net (excludes street right-of-way): 127,623 square feet, or 2.93 acres.
3. Site is zoned C-2: Highway Commercial District.
4. This site is identified by the Cumberland County Tax Assessment Office as parcels 42-28-2419-131 (existing lot #2) and 42-28-2419-018 (existing lot #1).
5. Current site addresses are 147 (existing lot #2) and 151 Gettysburg Pike (existing lot #1).
6. Existing number of lots: 2
7. Proposed number of lots: 1
8. Proposed net lot area: 127,623 square feet, or 2.93 acres, excluding dedicated street right-of-way.
9. Proposed uses:
 - 1) Convenience store with gas dispensing; and
 - 2) Restaurant with drive-in facility
10. Proposed street frontage: 398.5 feet along Gettysburg Pike outside of limited access highway right-of-way.
11. Proposed building coverage: 18.57% of the proposed net lot area.
12. Proposed impervious coverage: 60% of the proposed net lot area.
13. Proposed landscaped area: 40% of the proposed net lot area.
14. Required and proposed off-street parking: Convenience Store: 1 space required for each 100 square feet of retail floor area. Proposed retail floor area is 3,750 sq. ft., divided by 100 = 38 spaces required for convenience store use. Restaurant: 1 space required for every 4 seats of design capacity, plus one space for every two employees on the large shift. 56-seat capacity proposed, divided by 4 = 14 spaces. 8 employees on largest shift, divided by 2 = 4 spaces. Total of 18 spaces required for the restaurant use.
15. Proposed water supply: public (SUEZ)
16. Proposed sewage disposal: public (Upper Allen Township)

GENERAL NOTES:

1. Proposed development is consolidation of two existing lots into one proposed lot (subdivision), on which a convenience store with gas dispensing, and a restaurant with drive-in facility are proposed (land development).
2. Nothing shall be placed, planted, set or put within the area of an easement that would adversely affect the function of the easement or conflict with the easement agreement.
3. A highway occupancy permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law".
4. No lands or facilities are proposed for dedication to public use. Stormwater facilities shall be owned and maintained by the owner of the lot; see the detailed operation and maintenance program on this sheet.
5. No parking is permitted along access drives.
6. This project shall be completed in one phase.
7. No protective covenants are proposed other than what is shown on this plan.
8. All properties abutting or facing this site are zoned C-2: Highway commercial.
9. Stormwater management plans approved by the Township shall be on the site throughout the duration of the regulated construction activity. A copy of the approved erosion and sedimentation control plan and any required permits shall be available at the project site at all times during construction.
10. Any proposed signs must be in accordance with the Upper Allen Township Zoning Ordinance Section 245 of Article XXIII. Proposed signs will be submitted separately.
11. Boundary and topographic information is based upon a field survey by Alpha Consulting Engineers, Inc. Basis of vertical datum is U.S.G.S.
12. Upper Allen Township is hereby granted use of the access drives to access drainage easements for observation, and emergency maintenance.
13. All sanitary sewer construction shall conform to the Standard Construction and Material Specifications for Upper Allen Township, latest edition.
14. All existing buildings within the site shall be removed prior to proposed construction.
15. There are no streams, rock outcrops, soil subsidence, floodplains, contaminated soils or natural slopes in excess of 25% known to exist on this site. There are wetlands present, which are shown as delineated by Alpha Consulting Engineers, Inc. in May, 2017.
16. A 21-foot type 2 buffer yard is required along Gettysburg Pike (opposite an existing single family residence, but per Section 245-16.5.G. of the Zoning Ordinance, the buffer width can be reduced when separated from a residential use by a public road at the rate of one foot for every two feet of the distance between the property line for which the buffer is required and the center line of the public road, but not by less than one-half of the original buffer. The width of Gettysburg Pike paving is 36 feet. The distance from the centerline of Gettysburg Pike to the front property line is 18 feet. Reduction of one foot of buffer yard for each 2 feet to front property line is 9 feet. Required buffer along Gettysburg Pike equals 30 feet minus 9 feet reduction, or 21 feet. A 21-foot type 2 buffer yard is provided.
17. Within clear sight triangles shown hereon, no fence, sign or other above grade structure shall be erected, and no hedge, tree, shrub or other growth shall be maintained or permitted which may cause danger to traffic by obscuring the view between three feet and nine feet above the grade of the street or driveway.
18. The site contractor shall schedule a pre-construction site meeting with the Upper Allen Township Engineer and the Cumberland County Conservation District at least 48 hours prior to starting site construction activities.
19. Construction of all work within the public street right-of-way and work related to storm drainage and sanitary sewer facilities requires inspection by the Township. The contractor must provide minimum 48 hours of notice to the Township before starting work.
20. As-built mylar plans and electronic data files shall be provided to the Township. All drawings must be signed and sealed by a professional engineer or land surveyor attesting to the correctness of the facility information shown, in accordance with Section 220-13.C(1) of the Codified Ordinances of Upper Allen Township.

INDEX OF DRAWINGS :

1. COVER SHEET
2. EXISTING FEATURES, DEMO AND LOT CONSOLIDATION PLAN
3. SITE PLAN
4. EASEMENT PLAN
5. GRADING/UTILITIES PLAN
6. LANDSCAPE PLAN
7. LIGHTING PLAN
8. EROSION CONTROL PLAN
9. UTILITY PROFILES
- 10-15. MISCELLANEOUS DETAILS

DATE :
JUNE 1, 2020

REVISED :

WAIVER SECTION	DESCRIPTION	DATE OF WAIVER / MODIFICATION REQUEST	DATE OF WAIVER / MODIFICATION / DEFERRAL APPROVAL
* 220-16.B.(5)	PERTAINING TO LOCATION OF SIDEWALK	6/1/2020	
* 220-16.A.(1)	PERTAINING TO CURBING ALONG ACCESS DRIVES AND PARKING	6/1/2020	
* 220-16.A.(2)	PERTAINING TO INSTALLATION OF CURBING ALONG GETTYSBURG ROAD	6/1/2020	
220.23-D.(2)	PERTAINING TO CONSERVATION EASEMENT AROUND WETLAND	6/1/2020	
* MODIFICATION ONLY			
* DEFERRAL ONLY			

