

**Cumberland County Subdivision and Land Development Review Report**

Municipality: Southampton Surveyor/ Engineer: Diffenbaugh Wadel, Inc. Owner/ Developer: Joan and Edgar Coy

Plat Title: Joan and Edgar Coy

Plat Status: Final Plat Type: Subdivision

# of New Lots:	<u>2</u>	# of New Dwelling Units:	<u>1</u>	New Acreage Subdivided/Developed:	<u>12.583</u>	Total Tract Acreage:	<u>24.027</u>
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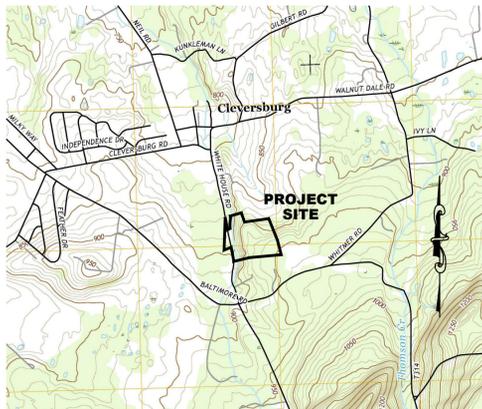
Zoning District: woodland conservation and Village Proposed Land Use: Agricultural and Residential

Date Received: 7/30/2020 County Review: 8/5/2020 Reviewed by: SH Checked by: \_\_\_\_\_

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

*Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.*

1. The proposed building height should be included in the Plan Information (Zoning 5.05.A).
2. The plan information indicates that proposed Lot B is a 1.714 acre lot addition. This lot is shown on the plan as proposed Lot A. The Applicant should clarify the plan (SLDO 305.1.F).
3. The Proposed Lot Plan Notes should include a Sewage Facilities Act approval code number from the Pennsylvania DEP (SLDO 305.2.F).
4. A Drainage Easement for Reservoir Hollow Run should be provided (SLDO 402.2).
5. This property appears to be enrolled in the Cumberland County Clean and Green Program and may be subject to roll-back taxes. Contact the Cumberland County Tax Assessment Office for information.
6. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



LOCATION MAP 1" = 2000'

**STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION**

Commonwealth Of Pennsylvania:  
County Of Cumberland:

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 2020 before me, the undersigned officer, personally appeared Joan Louise Burns Coy & Edgar J. Coy, who being duly sworn according to law depose and say that they are the owners of the property shown on this plan and that they acknowledge the same to be their plan and desire the same to be recorded as such according to law; and all roads or parts thereof, if not previously dedicated, are hereby tendered for dedication to public use.

Joan Louise Burns Coy \_\_\_\_\_ Edgar J. Coy \_\_\_\_\_

Notary Public \_\_\_\_\_ Date \_\_\_\_\_  
Witness my hand and seal the above day and date written.

**SOUTHAMPTON TOWNSHIP BOARD OF SUPERVISORS APPROVAL**

Approved by the Southampton Board Of Township Supervisors and all conditions imposed with respect to such approval were completed on this day of \_\_\_\_\_, 2020.

Southampton Township Board Of Supervisors

Attest: \_\_\_\_\_  
Southampton Township Secretary \_\_\_\_\_ Chairperson \_\_\_\_\_

**SOUTHAMPTON TOWNSHIP PLANNING COMMITTEE RECOMMENDED APPROVAL**

Recommended for approval by the Southampton Township Planning Committee this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Southampton Township Planning Committee

Southampton Township Secretary \_\_\_\_\_ Chairperson \_\_\_\_\_

**CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW**

Reviewed by the Cumberland County Planning Department this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Cumberland County Planning Department

Director Of Planning \_\_\_\_\_

**LAND SURVEYOR'S CERTIFICATION**

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Southampton Township Subdivision And Land Development Ordinance. The error of closure is no greater than 1 foot in 10,000 feet for all surveyed property lines.

