

Cumberland County Subdivision and Land Development Review Report

Municipality: Camp Hill Surveyor/ Engineer: K&W Engineers, LLC Owner/ Developer: Camp Hill School District

Plat Title: Additions and Renovations to Hoover El. School

Plat Status: Preliminary/Final Plat Type: Land Development

# of New Lots:	<u> </u>	# of New Dwelling Units:	<u> </u>	New Acreage Subdivided/Developed:	<u> </u>	Total Tract Acreage:	<u>7.58</u>
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Zoning District: Low Density Residential Proposed Land Use: Public Elementary School

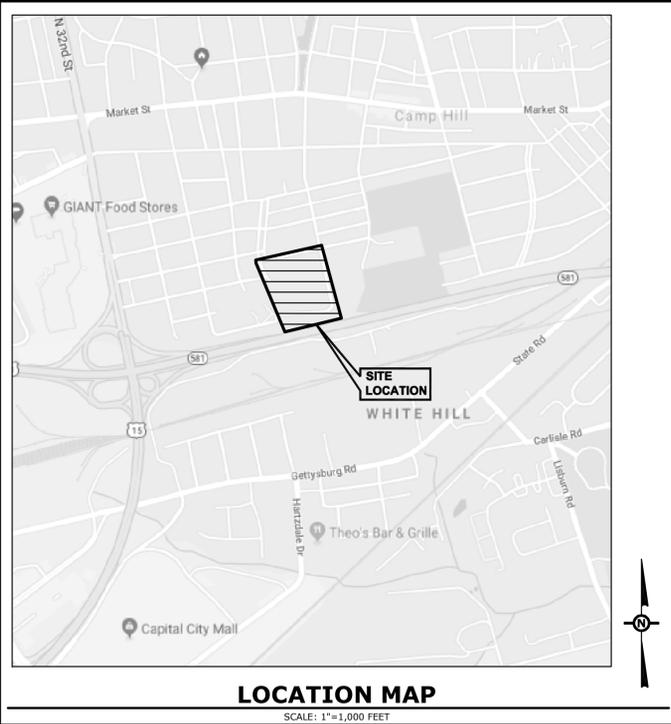
Date Received: 7/30/2020 County Review: 8/12/2020 Reviewed by: SH Checked by: SW

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The Permanent Easement shown on Deanhurst Avenue should include a description of the easement and an instrument number (SLDO 405.1.A.14).
2. The Applicant and the Borough should clarify the flow of traffic and signage on Deanhurst Avenue. The following issues should be reviewed:
 - a. It appears that the road will be a one-way road. If this is the case, directional arrows should be provided.
 - b. The Applicant is proposing a “Fence and Post” across Deanhurst Avenue. The plan should include turnaround areas for vehicles. Will this fence and post be opened for student drop-off?
 - c. Will student drop-off and pickup occur on Deanhurst Avenue? This should be reviewed for safety concerns. It appears that the 12-foot emergency access may inadvertently be used to drop off students which may create emergency service concerns. Recommend the drop-off and pick-up area be designed so students do not have to cross the street.
 - d. The plan should be reviewed by emergency service providers and utility providers. Will the proposed layout permit trash collection and adequate emergency service?
 - e. Crosswalks should be provided where pedestrians access the baseball field, field house, batting cage, and relocated bleachers.
 - f. Traffic calming measures along Deanhurst Avenue should be considered.
 - g. The proposed sidewalk should connect to the existing sidewalk at 500 Deanhurst Avenue.

- h. Sign “T” indicates that all traffic must turn left. What is the purpose of this limitation at the intersection with Dickinson Avenue? If applicable, the intersection should be reconfigured to encourage left turns only.
3. The proposed access and parking spaces off of South 24th Street should be reviewed for safety. It appears that there will be 4 proposed access points in close proximity.
4. The Borough should consider requiring a sidewalk along South 24th Street. The Demolition Plan indicates that a sidewalk that is being demolished and not replaced.
5. The Applicant should provide evidence to demonstrate compliance with the requirements listed in Zoning Ordinance 1105.N.
6. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

ADDITIONS & RENOVATIONS TO

HOOVER ELEMENTARY SCHOOL

FOR

CAMP HILL SCHOOL DISTRICT

BOROUGH OF CAMP HILL

CUMBERLAND COUNTY, PENNSYLVANIA

UTILITY INFORMATION

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776.