UTILITY LISTING FOR UPPER ALLEN TOWNSHIP:



PA ONE-CALL FOR THIS PROJECT:
SERIAL NUMBER: 20170740542

- CABLE: COMCAST CABLE COMMUNICATIONS INC. 4601 S.W. ST. HARRISBURG, PA 17109 TELEPHONE: 717-651-1915
- ELECTRIC: PPL ELECTRIC UTILITIES 642 S 20TH ST. HARRISBURG, PA 17104-2222 TELEPHONE: 1-570-348-1509
- GAS: UGI UTILITIES INC. 1301 AIP DR. MIDDLETOWN, PA 17057-5987 TELEPHONE: 717-930-0223
- SANITARY SEWER: TOWNSHIP OF UPPER ALLEN 100 GETTYSBURG PIKE MECHANICSBURG, PA 17055 TELEPHONE: 717-766-0756
- TELEPHONE: VERIZON PENNSYLVANIA LLC 15 E MONTGOMERY AVE PITTSBURGH, PA 15212
- WATER SERVICE: SUEZ WATER PENNSYLVANIA INC. 4211 E. PARK CIRCLE HARRISBURG, PA 17111 TEL: (717) 564-3664

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE ____ DAY OF _____, 2020, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED* _____, BEING WHO BEING DULY SWORN ACCORDING TO LAW, DISPOSES AND SAYS THAT THE _____ IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT ITS DIRECTION, THAT IT ACKNOWLEDGES THE SAME TO BE ITS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER ALLEN TOWNSHIP
THIS _____ DAY OF _____, 2020.

CHAIRMAN _____
SECRETARY _____

THIS PLAN RECOMMENDED FOR APPROVAL BY THE UPPER ALLEN TOWNSHIP PLANNING COMMISSION
THIS _____ DAY OF _____, 2020.

CHAIRMAN _____
SECRETARY _____

MY COMMISSION EXPIRES _____

I, JOHN K. MURPHY, P.L.S., HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, OR REGISTERED ENGINEER IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY COMPLETED BY ME ON 3/22/17; THAT ALL THE MONUMENTS SHOWN THEREON ACTUALLY EXIST; AND THAT THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE ACCURATELY SHOWN.

I, JOHN K. MURPHY, P.E., ON 6/2/2020, HAVE REVIEWED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE, AND THAT ACCORDING TO GEOLOGIC MAPPING, THIS SITE IS NOT DIRECTLY UNDERLAIN BY LIMESTONE. I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN, AND THAT ALL ELEMENTS OF THE PLAN ARE IN CONFORMITY WITH TOWNSHIP CODE AND ANY APPLICABLE STATE REGULATIONS.

STORMWATER MANAGEMENT PLAN CERTIFICATE:

IT IS HEREBY CERTIFIED THAT THE STORMWATER MANAGEMENT FACILITIES AND BMP'S ARE PERMANENT FIXTURES AND CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY UPPER ALLEN TOWNSHIP.

APPLICANT/OWNER _____

THIS PLAN REVIEWED BY THE TOWNSHIP ENGINEER OF UPPER ALLEN TOWNSHIP
THIS _____ DAY OF _____, 2020.

ENGINEER _____

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW STATEMENT:

REVIEWED ON _____, 2020 BY THE, CUMBERLAND COUNTY PLANNING DEPARTMENT.

DIRECTOR OF PLANNING _____

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND COUNTY
THIS _____ DAY OF _____, 2020.

RECORDED IN INSTRUMENT # _____

APPLICANT/DEVELOPER
HIGHVIEW COMMERCIAL LLC
280 ROUTE 35, SUITE 150
RED BANK, NJ 07701
(732) 530-9191

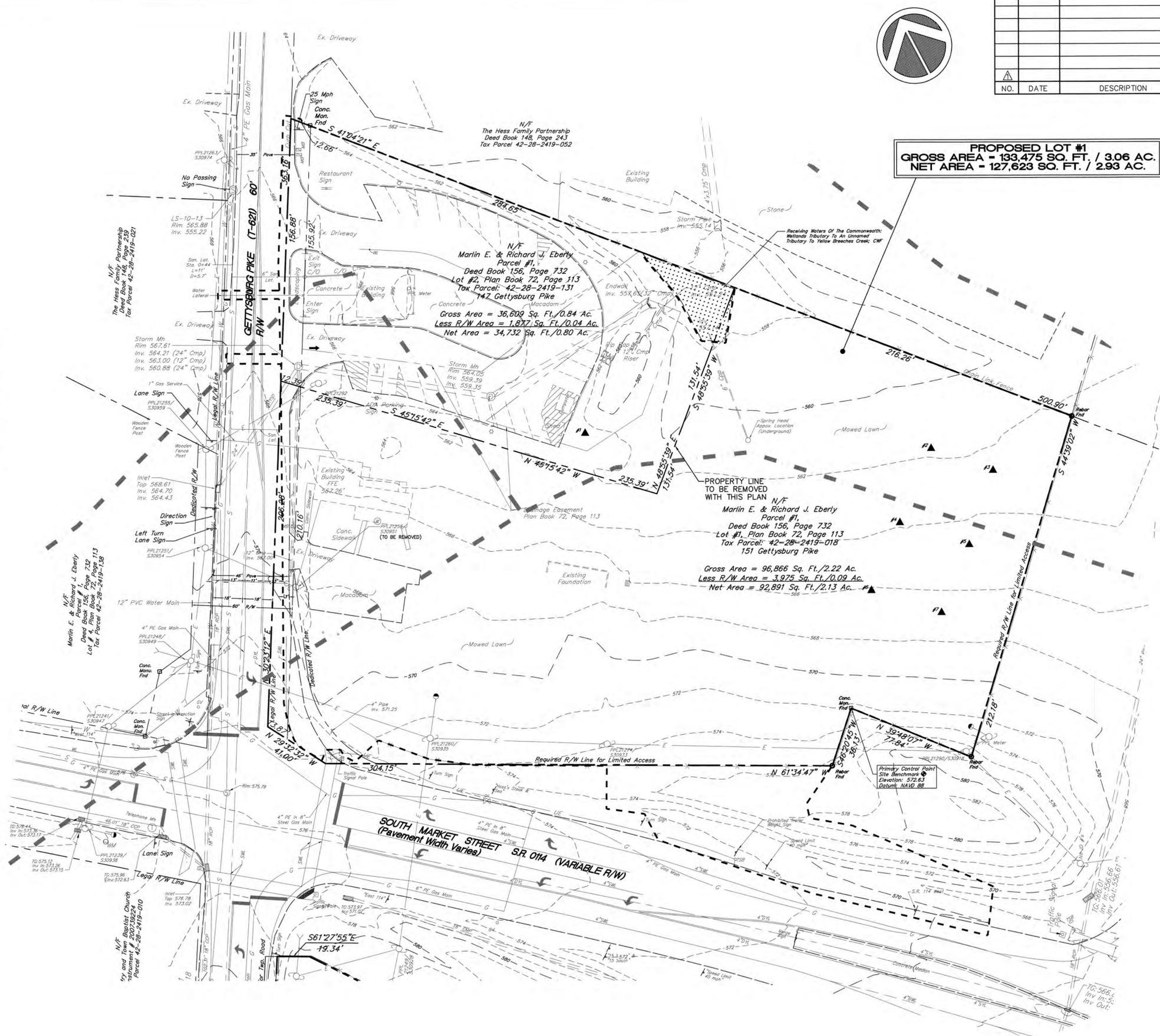
ALPHA
ALPHA CONSULTING ENGINEERS, INC.
PLANNING • ENGINEERING • SURVEYING
115 LIMEKILN RD, P.O. BOX 'G'
NEW CUMBERLAND, PA 17070
PHONE: (717) 770 - 2500
FAX: (717) 770 - 2400
WWW.ALPHACEI.COM

