

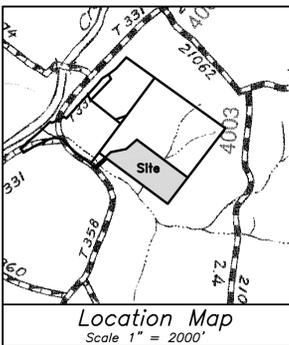
Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Hopewell</u>	Surveyor/ Engineer:	<u>Curfman & Zullinger Surveying, Inc.</u>	Owner/ Developer:	<u>Paul Stoltzfus</u>
Plat Title:	<u>Paul Stoltzfus</u>				
Plat Status:	<u>Preliminary</u>	Plat Type:	<u>Subdivision</u>		
# of New Lots:	<u>1</u>	# of New Dwelling Units:	<u>0</u>	New Acreage Subdivided/Developed:	<u>7.41</u>
				Total Tract Acreage:	<u>139.04</u>
Zoning District:	<u>Agricultural District</u>		Proposed Land Use:	<u>Residential</u>	
Date Received:	<u>6/8/2020</u>	County Review:	<u>6/18/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. It appears that a waiver of the preliminary plan application may be required for the proposed preliminary/final plan. Township should verify if a waiver is required with the submission (SLDO 203.1). If required, the plan should include date and decision of the requested waiver (SLDO 302.2.11).
2. The plan should address the presence or absence of wetlands (SLDO 302.3.4.B).
3. The Zoning Data provided on the Cover Sheet should include proposed figures (SLDO 302.4.5).
4. This property appears to be enrolled in the Cumberland County Clean and Green Program and may be subject to roll-back taxes. Contact the Cumberland County Tax Assessment Office for information.
5. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



Legend

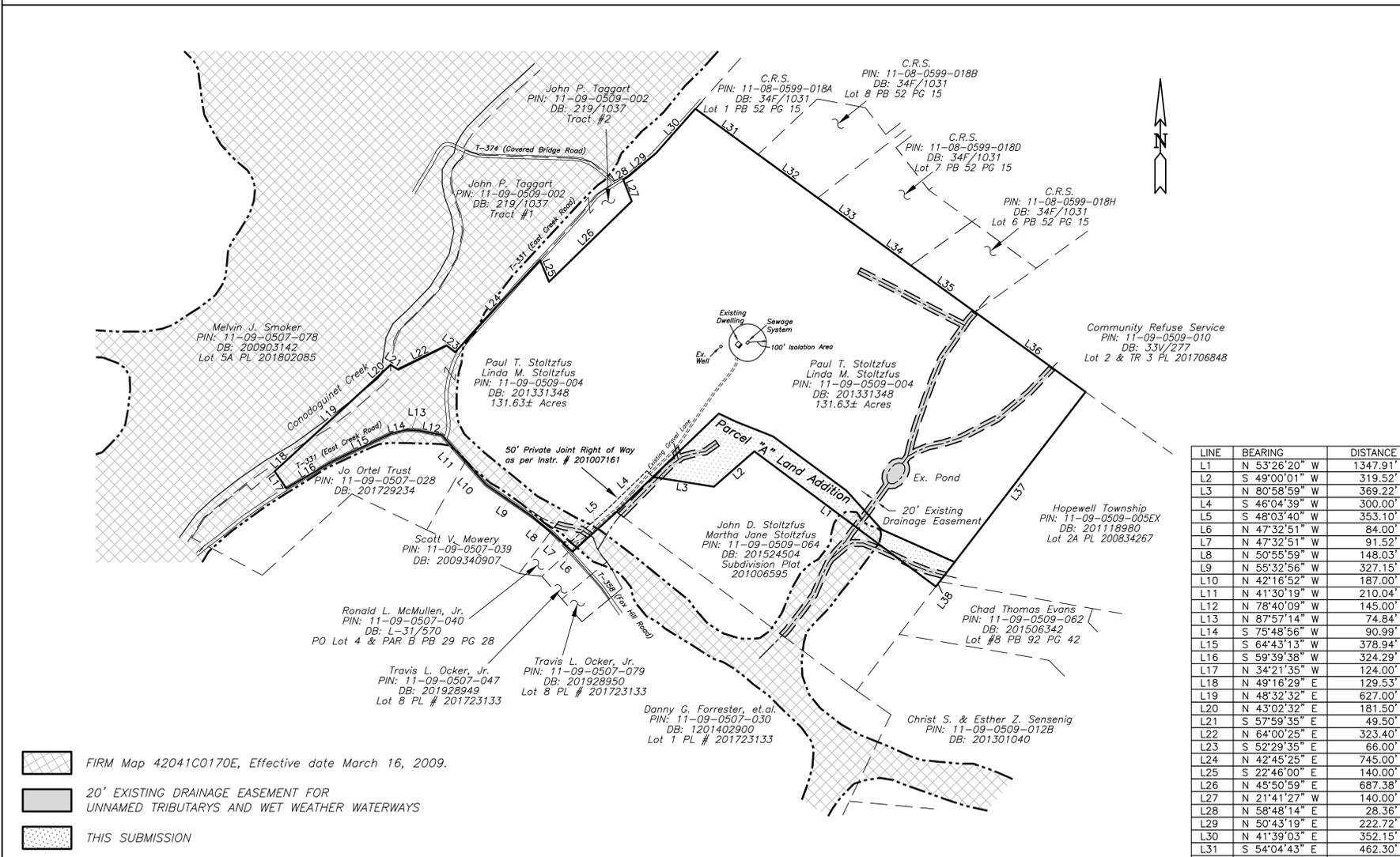
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- SS - Sewer Service Line
- CO - SS Cleanout
- W - Water Main
- ws - Water Service Line
- WV - Water Valve
- WM - Water Meter
- G - Gas Line
- Wetlands - Wetlands

