

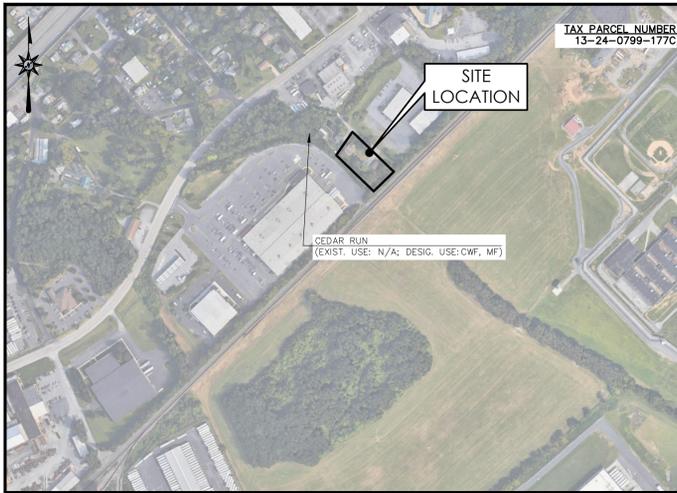
Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Lower Allen</u>	Surveyor/ Engineer:	<u>BL Companies</u>	Owner/ Developer:	<u>WR Grace Properties</u>
Plat Title:	<u>3709 Hartzdale Drive</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Land Development</u>		
# of New Lots:	<u> </u>	# of New Dwelling Units:	<u> </u>	New Acreage Subdivided/Developed:	<u> </u>
				Total Tract Acreage:	<u>0.78</u>
Zoning District:	<u>Regional Commercial</u>	Proposed Land Use:	<u>Commercial</u>		
Date Received:	<u>7/30/2020</u>	County Review:	<u>8/5/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u> </u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The proposed use on Sheet SP-1 is professional, scientific and technical services. The parking requirements indicate the use is a warehouse. The Township should verify that the proposed use is permitted and ensure that the parking provided is adequate (Zoning 220-72 & 239).
2. If applicable, a lighting plan should accompany the submission (Zoning 220-193).
3. The plan should indicate a screening for the trash dumpsters (Zoning 220-201.A.1). In addition, the Applicant should consider a recycling dumpster.
4. The Site Plan Notes should address the presence or absence of wetlands (SLDO 192-36.C.D.4) and FEMA Floodplains (SLDO 192-36.C.D.5).
5. Township Notes #2 indicates that the development shall meet Pennsylvania DEP Sewage Planning requirements and the Township is expected to allow for the proposed sewage demand of the project. The submission should be accompanied by an approval code from Pennsylvania DEP and an approval letter from the Township (SLDO 192-36.C.H).
6. The applicant has requested a waiver of the improvements guarantee escrow. The Township should consider the justification for this waiver prior to approval (SLDO 192-44).
7. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 AND ACT 50 OF 2017 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. DESIGN SERIAL NUMBER IS 20193172821, SUBMITTED ON 11/13/2019.

UTILITIES AND RESPONSES PROVIDED BY PA ONE CALL:

(AH) WINDSTREAM 929 MARTHAS WAY HIAWATHA, IA 52233 CONTACT: LOCATE DESK PERSONNEL EMAIL: locate.desk@windstream.com	(LAL) LOWER ALLEN TOWNSHIP 2233 GETTYSBURG ROAD CAMP HILL, PA 17011 CONTACT: DANIEL FLINT EMAIL: dflint@latwp.org
(AX) PENNSYLVANIA AMERICAN WATER 852 WESLEY DR MECHANISBURG, PA 17055 CONTACT: MICHAEL GENNONE EMAIL: michael.gennone@amwater.com	(PRD) PPL ELECTRIC UTILITIES CORPORATION 503 NEW MARKET ST MILKES BARRE, PA 18702 CONTACT: MARK SANTAYANA EMAIL: mcsantayano@pplweb.com
(CTI) FRONTIER COMMUNICATIONS OF PA INC. 67 SOUTH MAIN STREET SHICKSHINNY, PA 18655 CONTACT: JOHN BUGDONOVITCH EMAIL: john.bugdonovitch@ftr.com	(SB) COMCAST 4601 SMITH STREET HARRISBURG, PA 17109 CONTACT: MICHAEL SWEIGARD EMAIL: mike_sweigard@cable.comcast.com
(HC) VERIZON PENNSYLVANIA LLC 1028 HAY STREET PITTSBURGH, PA 15221 CONTACT: DEBORAH BARUM EMAIL: deborah.d.della@verizon.com	(TW) CENTURY LINK 122 BALTIMORE STREET PO BOX 896 HANOVER, PA 17331 CONTACT: LEO HILBERT EMAIL: leo.c.hilbert@centurylink.com
(LA1) LOWER ALLEN TOWNSHIP AUTHORITY 120 LIMEKILN ROAD NEW CUMBERLAND, PA 17070 CONTACT: BRIAN KAUFFMAN EMAIL: bkauffman@latwp.org	(UJ) UGI UTILITIES INC 1301 AIP DRIVE MIDDLETOWN, PA 17057 CONTACT: STEPHEN BATEMAN EMAIL: SBATEMAN@UGI.COM