LEGEND	
	Existing Property Line
	Existing Easement
	Existing 10' Contour
	Existing 2' Contour
	Existing Edge Of Pavement
	Existing Edge Of Stone
	Existing Storm Sewer Inlet, Pipe Size and Manhole
	Existing Spot Elevation
	Existing Utility Pole & Guy Wire
	Existing Overhead Utility Line
	Existing Property Corners (As Labeled)
	Existing Sanitary Sewer Line; Manhole
	Existing Water Line, Valve, Fire Hydrant
	Existing Sign
	I.D. #/Soil Test Site Performed May 2017
	Soil Boundary and Soil Type
	Existing Structure (Typ.)
	NPDES Permit Boundary Line
	Wetland Limit

SOIL SYMBOL	SOIL DESCRIPTION	SLOPE (%)	DEPTH TO HIGH WATER TABLE PER S.C.S. SOIL SURVEY	DEPTH TO BEDROCK PER S.C.S. SOIL SURVEY	HYDROLOGIC SOIL GROUP
BdB	Bedington shaly Silt Loam	3-8	5'+	40"+	B
BdC	Bedington shaly Silt Loam	8-15	5'+	40"+	B
BrB	Brinkerton Silt Loam	3-8	0-0.5'	60"+	D
EtB	Ernest silt loam	3-8	1.5'-3'	60"+	C

SOIL SYMBOL	SOIL LIMITATIONS PER S.C.S. SOIL SURVEY	CONTRACTOR RESOLUTIONS OF SOIL LIMITATIONS
BdB	Cutbanks cave easily, droughty, easily erodible, poor percolation, poor for topsoil, frost action	Proposed grading shall be compacted with equipment, in layers, per standard construction practices to ensure that placed soil is tight and strong. Soil with significant clay content shall be proof rolled. Any unsuitable material (such as the Brinkerton and Ernest soil areas where wetness might be present) shall be removed and replaced with adequate subgrade / subbase from drier portions of the site. Desirable seeding fertilizer and lime supplements for this site can be determined with a soil test. This would offset the possible low Ph. Slopes shall be re-graded, then stabilized with topsoil, seed and mulch, and matted if steep. Topsoil can be imported from other sources, as it is readily available in the area. In general, there are no unusual site characteristics here that are unlike those found elsewhere in the region where similar soils are present. No special construction methods or procedures seem necessary.
BdC	Cutbanks cave easily, droughty, easily erodible, slow percolation, shallow depth to seasonal high water table, piping, poor for topsoil, frost action, shrink-swell, wetness	
BrB	Cutbanks cave easily, easily erodible, slow percolation, shallow depth to seasonal high water table, low strength, piping, poor for topsoil, frost action, shrink-swell, wetness	
EtB	Cutbanks cave easily, easily erodible, slow percolation, shallow depth to seasonal high water table, low strength, piping, poor for topsoil, frost action, shrink-swell, wetness	

SOIL TEST RESULT SUMMARY					
Soil Test Site #1	Existing Ground Elev. at test site	Bottom Elev. Of Probe Hole	Limiting Zone Elev. And Type of Limitation	Percolation Test Elev.	Measured Percolation Rate
1	562.8	556.8	none	558.8	0 in./hr
2	561.7	556.0	556.2: seeps; water table	561.0	1.25 in./hr
2	561.7	556.0	556.2: seeps; water table	558.9	0.125 in./hr
3	562.7	556.4	556.7: seeps; water table	561.5	1.5 in./hr
3	562.7	556.4	556.7: seeps; water table	558.9	0.75 in./hr
4	563.8	556.3	557.2: seeps; water table	561.5	0.25 in./hr
4	563.8	556.3	557.2: seeps; water table	559.0	0.75 in./hr
5	564.9	556.6	556.6: seeps; water table	561.5	0 in./hr
5	564.9	556.6	556.6: seeps; water table	558.9	4.0 in./hr
6	566.1	557.0	558.1: seeps; water table	561.5	0.125 in./hr
6	566.1	557.0	558.1: seeps; water table	559.0	9.0 in./hr
7	566.8	558.5	558.5: seeps; water table	561.5	3.25 in./hr
7	566.8	558.5	558.5: seeps; water table	560.5	10.5 in./hr



PROPOSED LOT #1
GROSS AREA = 193,475 SQ. FT. / 3.06 AC.
NET AREA = 127,623 SQ. FT. / 2.93 AC.