PA ONE-CALL SERIAL NUMBER: 20182901530
PA ONE-CALL SERIAL NUMBER DATE: NOVEMBER 17, 2018



THE FOLLOWING UTILITY FACILITY OWNERS WERE NOTIFIED BY THE PA ONE-CALL SYSTEM, INC.

COMPANY: PENNSYLVANIA AMERICAN WATER
ADDRESS: 852 WESLEY DR
MECHANICSBURG, PA. 17055
CONTACT: MICHAEL GENNONE
EMAIL: MICHAEL.GENNONE@AMWATER.COM

COMPANY: CAMP HILL BOROUGH
ADDRESS: 2145 WALNUT ST
CAMP HILL, PA. 17011
CONTACT: SAM ROBBINS
EMAIL: SROBBINS@CAMPHILLBOROUGH.COM

COMPANY: VERIZON PENNSYLVANIA LLC
ADDRESS: 1026 HAY ST
PITTSBURGH, PA. 15221
CONTACT: DEBORAH BARUM
EMAIL: DEBORAH.D.DELIA@VERIZON.COM

COMPANY: PPL ELECTRIC UTILITIES CORPORATION
ADDRESS: 503 NEW MARKET ST
WILKES BARRE, PA. 18702
CONTACT: MARK SANTAYANA
EMAIL: MCSANTAYANA@PPLWEB.COM

COMPANY: CENTURYLINK FORMERLY EMBARQ
ADDRESS: 700 W MINERAL AVE
GRID NO: UT00-D27-34
LITTLETON, CO. 80120
CONTACT: GEORGE MCELVAIN
EMAIL: GEORGE.MCELVAIN@CENTURYLINK.COM

COMPANY: COMCAST
ADDRESS: 4601 SMITH ST
HARRISBURG, PA. 17109
CONTACT: MICHAEL SWEIGARD
EMAIL: MIKE_SWEIGARD@CABLE.COMCAST.COM

COMPANY: UGI UTILITIES INC
ADDRESS: 1301 ALP DR
MIDDLETOWN, PA. 17057
CONTACT: CHESTER WENTZ
EMAIL: CWENTZ@UGI.COM

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CUMBERLAND

ON THIS, THE ____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER

PERSONALLY APPEARED _____ WHO, BEING DULY SWORN OR AFFIRMED

ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNER OF THE PROPERTY SHOWN ON THE PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, THAT THEY DESIRE THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED NOT FOR DEDICATION) ARE HEREBY DEDICATED TO THE PUBLIC USE.

MY COMMISSION EXPIRES _____

PLAN PREPARER

KUROWSKI AND WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
FAX: 717.635.2836

PROJECT MANAGER: JEFFREY A. SHYK, RLA

SITE SURVEYOR

KUROWSKI AND WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110

TELEPHONE: 717.635.2835
FAX: 717.635.2836

PROJECT MANAGER: DENNIS P. BURKHARD, PLS



CERTIFICATE OF ACCURACY (PLAN)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SUBDIVISION PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT. _____, 20____.

_____, P.E.



CERTIFICATE OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE BOUNDARY SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT. _____, 20____.

_____, P.L.S.

ENGINEER STORMWATER MANAGEMENT CERTIFICATION STATEMENT

I _____, ON THIS DATE _____, HAVE REVIEWED

AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CAMP HILL BOROUGH STORMWATER MANAGEMENT ORDINANCE.

LANDOWNER AND DEVELOPER

CAMP HILL SCHOOL DISTRICT
2627 CHESTNUT STREET
CAMP HILL, PA 17011

CONTACT: PATRICIA CRAIG, SUPERINTENDENT

TELEPHONE: 717.901.2400

ZONING DATA

ZONING DISTRICT: LOW DENSITY RESIDENTIAL (LDR)

ITEM	REQUIRED	PROPOSED
MIN. LOT AREA	30,000 SF	± 327,670 SF
MIN. LOT WIDTH	90 FT	± 599 FT
FRONT YARD SETBACK	25 FT	25 FT
SIDE YARD SETBACK	7 FT EACH FROM INTERIOR LOT LINE 15 FT FROM R.O.W.	7 FT EACH FROM INTERIOR LOT LINE 15 FT FROM R.O.W.
REAR YARD SETBACK	30 FT	30 FT
MAX. BUILDING COVERAGE	30%	14%
MIN. VEGETATIVE COVERAGE	25%	67%
MAX. TOTAL LOT COVERAGE	50%	33%
MAX. BUILDING HEIGHT	35 FT OR 3 STORIES WHICHEVER IS MORE RESTRICTIVE	33 FT