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

FOR 3709 HARTZDALE DRIVE

3709 HARTZDALE DRIVE LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA



MODIFICATIONS & WAIVERS REQUESTED **APPROVAL DATE**

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVERS OF THE TOWNSHIP OF LOWER ALLEN SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND STORMWATER MANAGEMENT ORDINANCE:

§ 192-30	PRELIMINARY PLAN SUBMISSION
§ 192-44	IMPROVEMENTS GUARANTEE ESCROW

PREPARED FOR:

Mr. William R. Grace
d/b/a/W.R. Grace Properties

P.O. Box 301
New Cumberland, PA 17070
(717) 579-1337

PREPARED BY:



2601 Market Place, Suite 350
Harrisburg, PA 17110
(717) 651-9850
(717) 651-9858 Fax

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____ SS

ON THIS, THE ____ DAY OF _____, 20____, BEFORE ME, _____ THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____, KNOWN TO ME (OR SATISFACTORILY PROVEN TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT _____ EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL SEAL

OWNER _____ NOTARY _____

MY COMMISSION EXPIRES _____, 20____.

LANDOWNERS William R. Grace P.O. Box 301 New Cumberland, PA 17070 (717) 579-1337	DEVELOPER / APPLICANT Mr. William R. Grace d/b/a/W.R. Grace Properties P.O. Box 301 New Cumberland, PA 17070 (717) 579-1337
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DATES ISSUE DATE: JULY 22, 2020 REVISIONS:	PLAN PURPOSE THE PURPOSE OF THIS PLAN IS TO PERMIT THE CONSTRUCTION OF A ±11,970 S.F. WAREHOUSE AND ASSOCIATED SITE IMPROVEMENTS ON LANDS LOCATED IN LOWER ALLEN TOWNSHIP.
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CV-1 No. 01 of 10

Sheet List Table

01	CV-1	COVER SHEET
02	GN-1	GENERAL NOTES
03	EX-1	EXISTING CONDITIONS MAP
04	DM-1	DEMOLITION PLAN
05	SP-1	SITE PLAN
06	GD-1	GRADING AND DRAINAGE PLAN
07	SU-1	SITE UTILITY PLAN
08	DN-1	DETAIL SHEET
09	DN-2	DETAIL SHEET
10	DN-3	DETAIL SHEET

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATION

REVIEWED THIS ____ DAY OF _____, 20____ BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

DIRECTOR _____

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA, APPROVED THE ____ DAY OF _____, 20____.

CONDITIONS OF APPROVAL COMPLETED THIS ____ DAY OF _____, 20____.

PRESIDENT _____ SECRETARY _____

CERTIFICATION OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

MATTHEW P. DAVIS, P.L.S.
P.L.S. SU-075572

DATE

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

RECORDED THIS ____ DAY OF _____, 20____.