ZONING DATA

Zoned - A-1, AGRICULTURAL DISTRICT
On-Site Water and Sewer

Building Setback Lines - Front = 50'
Side = 35'
Rear = 50'

Minimum Lot Width - 200'
Maximum Building Height - 40'
Minimum Lot Size - 62,500 Sq. Ft.
Maximum Building Coverage - 15%
Maximum Lot Coverage - 25%



INDEX MAP

This parent tract was plotted using courses sited in Cumberland County Deed Book Volume 201331348 and reflects the accuracy and/or inaccuracies thereof. Scale 1" = 400'

GENERAL NOTES:

- The purpose of this submission is to subdivide Parcel "A" from other lands of Paul T. and Linda M. Stoltzfus and add as a land addition to adjoining lands of John D. and Martha Jane Stoltzfus.
- No construction, development, or earth moving activity is proposed by this submission. Any future development must comply with all applicable federal, state, and local requirements including, but not limited to, township land development approval.
- Parcel "A" contains no improvements and shall be conveyed as a land addition to lands of John D. and Martha Jane Stoltzfus as shown hereon. Parcel "A" cannot be resold as a separate independent parcel unless all applicable requirements are satisfied. A consolidation deed must be prepared following the recording of this subdivision plan.
- Lot #1 which is receiving the land addition is improved with a dwelling, on-lot sewage system, well, and several out buildings.
- The residue land is owned by Paul T. and Linda M. Stoltzfus.
- The residue is improved with a dwelling, on-lot sewage, a well, and several out building.
- The topography shown here was taken from PASDA Map No. 30002030PAS.
- Flood Plain is shown from the FIRM Map 42041C0170E dated March 16, 2009.
- The property transfer will result in the recording of a deed at the Cumberland County Recorder of Deeds. A copy of said deed must be provided to Hopewell Township within 7 days of the recording.