SITE DATA

PROPERTY OWNER: CAMP HILL SCHOOL DISTRICT

TAX PARCEL ID: 01-22-0535-074

DEED REFERENCE: 30H/475 & 14D/154 & 14D/150

TOTAL LOT AREA: 7.58± ACRES

PARKING DATA

USE	REQUIREMENT	CALCULATION	REQUIRED
SCHOOLS, PUBLIC	1 SPACE / 30 STUDENTS	1 x (285 STUDENTS / 30) = 10	10
	1 SPACE / EMPLOYEE	1 x 40 EMPLOYEES = 40	40
	1 SPACE / 30 SEATS IN AUDITORIUM, GYM, OR MULTIPURPOSE ROOM	1 x (150 SEATS / 30) = 5	5

TOTAL REQUIRED SPACES = 55 SPACES
TOTAL EXISTING SPACES = 47 SPACES
TOTAL PROVIDED PARKING SPACES = 55 SPACES

OWNER'S STORMWATER FACILITIES ACKNOWLEDGEMENT STATEMENT

THE STORMWATER MANAGEMENT FACILITIES (INCLUDING, BUT NOT LIMITED TO, INFILTRATION BASIN, SWALES, PIPING, ETC.) OR ANY PARTS THEREOF DEPICTED ON THESE PLANS WILL BE MAINTAINED BY THE OWNER AS PER CAMP HILL BOROUGH REQUIREMENTS. THE STORMWATER MANAGEMENT FACILITIES OR ANY PARTS THEREOF SHALL BE PERMANENT FIXTURES OF THIS PROPERTY AND CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY.

OWNER: _____ DATE: _____

SHEET INDEX

LAND DEVELOPMENT PLANS

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3	DEMOLITION PLAN
4 *	SITE PLAN
5	GRADING PLAN
6 *	UTILITY PLAN
7	LANDSCAPE PLAN
8	DETAILS

* SHEETS FOR RECORDING

POST-CONSTRUCTION STORMWATER MANAGEMENT PLANS

Sheet Number	Sheet Title
1 *	COVER SHEET
2 *	EXISTING CONDITIONS PLANS
3 *	PCSM PLAN
4 *	STORM SEWER PROFILES
5 *	DETAILS
6 *	DETAILS

* SHEETS FOR RECORDING

EROSION AND SEDIMENTATION CONTROL PLANS

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING FEATURES PLAN
3	EROSION AND SEDIMENTATION CONTROL PLAN
4	DETAILS
5	DETAILS
6	DETAILS

BOROUGH ENGINEER APPROVAL

THIS PLAN REVIEWED BY THE CAMP HILL BOROUGH ENGINEER THIS _____ DAY OF _____, 20____.

BOROUGH ENGINEER _____

BOROUGH PLANNING COMMISSION APPROVAL

THIS PLAN REVIEWED BY THE CAMP HILL BOROUGH PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

SECRETARY _____

BOROUGH COUNCIL APPROVAL

THIS PLAN REVIEWED BY THE BOROUGH COUNCIL OF CAMP HILL BOROUGH THIS _____ DAY OF _____, 20____.