Instrument # _____

LOWER ALLEN TOWNSHIP ACT 167 STORMWATER DESIGN CERTIFICATION

_____, DESIGN ENGINEER, ON THIS DATE _____ HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

ENGINEER'S CERTIFICATION

I, ADAM J. DAVIS, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

ADAM J. DAVIS
REG. NO. PE 079049

DATE

LEGEND	
	EXISTING PAVEMENT/GRAVEL TO BE REMOVED
	EXISTING FEATURE TO BE PROTECTED
	PROPERTY LINE
	UTILITY TO BE REMOVED
	Fence
	SANITARY SEWER LINE
	OVERHEAD WIRES
	UNDERGROUND ELECTRIC LINE
	Sanitary Sewer
	Water Line
	STORM SEWER LINE
	SIGN
	EXISTING TREES
	EXISTING SHRUB

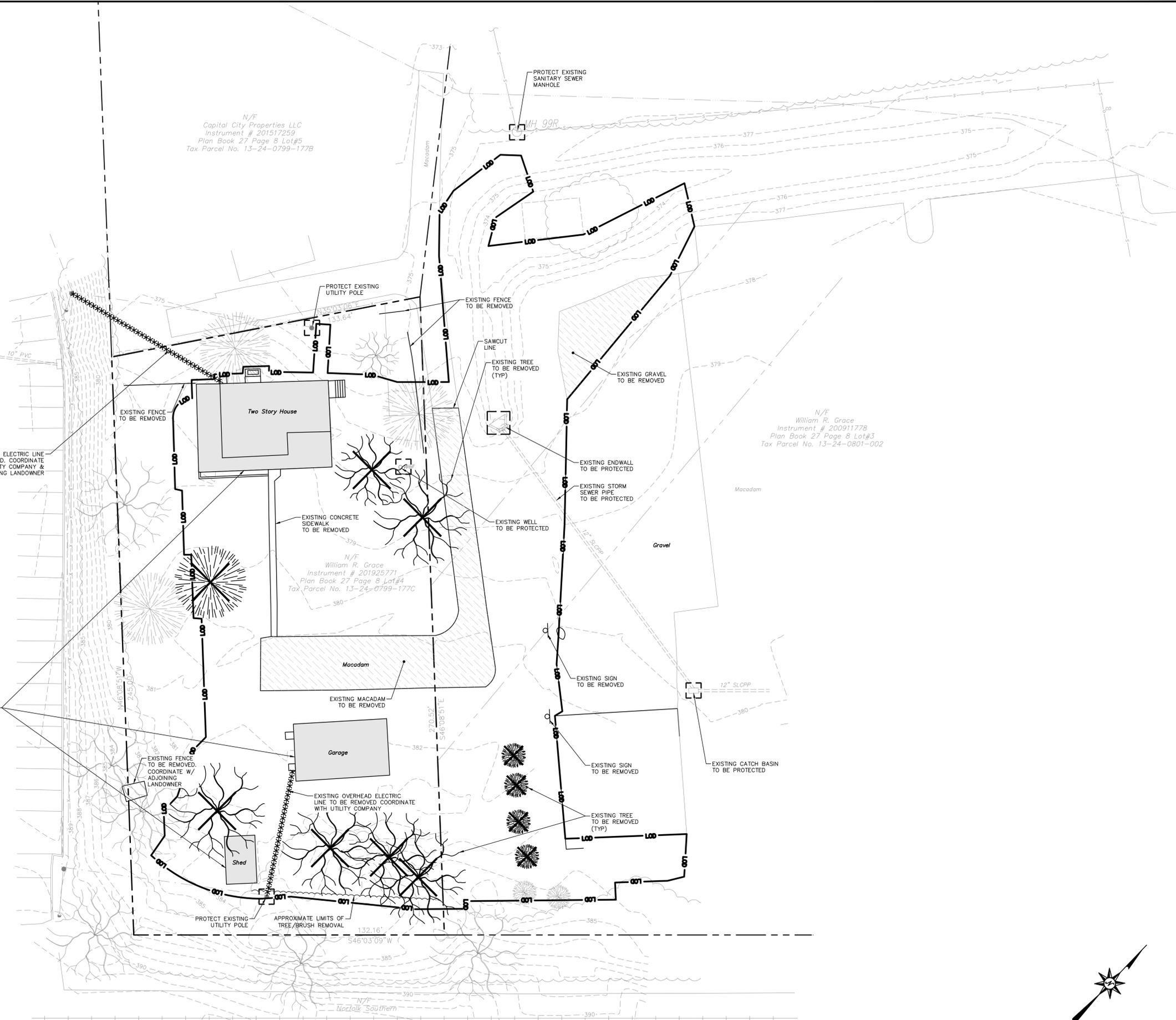
N/F
AMSI Investors
Deed Book 34Z Page 559
Plan Book 60 Page 77 Lot#2
Tax Parcel No. 13-24-0799-178A