Sellers: Paul T. and Linda M. Stoltzfus
273 Fox Hill Road
Newburg, Pa 17240
(717) 860-2217

Buyers: John D. and Martha Jane Stoltzfus
269 Fox Hill Road
Newburg, Pa 17240
717-860-2217

I/We hereby certify that, as the owners of adjacent land (Deed Reference Instrument No. 201524504) to the parcel shown as lands of Paul T. Stoltzfus and Linda M. Stoltzfus on this plan, it is my/our intention to acquire said parcel upon approval and recording of this plan. I/We hereby agree to incorporate Parcel No. "A" with my/our adjacent landholdings into one (1) tract of land with one (1) encompassing description within ninety (90) days of transfer to my/our ownership. I/We further agree to provide a copy of the recorded deed to Hopewell Township within seven (7) days of its recording.

John D. Stoltzfus
Martha Jane Stoltzfus

AFFIDAVIT:
Commonwealth of Pennsylvania; }
County of Cumberland } SS:
Notary Seal
MARTIN J. CURSIAN - Notary Public
CHAMBERSBURG BORO, FRANKLIN COUNTY
My Commission Expires Jul 16, 2021

Affirmed and subscribed to me this 26 day of May 2020.
WJ
Notary Public

This plan creates a lot addition(s). Lot(s) Parcel "A" cannot be represented as, or conveyed as, a separate buildable lot(s), nor can Lot(s) Parcel "A" be used by itself (themselves) by any party for any construction or other land development. The property transfer will result in the recording of a deed with the Cumberland County Recorder of Deeds. A copy of the recorded deed will be provided to the Township within seven (7) days of its recording.

Commonwealth of Pennsylvania
County of Cumberland INDIVIDUAL

On this, the 26 day of May, 2020, before me, the undersigned officer, personally appeared Paul T. Stoltzfus, who being duly sworn according to law, disposes and says that he/she is the Owner of the property shown on this plan, that the plan thereof was made at his/her direction, that he/she acknowledges the same to be his/her act and plan, that he/she desires the same to be recorded, and that all streets and other property identified as proposed public property (excepting those areas labeled "NOT FOR DEDICATION") are hereby dedicated to the public use.

Paul T. Stoltzfus
Paul T. Stoltzfus

Notary Seal
MARTIN J. CURSIAN - Notary Public
CHAMBERSBURG BORO, FRANKLIN COUNTY
My Commission Expires Jul 16, 2021

Commonwealth of Pennsylvania
County of Cumberland INDIVIDUAL

On this, the 26 day of May, 2020, before me, the undersigned officer, personally appeared Linda M. Stoltzfus, who being duly sworn according to law, disposes and says that he/she is the Owner of the property shown on this plan, that the plan thereof was made at his/her direction, that he/she acknowledges the same to be his/her act and plan, that he/she desires the same to be recorded, and that all streets and other property identified as proposed public property (excepting those areas labeled "NOT FOR DEDICATION") are hereby dedicated to the public use.

Linda M. Stoltzfus
Linda M. Stoltzfus

Notary Seal
MARTIN J. CURSIAN - Notary Public
CHAMBERSBURG BORO, FRANKLIN COUNTY
My Commission Expires Jul 16, 2021

CUMBERLAND COUNTY REVIEW

Reviewed by the Cumberland Co. Planning Department this ___ day of ___, ___.

Director of Planning _____

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Hopewell Township Subdivision and Land Development Ordinance. The error of closure is no greater than one foot in ten thousand feet.

May 26, 2020
Delwin R. Zullinger
Delwin R. Zullinger

At a meeting on _____, 20___, the Hopewell Township Planning Commission reviewed this plan.

HOPEWELL TOWNSHIP PLANNING COMMISSION
Chairman or Designee _____

At a meeting on _____, 20___, the Board of Supervisors of Hopewell Township granted FINAL PLAN APPROVAL of this project, based upon its conformity with the standards of the Hopewell Township Subdivision and Land Development Ordinance, and all conditions of approval have been met. This approval includes the complete set of plans/reports that are filed with the Township and available for public review.