NO.	DATE	DESCRIPTION	BY

DESIGN : T.C.S.
 DRAWN : G.D.G.
 CHECKED : J.K.M.
 DATE : 6/1/2020
 REV :

PLANNING • ENGINEERING • SURVEYING
 151 GETTYSBURG PIKE
 NEW MARKET, PA 17070
 PHONE: (717) 770-2500
 FAX: (717) 770-2400
 WWW.ALPHA-INC.COM

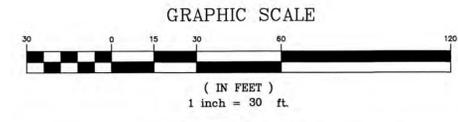


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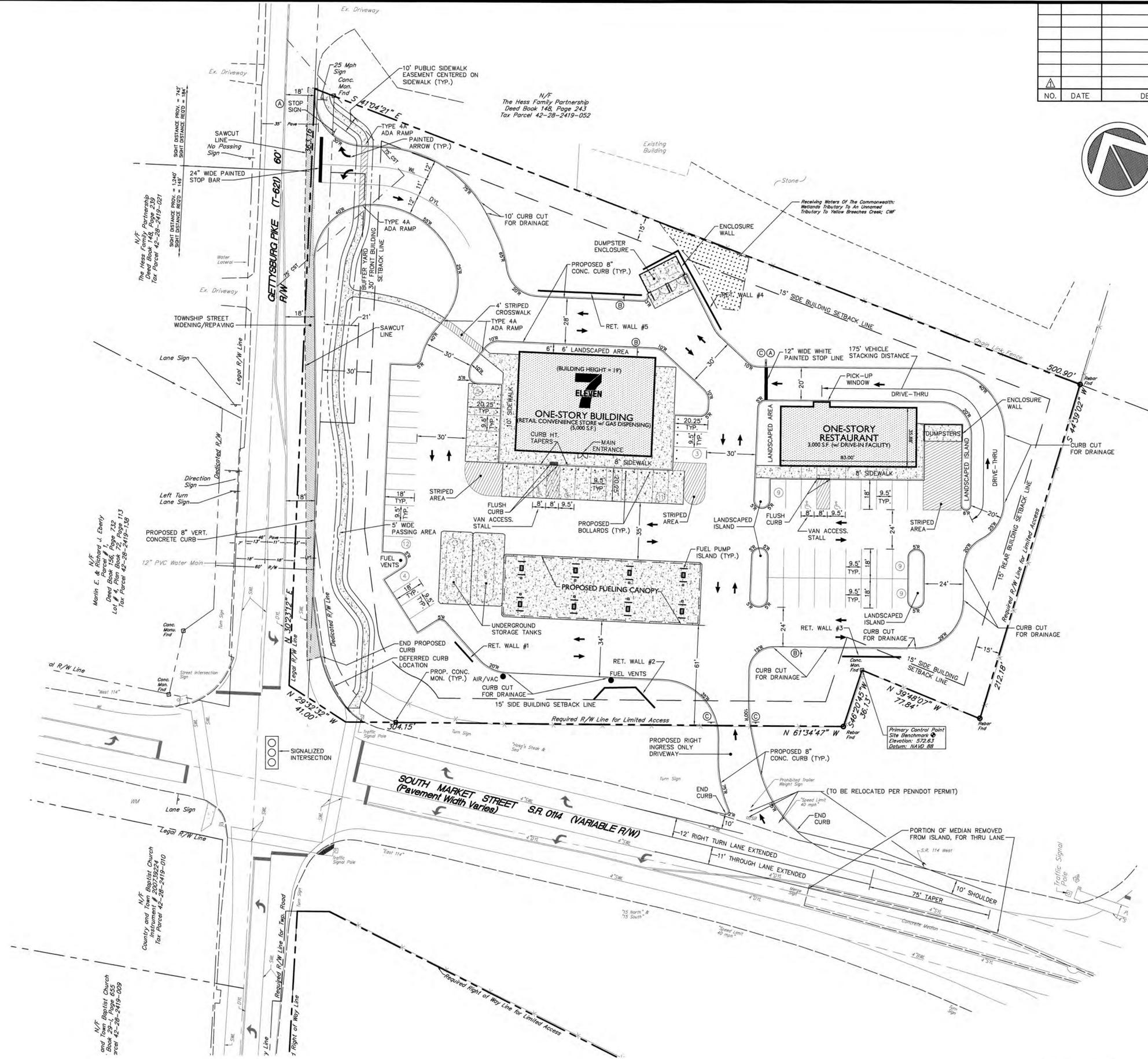
EXISTING FEATURES PLAN
 PRELIMINARY / FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 FOR
151 GETTYSBURG PIKE
 UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
319590
 SURVEY BOOK :
 SCALE : 1" = 30'
 DWG : V:\Projects\319590\151 GETTYSBURG PIKE\151 GETTYSBURG PIKE.dwg
 FILE : Dwg\151 GETTYSBURG PIKE.dwg
 SHEET **2** of **15**



LEGEND	
	Existing Property Line
	Existing Edge Of Pavement
	Existing Curb
	Delineated Wetlands
	PROPOSED RIGHT OF WAY LINE
	PROPOSED UTILITY/DRAINAGE EASEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED SIDEWALK/PATH

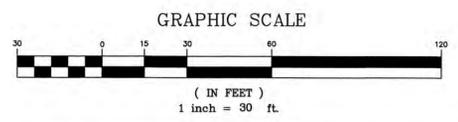
SIGN CHART			
PLAN SYMBOL	PENNDOT DESIGNATION	SIGN DESCRIPTION	SIZE
	R1-1	STOP	24"x24"
	R8-3A	NO PARKING SIGN	12"x12"
	R5-1	DO NOT ENTER SIGN	30"x30"



DESIGN :	T.C.S.		
DRAWN :	G.D.G.		
CHECKED :	J.K.M.		
DATE :	6/1/2020		
REV :			
NO.	DATE	DESCRIPTION	BY



SEE SHEET #4
FOR EASEMENTS



PLANNING ENGINEERING & SURVEYING
115 WILKINSON ROAD, BOX 100
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PHONE: 717 770-2500
FAX: 717 770-2400
WWW.ALPHACEI.COM

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ALPHA CONSULTING ENGINEERS, INC.