**WAIVER REQUEST/APPROVAL BLOCK**

REQUESTED WAIVER	APPROVED	DISAPPROVED
S.A.L.D.O. Section 304 - Preliminary Plan Submission		
S.A.L.D.O. Section 307. - Sheet Size		

**LINE COURSES**

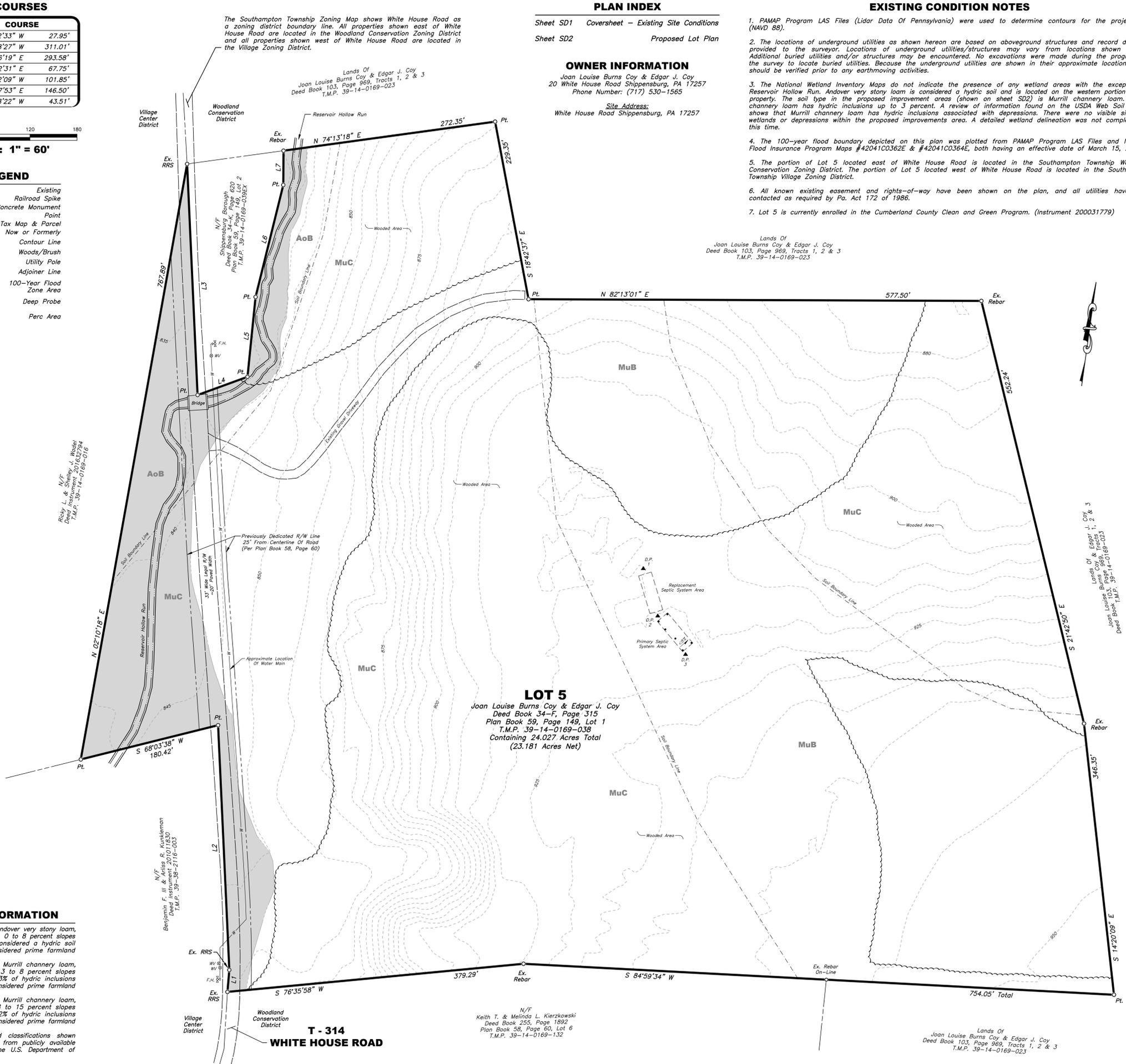
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L1	N 03°02'33" W	27.95'
L2	N 10°38'27" W	311.01'
L3	S 10°36'19" E	293.58'
L4	N 62°02'31" E	67.75'
L5	N 02°12'09" W	101.85'
L6	N 05°57'53" E	146.50'
L7	N 07°38'22" W	43.51'



SCALE: 1" = 60'

**LEGEND**

EX.	Existing
RRS	Railroad Spike
C.M.	Concrete Monument
Pt.	Point
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
---	Contour Line
---	Woods/Brush
○	Utility Pole
---	Adjoiner Line
---	100-Year Flood Zone Area
▲ D.P.	Deep Probe
⋯	Perc Area