REMOVE AND DISPOSE OF ENTIRE BUILDING INCLUDING BUT NOT LIMITED TO: WALLS, ROOF, SLABS, FLOORS, FOUNDATIONS, PIPES, INTERIOR FIXTURES, STAIRS, STEEL FRAMING, ETC. (ALL HAZARDOUS MATERIALS TO BE REMOVED AND DISPOSED OF ACCORDINGLY AND BY LICENSED HANDLER - SEE NOTES) COORDINATE WITH UTILITY COMPANIES FOR SPECIFICATIONS AND SCHEDULING OF DISCONNECTING AND CAPPING EXISTING BUILDING CONNECTIONS.

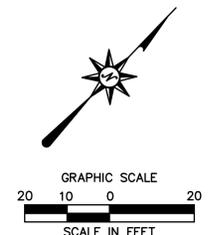
N/F
Capital City Properties LLC
Instrument # 201517259
Plan Book 27 Page 8 Lot#5
Tax Parcel No. 13-24-0799-177B

N/F
William R. Grace
Instrument # 201925771
Plan Book 27 Page 8 Lot#4
Tax Parcel No. 13-24-0799-177C

N/F
William R. Grace
Instrument # 200911778
Plan Book 27 Page 8 Lot#3
Tax Parcel No. 13-24-0801-002



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20191683266



2601 Market Place, Suite 350
Harrisburg, PA 17110
(717) 651-9850
(717) 651-9858 Fax

**PRELIMINARY / FINAL
LAND DEVELOPMENT PLAN**
3709 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

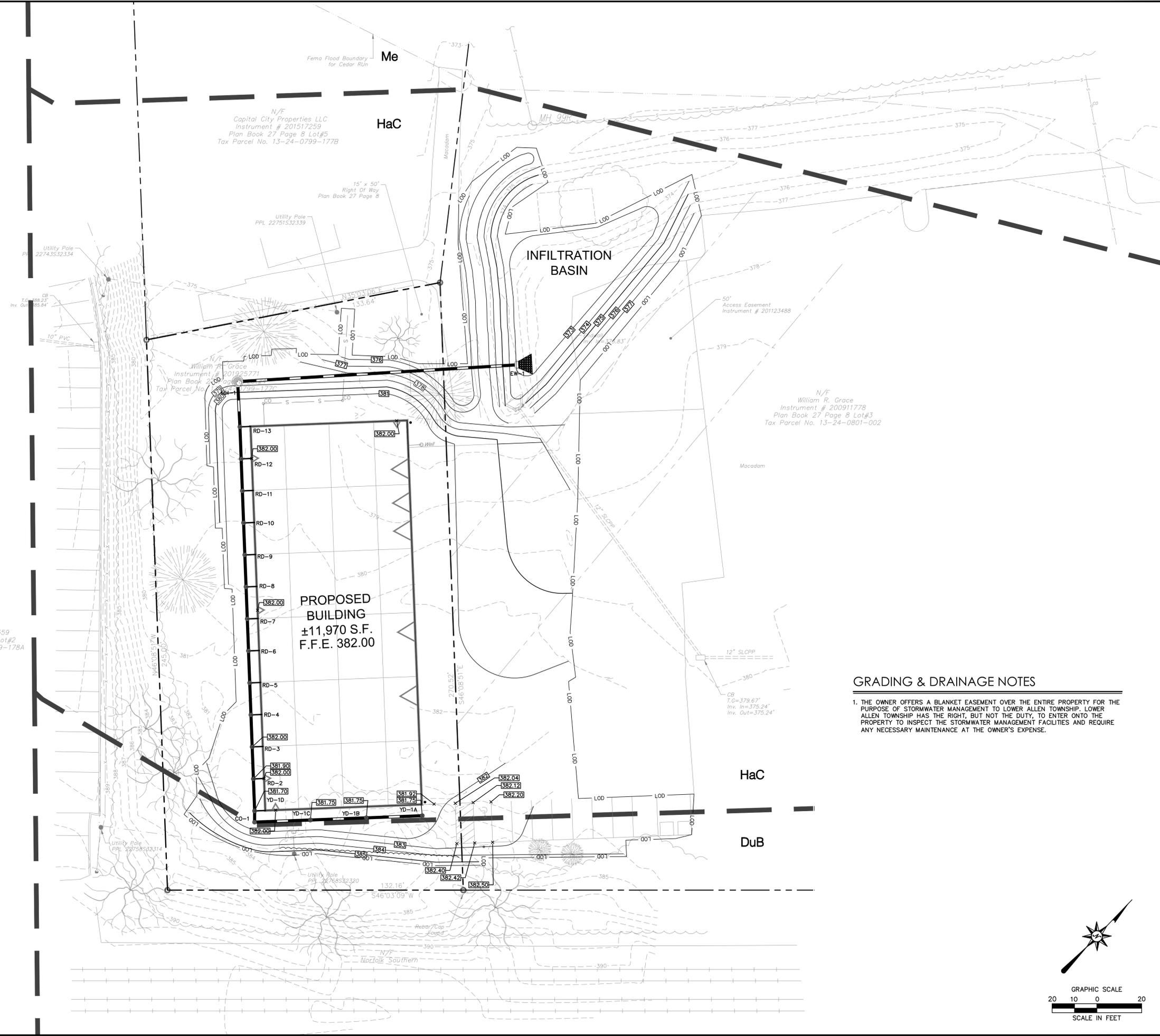
REVISIONS	Date	Desc.
No.		