PRESIDENT _____

SECRETARY _____

GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS THE CONSTRUCTION OF THREE (3) BUILDING ADDITIONS, TOTALING APPROXIMATELY 9,300-SF. THE PROJECT ALSO PROPOSES IMPROVEMENTS TO THE FLOW OF VEHICULAR TRAFFIC FOR PARENT DROP-OFF AND PICKUP, AN EXPANSION TO THE EXISTING PARKING LOTS, NEW PLAYGROUND AREAS, AND ASSOCIATED STORMWATER MANAGEMENT FACILITIES.
- THE EXISTING SITE FEATURES, TOPOGRAPHY AND PROPERTY BOUNDARY LINES SHOWN HEREON ARE OBTAINED FROM A DRAWING OF SURVEY INFORMATION PRODUCED BY KUROWSKI & WILSON, LLC. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. KUROWSKI AND WILSON, LLC ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND UTILITIES AS DEPICTED HEREON. ANY REQUEST FOR ADDITIONAL UTILITY INFORMATION SHOULD BE DIRECTED TO THAT RESPECTIVE UTILITY COMPANY.
- PUBLIC WATER PROVIDED BY PA AMERICAN WATER.
- PUBLIC SEWER PROVIDED BY CAMP HILL BOROUGH.
- THE SITE DEVELOPMENT WILL COMPLY WITH ALL APPLICABLE BOROUGH ORDINANCES IN EFFECT AT THE TIME OF THIS LAND DEVELOPMENT PLAN SUBMISSION.
- ALL CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 & 72 STANDARDS AND ALL APPLICABLE CAMP HILL BOROUGH ORDINANCES.
- WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES WITHIN THE PUBLIC RIGHT-OF-WAY INCLUDING INLETS TO BE REPLACED AS PART OF THIS PROJECT, SHALL REMAIN IN THE OWNERSHIP OF THE BOROUGH OF CAMP HILL.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE BOROUGH PUBLIC WORKS DIRECTOR AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PADEP REQUIREMENTS AND WITH THE APPROVED PLAN.
- NO PORTIONS OF THE SITE LIE WITHIN THE 100 YEAR FLOODPLAIN AS DEFINED BY F.E.M.A. MAPPING.
- THE STORMWATER MANAGEMENT / INFILTRATION FACILITIES HAVE BEEN SIZED TO ACCOMMODATE 20,842-SF OF ADDITIONAL IMPERVIOUS COVERAGE FOR FUTURE IMPERVIOUS EXPANSION(S) THAT OCCUR WITHIN THE AREA TRIBUTARY TO THE PROPOSED INFILTRATION BMP.
- THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND THE EROSION AND SEDIMENTATION CONTROL PLAN ARE COMPONENTS OF THE LAND DEVELOPMENT PLANS.
- BASED ON PUBLISHED GEOLOGIC DATA, THE PROJECT SITE IS UNDERLAIN BY CARBONATE LITHOLOGY AND IS SUBJECT TO THE DEVELOPMENT OF SINKHOLES AND OTHER KARST GEOLOGIC FEATURES AND THE CONCENTRATED INFILX OF WATER INTO THESE AREAS WILL INCREASE THIS RISK. THE OWNER RECOGNIZES THE RISKS ASSOCIATED WITH DEVELOPMENT OF PROJECT SITES UNDERLAIN BY CARBONATE BEDROCK AND ACKNOWLEDGES THAT THE BOROUGH, BY APPROVAL OF THIS PLAN, IS NOT RESPONSIBLE SHOULD ANY SUCH ISSUES ARISE.
- ALL PROPOSED SITE LIGHTING SHALL BE OPERATED AND MAINTAINED BY THE SCHOOL DISTRICT.

CUMBERLAND COUNTY PLANNING DEPARTMENT

REVIEWED THIS _____ DAY OF _____, 20____.

BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

DIRECTOR OF PLANNING _____

RECORD INFORMATION

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

RECORDED THIS _____ DAY OF _____, 20____.

INSTRUMENT NO. _____

WAIVER REQUESTS

THE FOLLOWING WAIVERS OF THE CAMP HILL BOROUGH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE APPROVED BY THE BOROUGH COUNCIL ON JULY 10, 2019.