**LOT 5**  
Joan Louise Burns Coy & Edgar J. Coy  
Deed Book 34-F, Page 315  
Plan Book 59, Page 149, Lot 1  
T.M.P. 39-14-0169-038  
Containing 24.027 Acres Total  
(23.181 Acres Net)

**PLAN INDEX**

Sheet SD1 Coversheet - Existing Site Conditions  
Sheet SD2 Proposed Lot Plan

**OWNER INFORMATION**

Joan Louise Burns Coy & Edgar J. Coy  
20 White House Road Shippensburg, PA 17257  
Phone Number: (717) 530-1565

Site Address:  
White House Road Shippensburg, PA 17257

**EXISTING CONDITION NOTES**

- PAMAP Program LAS Files (Lidar Data Of Pennsylvania) were used to determine contours for the project site (NAVD 88).
- The locations of underground utilities as shown hereon are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities and/or structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities. Because the underground utilities are shown in their approximate locations, they should be verified prior to any earthmoving activities.
- The National Wetland Inventory Maps do not indicate the presence of any wetland areas with the exception of Reservoir Hollow Run. Andover very stony loam is considered a hydric soil on the western portion of the property. The soil type in the proposed improvement areas (shown on sheet SD2) is Murrill channery loam. Murrill channery loam has hydric inclusions up to 3 percent. A review of information found on the USDA Web Soil Survey shows that Murrill channery loam has hydric inclusions associated with depressions. There were no visible signs of wetlands or depressions within the proposed improvements area. A detailed wetland delineation was not completed at this time.
- The 100-year flood boundary depicted on this plan was plotted from PAMAP Program LAS Files and National Flood Insurance Program Maps #42041C0362E & #42041C0364E, both having an effective date of March 15, 2009.
- The portion of Lot 5 located east of White House Road is located in the Southampton Township Woodland Conservation Zoning District. The portion of Lot 5 located west of White House Road is located in the Southampton Township Village Zoning District.
- All known existing easement and rights-of-way have been shown on the plan, and all utilities have been contacted as required by Pa. Act 172 of 1986.
- Lot 5 is currently enrolled in the Cumberland County Clean and Green Program. (Instrument 200031779)

**PLAN REVISIONS**

NO.	REVISIONS	DATE

**FINAL SUBDIVISION PLAN FOR JOAN LOUISE BURNS COY AND EDGAR J. COY (COVERSHEET - EXISTING SITE CONDITIONS)**



**DIFFENBAUGH WADEL INC.**  
SURVEYING & ENGINEERING  
25 BROAD STREET  
NEWVILLE, PA 17241  
www.diffenbaughwadel.com  
PHONE: (717) 776-6420 FAX: (717) 776-9277

Date	JULY 29, 2020
Scale	1" = 60'
File No.	20026
Drawing Name	20026-SD1
Drawn By	J.B.M.
Project Manager	Michael L. Wadel, PE
Sheet No.	SD1

**D.E.P. PLANNING WAIVER & NON-BUILDING DECLARATION FOR PROPOSED LOT A**

As of the date of this deed/plot plan recording, Lot A described herein is and shall be dedicated for the express purpose of agricultural use. No portion of Lot A of this property/subdivision is approved by Southampton Township or the Department of Environmental Protection (D.E.P.) for the installation of any sewage disposal facility. No permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment, or disposal system (except for repairs to existing systems) unless the municipality and D.E.P. have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivisor of any portion of this residual tract should contact appropriate officials of Southampton Township who are charged with administering the Sewage Facilities Act to determine the form of sewage facilities planning required and the procedure and requirements for obtaining appropriate permits or approvals.

**D.E.P. PLANNING WAIVER & NON-BUILDING DECLARATION FOR RESIDUAL LOT 5**

As of the date of this deed/plot plan/deed notice recording, Residual Lot 5 of this subdivision is dedicated for the express purpose of agricultural use. No portion of the residual tract of this subdivision has been approved by the municipality or the approving agency for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of sewage collection, conveyance, treatment, or disposal system (except for repairs to existing systems) unless the municipality and approving agency have approved any required sewage facilities planning for the residual tracts of the subdivision described herein in accordance with the Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivisor of any portion of this residual tract should contact the municipality which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

**PROPOSED LOT PLAN NOTES**

- The subject property owner or developer, as applicable, is responsible for the implementation of the erosion and sedimentation control/stormwater management plan.
- As per Pennsylvania Sewage Facilities Act (Act 537 of 1966). This plan has been approved by Pennsylvania D.E.P. for Lot 7, D.E.P. Code No. \_\_\_\_\_.