Designed	C.J.S.
Drawn	J.R.J.
Reviewed	A.J.B.
Scale	1" = 20'
Project No.	1901881
Date	07/22/2020
CAD File:	DM190188101
Title	DEMOLITION PLAN
Sheet No.	

DM-1
No.04 of 10

7/22/2020, CHICAGO, IL, COLOMBIA, PA, 1901881, DM190188101, DM190188101

LEGEND	
	PROPERTY LINE
	LIMIT OF DISTURBANCE
	MAJOR CONTOUR
	MINOR CONTOUR
	PROPOSED 1' GRADES
	PROPOSED 5' GRADES
	SPOT ELEVATION
	STORM LINE

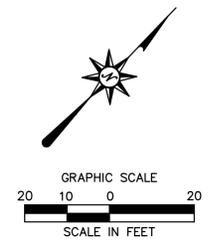


GRADING & DRAINAGE NOTES

1. THE OWNER OFFERS A BLANKET EASEMENT OVER THE ENTIRE PROPERTY FOR THE PURPOSE OF STORMWATER MANAGEMENT TO LOWER ALLEN TOWNSHIP. LOWER ALLEN TOWNSHIP HAS THE RIGHT, BUT NOT THE DUTY, TO ENTER ONTO THE PROPERTY TO INSPECT THE STORMWATER MANAGEMENT FACILITIES AND REQUIRE ANY NECESSARY MAINTENANCE AT THE OWNER'S EXPENSE.