SEAL

SITE PLAN
FOR
PRELIMINARY / FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
FOR
151 GETTYSBURG PIKE
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

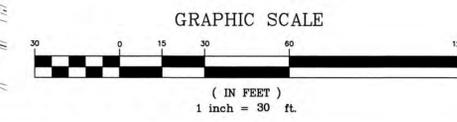
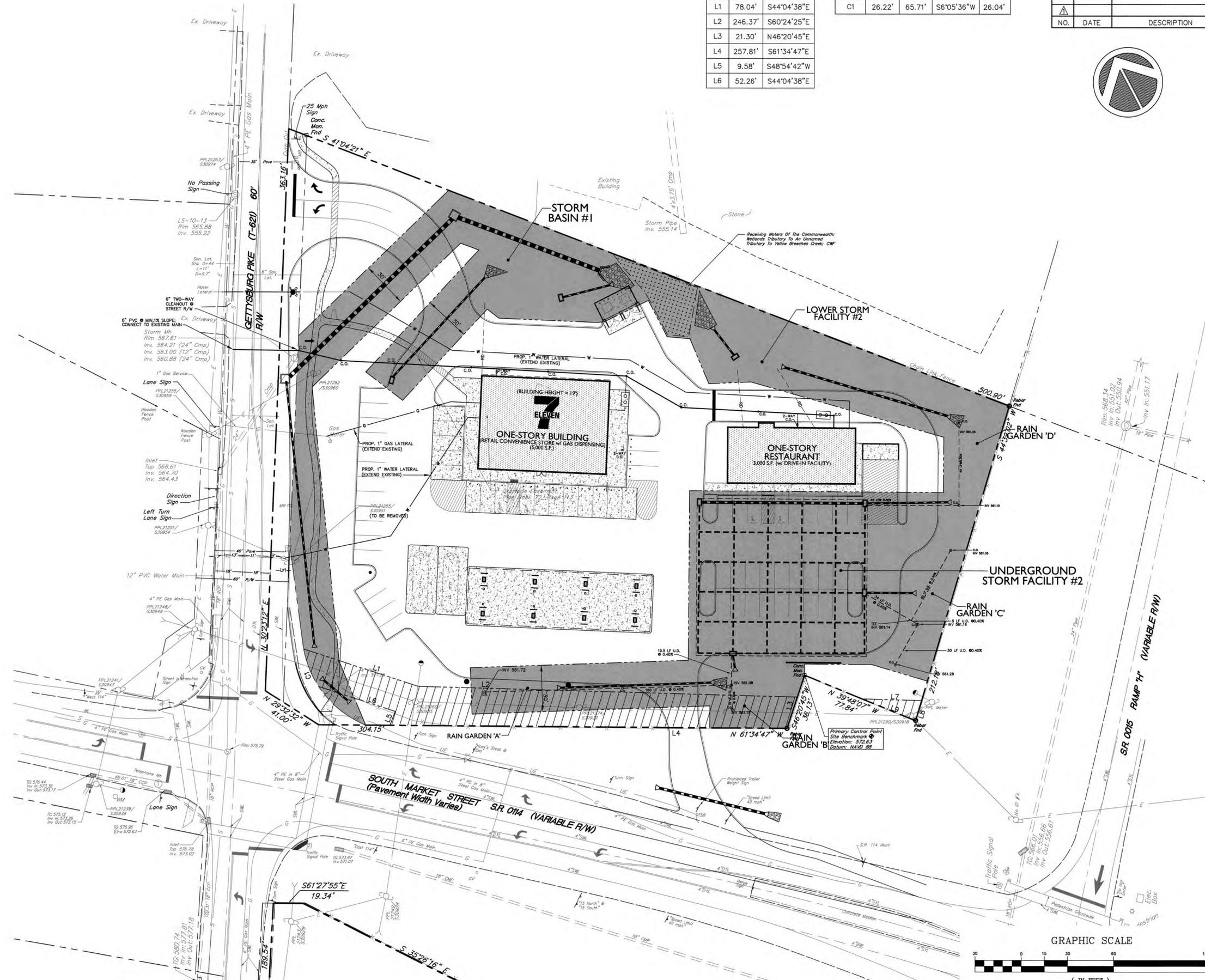
PROJECT NO.	319590
SURVEY BOOK :	
SCALE :	1" = 30'
DWG :	151-319590.dwg
FILE :	151-319590.dwg
SHEET	3 of 15

LEGEND	
	Property Line
	Existing Contour
	Existing Curb
	Existing Edge of Pavement
	Existing Gas Line/Valve
	Existing Water Line/Valve
	Existing Storm Sewer Inlet, Pipe Size And Manhole
	Existing Sanitary Sewer Line Cleanout And Manhole
	Existing Sign
	Existing Electric Line And Utility Pole, A.D. #
	Existing Spot Elevation
	PROPOSED STORM SEWER INLET, LINE
	PROPOSED RIP RAP APRON
	PROPOSED SANITARY SEWER MAIN AND MANHOLE
	PROPOSED SANITARY SEWER LATERAL; CLEANOUT
	PROPOSED WATER LINE: HYDRANT, VALVE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	ROOF DRAIN COLLECTOR PIPE
	PROPOSED WALK
	PROPOSED DRAINAGE EASEMENT
	PROPOSED UTILITY EASEMENT

LINE TABLE		
LINE	LENGTH	BEARING
L1	78.04'	S44°04'38"E
L2	246.37'	S60°24'25"E
L3	21.30'	N46°20'45"E
L4	257.81'	S61°34'47"E
L5	9.58'	S48°54'42"W
L6	52.26'	S44°04'38"E

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	26.22'	65.71'	S6°05'36"W	26.04'

DESIGN :	T.C.S.
DRAWN :	G.D.G.
CHECKED :	J.K.M.
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REV :	