**PLAN INFORMATION**

- Type of development: Residual Lot 5 - Agricultural Use  
Proposed Lot 7 - Residential Use  
Proposed Lot A - Lot Addition
- Zoning of tract: Woodland Conservation & Village Center
- Total tract area: 23.181 Acres Net
- Area of this plan: 23.181 Acres Net
- Number of lots: 3 Lots - Including Residual
- Minimum lot size: Proposed Lot B - 1.714 Acre Lot Addition
- Minimum lot width: Proposed Lot 7 - 284.4 Feet
- Proposed water: Residual Lot 5 - None Proposed  
Proposed Lot 7 - On-Off Sewer  
Proposed Lot A - None Proposed
- Proposed sewer: Residual Lot 5 - None Proposed  
Proposed Lot 7 - On-Off Sewer  
Proposed Lot A - None Proposed
- Linear feet of new streets: None Proposed

**(WC) WOODLAND CONSERVATION ZONING DISTRICT REGULATIONS**

- Residential Purposes**
- Minimum Lot Area: 1.837 Acres Net - 80,000 Square Feet
  - Minimum Lot Frontage: 200 Feet At Front Setback Line
  - Minimum Building Setbacks: Front-35 Ft Side-15 Ft Rear-25 Ft
  - Maximum Building Height: 40 Feet
5. Accessory Building Regulations - An accessory building not attached to the principal structure may be located in any required side or rear yard up to the setback limits for the zoning district in which it is located, provided:
- \* Such building shall not be more than twenty (20) feet in height.
  - \* All such buildings in the aggregate shall not occupy more than thirty percent (30%) of the area of the rear or side yard where they are located.
6. When an accessory structure is attached to the principal building, it shall comply in all respects with the requirements of this ordinance applicable to the principal building.
7. No accessory building shall project nearer to the street on which the principal building fronts than the minimum building setback distance for the principal building.
8. Single family detached residential uses with a lot area greater than 60,000 square feet require a minimum of three on-lot parking spaces per dwelling unit.

**SOUTHAMPTON TOWNSHIP (VC) VILLAGE CENTER ZONING DISTRICT**

- This section only applies to the portion of Residual Lot 5 located on the west side of White House Road.
- Public Water Only (Single Family Detached)**
- Minimum Lot Area: 0.918 Acres Net - 40,000 Square Feet
  - Minimum Lot Frontage: 150 Feet
  - Minimum Building Setbacks: Front-35 feet, Side-15 feet, Rear-25 feet
  - Maximum Building Height: 30 Feet
5. Accessory Building Regulations - An accessory building not attached to the principal structure may be located in any required side or rear yard up to the setback limits for the zoning district in which it is located, provided:
- \* Such building shall not be more than twenty (20) feet in height.
  - \* All such buildings in the aggregate shall not occupy more than thirty percent (30%) of the area of the rear or side yard where they are located.
- \* When an accessory structure is attached to the principal building, it shall comply in all respects with the requirements of this ordinance applicable to the principal building.
- \* No accessory building shall project nearer to the street on which the principal building fronts than the minimum building set-back distance for the principal building.
6. Single family detached residential uses with a lot area of 60,000 square feet or less require a minimum of two on-lot parking spaces per dwelling unit. Single family detached residential uses with a lot area greater than 60,000 square feet require a minimum of three on-lot parking spaces per dwelling unit.

**SOIL INFORMATION**

- AoB** Andover very stony loam, 0 to 8 percent slopes Considered a hydric soil Not considered prime farmland
- MuB** Murrill channery loam, 3 to 8 percent slopes Has 3% of hydric inclusions Considered prime farmland
- MuC** Murrill channery loam, 8 to 15 percent slopes Has 2% of hydric inclusions Not considered prime farmland

Soil boundaries and classifications shown hereon were plotted from publicly available data provided by the U.S. Department of Agriculture.

**T - 314 WHITE HOUSE ROAD**

The Southampton Township Zoning Map shows White House Road as a zoning district boundary line. All properties shown east of White House Road are located in the Woodland Conservation Zoning District and all properties shown south of White House Road are located in the Village Zoning District.