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 2019163296



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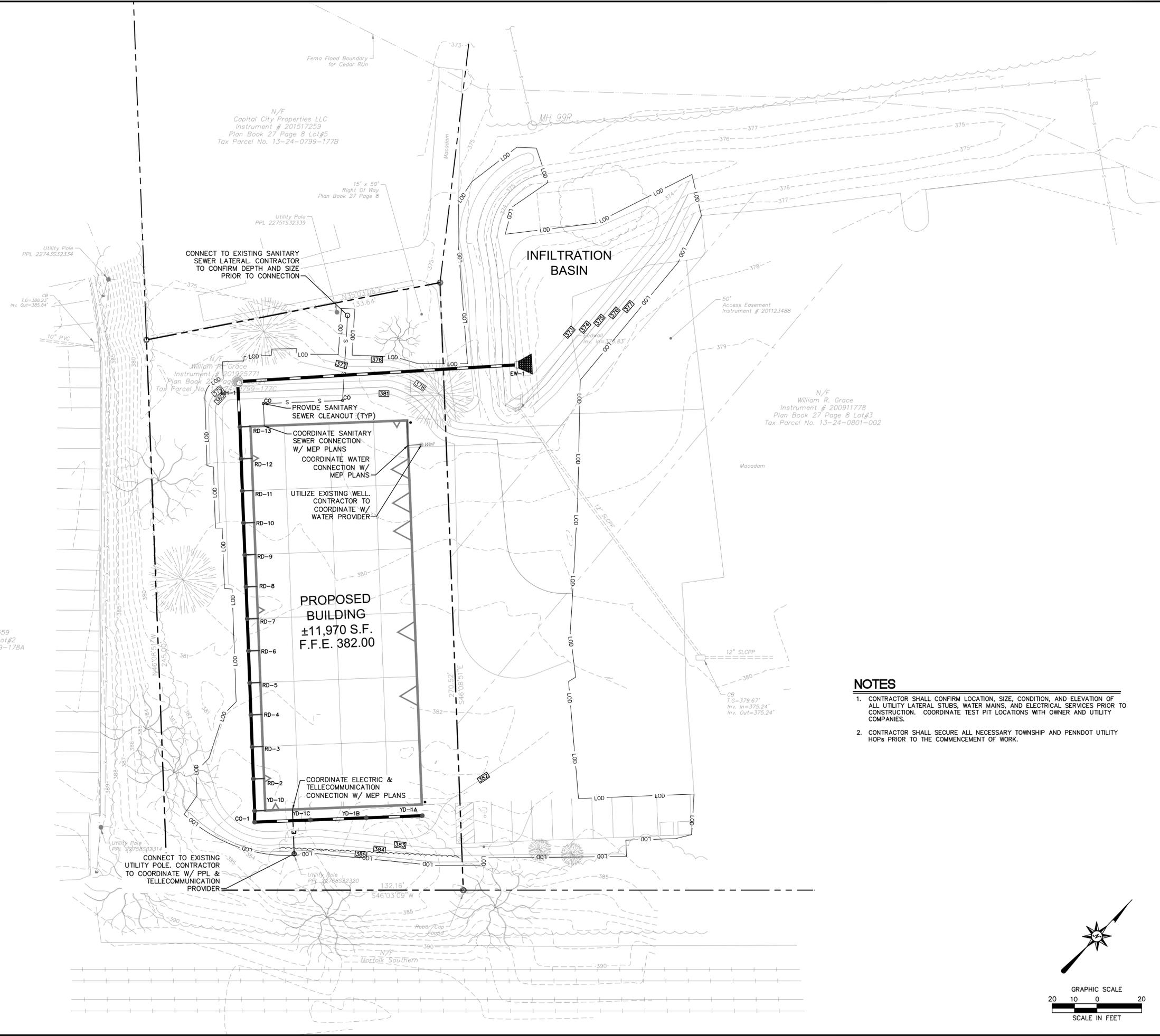
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LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

REVISIONS	
No.	Date

Designed C.J.S.
Drawn J.R.J.
Reviewed A.J.B.
Scale 1" = 20'
Project No. 1901881
Date 07/22/2020
CAD File: GD190188101
Title: GRADING AND DRAINAGE PLAN
Sheet No.:

GD-1
No.06 of 10

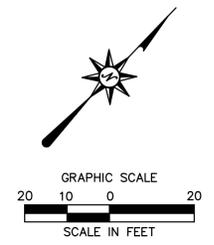
LEGEND	
— LOD	LIMIT OF DISTURBANCE
—	PROPERTY LINE
— W	DOMESTIC/FIRE PROTECTION WATER LINE
— S	SANITARY PIPE CENTER LINE
— E	PRIMARY ELECTRIC / TELECOMMUNICATION LINE
— G	GAS LINE
—	SANITARY CLEANOUT



- NOTES**
- CONTRACTOR SHALL CONFIRM LOCATION, SIZE, CONDITION, AND ELEVATION OF ALL UTILITY LATERAL STUBS, WATER MAINS, AND ELECTRICAL SERVICES PRIOR TO CONSTRUCTION. COORDINATE TEST PIT LOCATIONS WITH OWNER AND UTILITY COMPANIES.
 - CONTRACTOR SHALL SECURE ALL NECESSARY TOWNSHIP AND PENNDOT UTILITY HOPS PRIOR TO THE COMMENCEMENT OF WORK.



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REVISIONS	
No.	Date

Designed: C.J.S.
Drawn: J.R.J.
Reviewed: A.J.B.
Scale: 1" = 20'
Project No.: 1901881
Date: 07/22/2020
CAD File: SU190188101
Title: SITE UTILITY PLAN
Sheet No.:

SU-1
No.07 of 10