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 11 NEW HAVEN RD.
 NEW CUMBERLAND, PA 17070
 PHONE: (717) 770-2500
 FAX: (717) 770-2400
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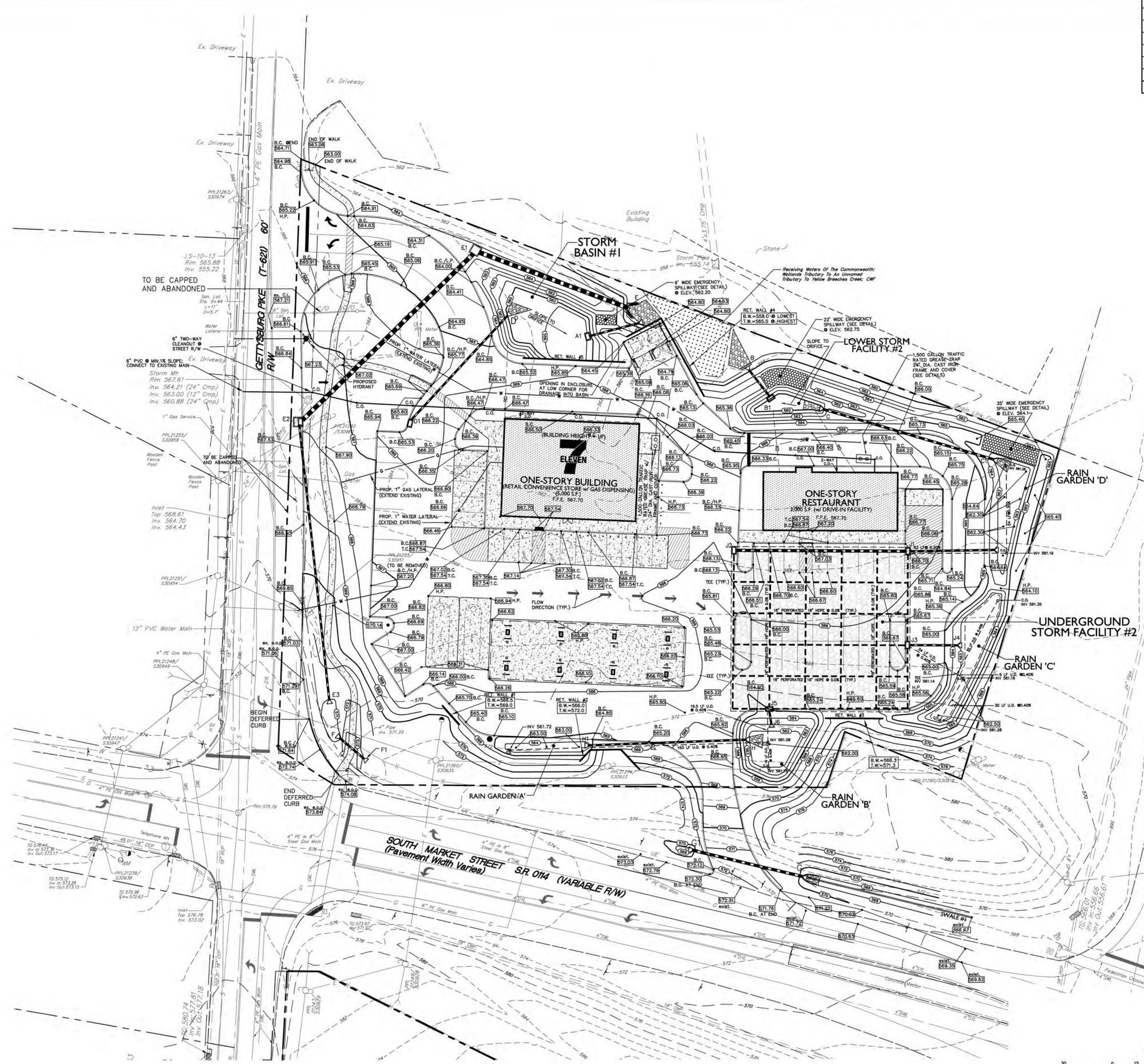
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SEAL

PRELIMINARY / FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 FOR
151 GETTYSBURG PIKE
 UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	319590
SURVEY BOOK :	
SCALE :	1" = 30'
DWG. :	Y:\1519590\DWG\1519590.dwg
FILE :	1519590.dwg
SHEET	4 of 15

LEGEND	
	Property Line
	Existing Contour
	Existing Curb
	Existing Edge Of Pavement
	Existing Gas Line/Valve
	Existing Water Line/Valve
	Existing Storm Sewer
	Existing Sanitary Sewer
	Existing Sign
	Existing Electric Line
	Existing Spot Elevation
	PROPOSED STORM SEWER INLET, LINE
	PROPOSED RIP RAP APRON
	PROPOSED SANITARY SEWER MAIN AND MANHOLE
	PROPOSED SANITARY SEWER LATERAL, CLEANOUT
	PROPOSED WATER LINE HYDRANT, VALVE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	B.C.=BOTTOM OF CURB
	H.P.=HIGH POINT
	L.P.=LOW POINT
	ROOF DRAIN PIPE
	UNDERDRAIN / CLEANOUT
	PROPOSED WALK
	Soil Test Site Of May, 2017, I.D. #



NO.	DATE	DESCRIPTION	BY



DESIGN : T.C.S.
 DRAWN : G.D.G.
 CHECKED : J.K.M.
 DATE : 6/1/2020
 REV :

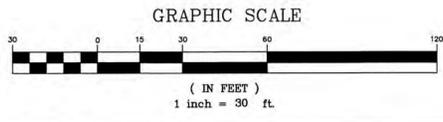
PLANNING & ENGINEERING & SURVEYING
 115 LIMEKILN RD., P.O. BOX 67
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 PHONE: 717.326.2500
 FAX: (717) 770-2400
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GRADING / UTILITIES PLAN
 PRELIMINARY / FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
 FOR
151 GETTYSBURG PIKE
 UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
 319590
 SURVEY BOOK :
 SCALE : 1" = 30'
 DWG : I:\Projects\319590\151GETTYSBURG\151GETTYSBURG.dwg
 FILE : Dwg\Plans\Grading-Final\Grd-151GETTYS.dwg
 SHEET **5** of **15**



LEGEND	
	Property Line
	Existing Curb
	Existing Edge of Pavement
	Existing Gas Line/Valve
	Existing Water Line/Valve/Hydrant
	Existing Storm Sewer Line
	Existing Sanitary Sewer Line
	Existing Electric Line
	PROPOSED STORM SEWER LINE AND INLET; ID #
	PROPOSED RIP RAP APRON
	PROPOSED SANITARY SEWER MAIN AND MANHOLE; ID #
	PROPOSED SANITARY SEWER LATERAL; CLEANOUT
	PROPOSED WATER LATERAL
	PROPOSED CONCRETE WALK
	TYPE 2 BUFFER YARD AGAINST RESIDENTIAL PROPERTY

REQUIRED PLANTING CALCULATIONS

Street Trees
 Requirement: minimum 2 trees for every 100 linear feet of public right-of-way.
 Calculation: 368 linear feet of public street right-of-way frontage, divided by 100 feet, equals 3.68, times 2 trees, equals 8 trees required.
 Compliance: 8 serviceberry trees are proposed.