**LINE COURSES**

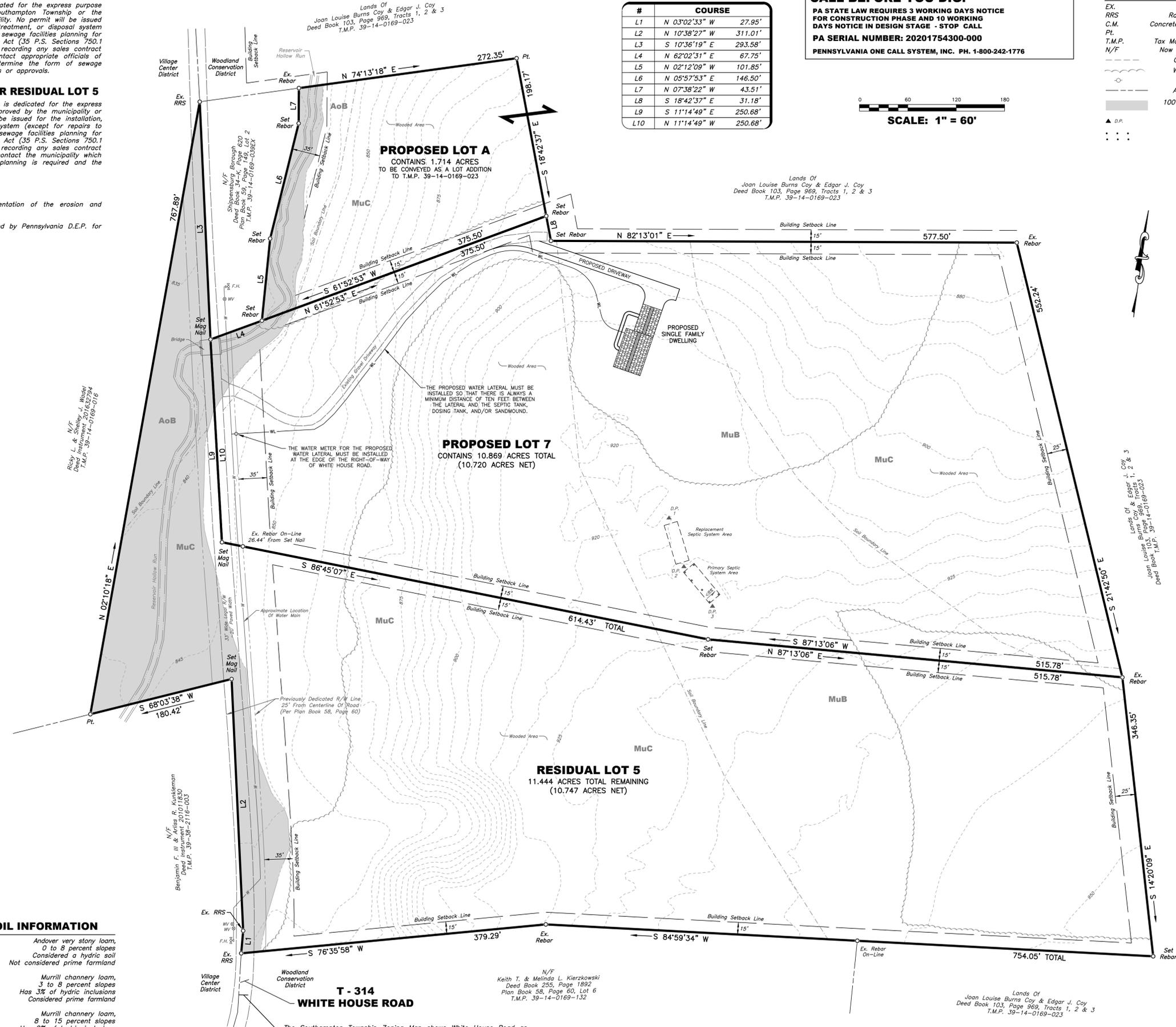
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L9	S 11°14'49" E 250.68'
L10	N 11°14'49" W 250.68'

**CALL BEFORE YOU DIG!**

PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE - STOP CALL PA SERIAL NUMBER: 20201754300-000 PENNSYLVANIA ONE CALL SYSTEM, INC. PH. 1-800-242-1776

**LEGEND**

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- RRS Railroad Spike
- C.M. Concrete Monument
- PT. Point
- T.M.P. Tax Map & Parcel
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**PLAN REVISIONS**

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Drawing Name	20026-SD2
Drawn By	J.B.M.
Project Manager	Michael L. Wadel, PE
Sheet No.	SD2