ATTEST: HOPEWELL TOWNSHIP BOARD OF SUPERVISORS
Hopewell Township Secretary _____ Chairman or Designee _____

WAIVER REQUEST	APPROVED	DISAPPROVED	DATE
PRELIMINARY PLAN SECTION 203			
2' CONTOURS ON RESIDUE SECTION 302.3.1			

NON-BUILDING WAIVER (Parcel "A" and Residue)

"As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of Residential use. No portion of this property/subdivision has been approved by Hopewell Township (Municipality) or the Department of Environmental Protection for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et. seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of Hopewell Township (Municipality), which is charged with administering the Sewage Facilities Act to determine what sewage facility planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

AGRICULTURAL NUISANCE DISCLAIMER

THE LANDS DEPICTED ON THIS PLAN MAY BE LOCATED ADJACENT TO OR BE INVOLVED IN A NORMAL AGRICULTURAL OPERATION AS DEFINED BY PENNSYLVANIA ACT 133 OF 1982, AS AMENDED, "THE RIGHT TO FARM LAW". IF YOU PURCHASE LAND THAT IS DEPICTED ON THIS PLAN AND SAID LANDS ARE LOCATED OR INVOLVED AS DESCRIBED ABOVE, YOU MAY BE PROHIBITED FROM FILING A NUISANCE ACTION AGAINST THE OPERATORS OF A NORMAL AGRICULTURAL OPERATION. IN ADDITION, YOU MAY BE SUBJECT TO INCONVENIENCE, DISCOMFORT AND THE POSSIBILITY OF INJURY TO PROPERTY AND HEALTH ARISING FROM NORMAL AND ACCEPTED AGRICULTURAL PRACTICES AND OPERATIONS, INCLUDING, BUT NOT LIMITED TO, NOISE, DUST, ODOR, THE OPERATION OF MACHINERY OF ANY KIND INCLUDING AIRCRAFT, THE STORAGE AND DISPOSAL OF MANURE, AND THE APPLICATION OF FERTILIZERS, SOIL AMENDMENTS, HERBICIDES AND PESTICIDES.

SURVEY DATUM:
VERTICAL DATUM - NAVD 88
HORIZONTAL DATUM - PA SOUTH NAD 83

OWNERSHIP REFERENCE:
CUMBERLAND COUNTY TAX MAP PIN:11-09-0509-004
CUMBERLAND COUNTY INSTRUMENT NO. 201331348

SHEET 1 - INDEX MAP
SHEET 2 - SUBDIVISION PLAN

Curfman & Zullinger Surveying Inc.
Surveying & Subdivision & Stake out
566 Lincoln Way East
Chambersburg, PA 17201
Phone (717)-861-0749
Fax (717)-861-1705

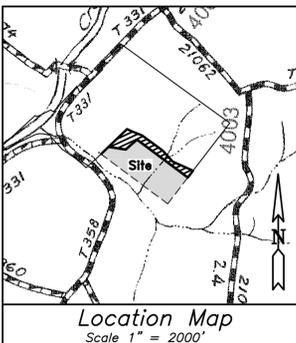
PAUL T. STOLTZFUS & LINDA M. STOLTZFUS (OWNERS)

PRELIMINARY / FINAL SUBDIVISION OF LAND
STATE IN HOPEWELL TOWNSHIP CUMBERLAND COUNTY, PENNSYLVANIA

Sheet 1 of 2 Sheets

Scale	As Shown	Date	Drawn	Computed	Checked	File No.	By
		04/21/20					

273 Fox Hill Road
Newburg, Pa 17240
717-860-2217



Legend

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- W - Wetlands
- U - Utility Pole

SOILS LEGEND

- BeB Berks shaly silt loam 3 to 8 percent slopes
- BeC Berks shaly silt loam 8 to 15 percent slopes
- Bra Brinkerton silt loams 0 to 3 percent slopes
- WeD Weikert very shaly silt loam 15 to 25 percent slopes
- WkF Weikert and Klinesville very shaly silt loams 25 to 75 percent slopes