Type 2 Buffer Yard in 21-foot wide strip of land along Gettysburg Pike
 Requirement: One shade tree per 40 linear feet of buffer screen.
 Calculation: 152 linear feet of buffer screen along Gettysburg Pike, divided by 40 feet, equals 4 trees required.
 Compliance: 4 dogwood trees are proposed.

Requirement: One evergreen tree per 30 linear feet of buffer screen.
 Calculation: 152 linear feet of buffer screen along Gettysburg Pike, divided by 30 feet, equals 6 trees required.
 Compliance: 6 cedar trees are proposed.

Requirement: One deciduous or evergreen shrub per 20 feet of buffer screen. Minimum 60% of the shrubs must be evergreen.
 Calculation: 152 linear feet of buffer screen along Gettysburg Pike, divided by 20 feet, equals 8 shrubs required.
 Compliance: 8 rhododendron shrubs are proposed, 8 of which (100%) are evergreen.

Dumpster Screenings
 Requirement: One shade tree per 40 linear feet of visibility.
 Calculation: 20 linear feet of frontage visibility to street, divided by 40 feet, equals 1 tree required.
 Compliance: 1 redbud shade tree is proposed per each trash enclosure.

Requirement: One evergreen tree per 5 linear feet of visibility.
 Calculation: 20 linear feet of frontage visibility to street, divided by 5 feet, equals 4 trees required.
 Compliance: 4 alberta spruce evergreen trees are proposed per each trash enclosure.

Requirement: Minimum 6-foot high solid enclosure.
 Compliance: An enclosure wall/ fence is provided.

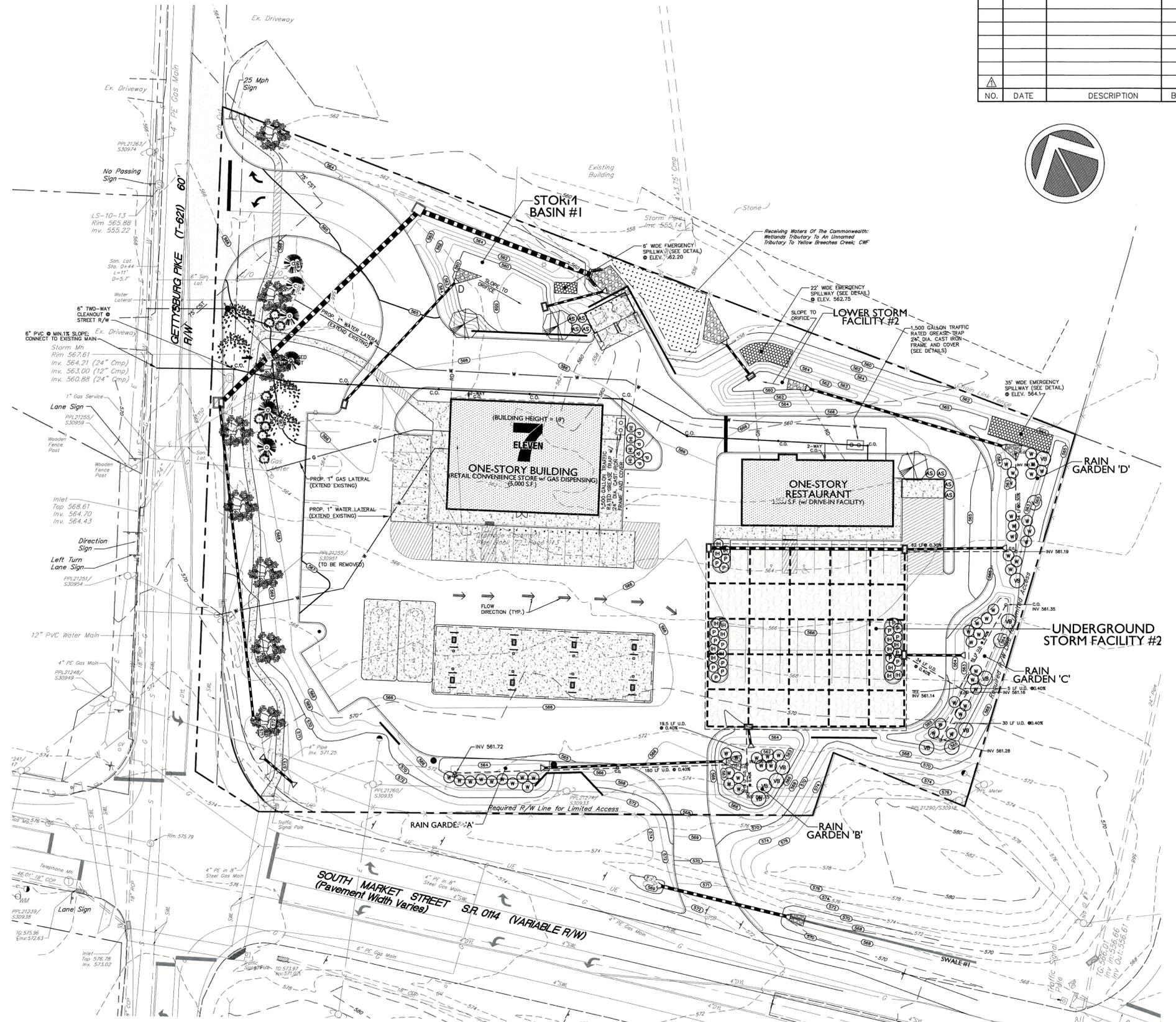
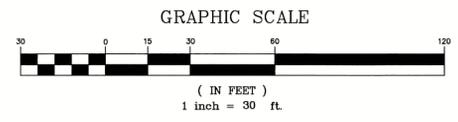
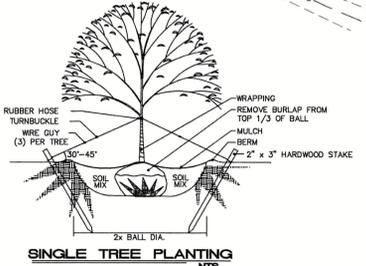
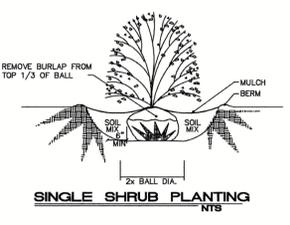
Stormwater Management Buffering and Screening
 The proposed Type 2 buffer yard parallel to Gettysburg Pike screens Stormwater Basin #1. Storm facility #2 is not visible from the street.