Paul T. Stoltzfus
Linda M. Stoltzfus
PIN: 11-09-0509-004
residue of DB: 201331348
131.63 Acres

Paul T. Stoltzfus
Linda M. Stoltzfus
PIN: 11-09-0509-004
residue of DB: 201331348
131.63 Acres

John D. Stoltzfus
Existing Parcel 28.0000 Acres
Addition (Parcel "A") 7.4083 Acres
Total after consolidation 35.4083 Acres

Paul T. Stoltzfus
Existing Parcel 139.0395 Acres
Adverse (Parcel "A") 7.4083 Acres
Residue 131.6312 Acres

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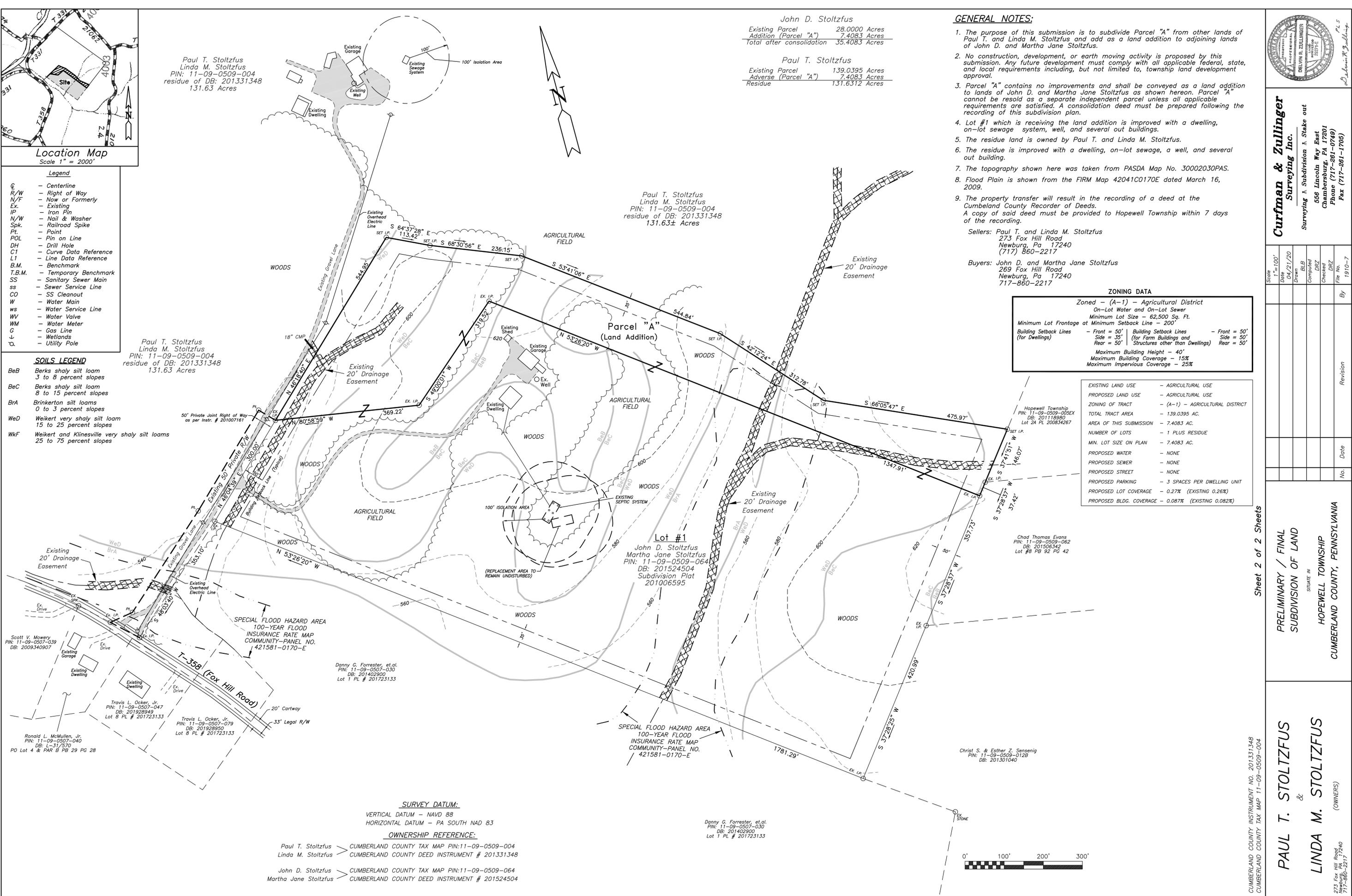
ZONING DATA

Zoned - (A-1) - Agricultural District
On-Lot Water and On-Lot Sewer
Minimum Lot Size - 62,500 Sq. Ft.
Minimum Lot Frontage at Minimum Setback Line - 200'

Building Setback Lines (for Dwellings)	- Front = 50'	Building Setback Lines (for Farm Buildings and Structures other than Dwellings)	- Front = 50'
	Side = 35'		Side = 50'
	Rear = 50'		Rear = 50'

Maximum Building Height - 40'
Maximum Building Coverage - 15%
Maximum Impervious Coverage - 25%

EXISTING LAND USE	- AGRICULTURAL USE
PROPOSED LAND USE	- AGRICULTURAL USE
ZONING OF TRACT	- (A-1) - AGRICULTURAL DISTRICT
TOTAL TRACT AREA	- 139.0395 AC.
AREA OF THIS SUBMISSION	- 7.4083 AC.
NUMBER OF LOTS	- 1 PLUS RESIDUE
MIN. LOT SIZE ON PLAN	- 7.4083 AC.
PROPOSED WATER	- NONE
PROPOSED SEWER	- NONE
PROPOSED STREET	- NONE
PROPOSED PARKING	- 3 SPACES PER DWELLING UNIT
PROPOSED LOT COVERAGE	- 0.27% (EXISTING 0.26%)
PROPOSED BLDG. COVERAGE	- 0.087% (EXISTING 0.082%)



Scott V. Mowery
PIN: 11-09-0507-039
DB: 2009340907

Ronald L. McMullen, Jr.
PIN: 11-09-0507-040
DB: L-31/570
PO Lot 4 & PAR B PB 29 PG 28

Travis L. Ocker, Jr.
PIN: 11-09-0507-047
DB: 201928949
Lot 8 PL # 201723133

Travis L. Ocker, Jr.
PIN: 11-09-0507-079
DB: 201928950
Lot 8 PL # 201723133

Danny G. Forrester, et al.
PIN: 11-09-0507-030
DB: 201402900
Lot 1 PL # 201723133

Lot #1
John D. Stoltzfus
Martha Jane Stoltzfus
PIN: 11-09-0509-064
DB: 201524504
Subdivision Plat
201006595

Chad Thomas Evans
PIN: 11-09-0509-062
DB: 201506342
Lot #8 PB 92 PG 42

Christ S. & Esther Z. Sensenig
PIN: 11-09-0509-0125
DB: 201301040

Danny G. Forrester, et al.
PIN: 11-09-0507-030
DB: 201402900
Lot 1 PL # 201723133

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CUMBERLAND COUNTY DEED INSTRUMENT # 201331348

John D. Stoltzfus & Martha Jane Stoltzfus > CUMBERLAND COUNTY TAX MAP PIN: 11-09-0509-064
CUMBERLAND COUNTY DEED INSTRUMENT # 201524504



Curfman & Zullinger
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Surveying & Subdivision & Stake out
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Chambersburg, PA 17201
Phone (717)-861-0749
Fax (717)-861-1705

Scale	1"=100'	Drawn	BLB	Computed	DRZ	Checked	DRZ	File No.	1910-7	By	
Date	04/21/20									Revision	

PRELIMINARY / FINAL
SUBDIVISION OF LAND
IN
HOPWELL TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

PAUL T. STOLTZFUS
&
LINDA M. STOLTZFUS
(OWNERS)

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