NOTES:

- Summary: Furnish all labor, materials, services, equipment, and other necessary items required or establishing landscaped area in accordance with project specifications and these landscape notes.
- Soil pH shall be determined by electronic or chemical soil test; pH shall be adjusted as required for specific plant material to be grown.
- The subgrade in planting areas shall be loosened and mixed to a depth of three inches (3") and lightly compacted. Distribute topsoil over areas to be planted to a minimum depth of four inches (4").
- Shrubs and trees: Contractor shall install all shrubs and trees as recommended by an experienced local AAN/PNA - certified nursery, unless noted otherwise on drawings. The standard warranty is for a one (1) year period, commencing on the date of final payment. Plants shall be alive and in satisfactory growth at the end of the warranty period.
- Shrubs and trees shall be planted in accordance with the details shown in the plan set. If excessive rock or stone is encountered while digging planting holes, the contractor shall replace the unsuitable material with suitable backfill at no additional cost.
- The landscape contractor shall review the entire set of the contract drawings to become aware of any possible conflicts with utilities and determine measures required to protect existing and proposed utilities.
- Any nylon rope used in baling the trees must be cut and removed from the root ball.
- If plant quantities on the plant schedule do not conform to the planting plan, the planting plan shall take precedence. No fewer plants may be installed without prior approval by the developer.
- On-site landscaping shall be maintained in a healthy growing condition at all times by the contractor until the owner or their delegated representative has inspected and accepted all landscape improvements at the beginning of the one-year warranty period. Once accepted, during the one-year warranty period, landscaping in accordance with the care and maintenance schedule provided to the developer by the landscape contractor.
- Inspection by the landscape contractor of all plant material shall occur seasonally during the warranty period. If the owner has followed the care and maintenance schedule and plant material has become diseased, is dying, or is dead, the contractor shall replace all diseased, dying, or dead plant material. If the developer has not followed the care and maintenance schedule and plant material has become diseased, is dying, or is dead, the contractor is not responsible for replacing the diseased, dying, or dead plant material.
- If the contractor believes a replacement plant will not grow because of identified environmental conditions, then the contractor may replace the originally specified plant with a similar species that meets the design intent, upon prior approval by the developer.
- Landscape areas shall be continuously maintained by the landowner. Failure to adequately maintain landscaped areas may be subject to a citation issued by the Township.

LANDSCAPE LEGEND:

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	NATIVE (Y/N)	IN. SIZE (AT PLANTING TIME)	SPACING	COMMENTS
	11	ARROW WOOD VIBURNUM OR BLACKWAX VIBURNUM	Viburnum dentatum or Viburnum prunifolium	X	2-3" HIGH	8" O.C.	RAIN GARDEN
	52	WINTER RED WISTERIA (cultivar acceptable)	Wisteria floribunda	X	3-4" HIGH	8" O.C.	RAIN GARDEN
	21	POTENTILLA	Potentilla fruticosa	X	1 GAL. CONT.	4" O.C.	PARKING LANDSCAPE ISLANDS
	19	HERRING HOLLY (cultivar acceptable)	Ilex glabra 'Shierrock'	X	1 GAL. CONT.	4" O.C.	PARKING LANDSCAPE ISLANDS
	6	WHITE CEDAR, RHODODENDRON	Rhododendron 'Catawissa Album'	X	18" HIGH 12-15" SPREAD	6-8" O.C.	EVERGREEN BUFFER SHRUB (per S.A.L.D.O. section 220-26.8)
	6	EASTERN RED CEDAR	Juniperus virginiana 'Carnegie'	X	5" HIGH	SEE PLAN	Evergreen buffer tree per SALDO section 220-26.8.
	3	REDBUD	Cercis canadensis (cultivar acceptable)	X	6" HIGH 2" CALIPER	SEE PLAN	Dumpster shade tree per SALDO section 220-26.8.(1)(e)
	4	FLOWERING DOGWOOD	Cornus florida (cultivar acceptable)	X	6" HIGH 2" CALIPER	SEE PLAN	Buffer shade tree per SALDO section 220-26.8.(1)(e)
	8	SERVICEBERRY	Amelanchier canadensis	X	4-5" HIGH	SEE PLAN	Street tree per SALDO section 220-26.D.(7)
	4	DWARF ALBERTA SPRUCE	Picea glauca 'Conical'	X	30" HIGH	SEE PLAN	Dumpster evergreen tree per SALDO section 220-26.8.(1)(e)



NO.	DATE	DESCRIPTION	BY

DESIGN :	T.C.S.
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CHECKED :	J.K.M.
DATE :	6/1/2020
REV :	

PLANNING ENGINEERING & SURVEYING
 115 LIMEKILN RD., P.O. BOX 103
 NEW GUMBERLAND, PA 17070
 PHONE: 717.770.2600
 FAX: 717.770.2400
 WWW.ALPHACEI.COM



SEAL



LANDSCAPE PLAN
 PRELIMINARY / FINAL SUBMISSION AND LAND DEVELOPMENT PLAN
 FOR
151 GETTYSBURG PIKE
 UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	319590
SURVEY BOOK :	
SCALE :	1" = 30'
DWG. FILE :	151GETTYSBURG_Plane-18.dwg
FILE :	151GETTYSBURG_Plane-18.dwg
SHEET	6 of 15