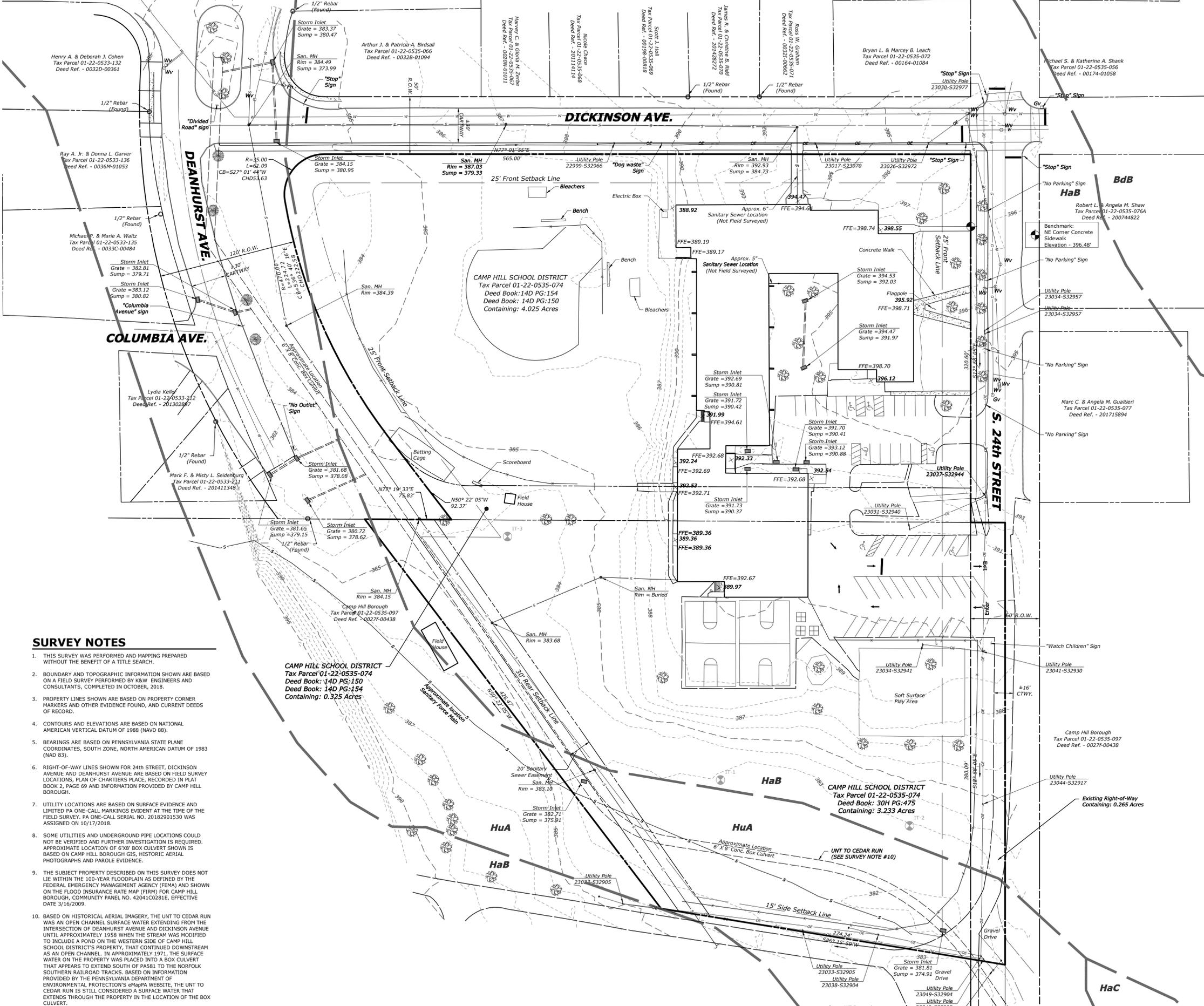
- § 405 PRELIMINARY PLAN SUBMISSION** - THE APPLICANT IS SEEKING RELIEF FROM THE PRELIMINARY PLAN SUBMISSION REQUIREMENTS.
- § 406.4-5 PUBLIC IMPROVEMENTS BONDING** - THE APPLICANT IS REQUESTING THAT THE REQUIREMENTS TO SUBMIT PUBLIC IMPROVEMENTS BONDING BE WAIVED.

PROFESSIONAL SEAL
SCALE: 1" = 40'
DATE: JUNE 11, 2020
K&W PROJECT: 2012.007
DRAWN BY: GSD
CAD DRAWING: 2012.007-A 1d CDR.dwg

NO.	DATE	DESCRIPTION
1	05/01/2019	REVISED PER BOROUGH AND COUNTY COMMENTS
2	05/02/2019	REVISED PER CCCD COMMENTS
3	05/16/2019	REVISED PER BOROUGH COMMENTS
4	06/04/2019	REVISED PER BOROUGH COMMENTS
5	07/20/2020	REVISED PER SCORE CHANGES TO PLANS
6		
7		

PLAN TYPE:
COVER SHEET

DICKINSON AVE.



LEGEND

EXISTING AND DEMOLITION FEATURES

- EDGE OF PAVED BITUMINOUS SURFACE
- CENTER LINE
- PROPERTY BOUNDARY LINE
- ADJOINING PROPERTY BOUNDARY LINE
- EASEMENT LINE
- LEGAL RIGHT OF WAY LINE
- DEDICATED RIGHT OF WAY LINE
- MINIMUM BUILDING SETBACK LINE
- MUNICIPAL BOUNDARY LINE
- ZONING DISTRICT BOUNDARY LINE
- INDEX CONTOUR LINE
- INTERMEDIATE CONTOUR LINE
- SPOT ELEVATION
- BENCHMARK LABEL
- BUILDING
- CONCRETE SURFACE
- CURB
- OVERHEAD ELECTRIC LINES
- OVERHEAD TELECOM LINES
- OVERHEAD ELECTRIC & TELECOM LINES
- MANHOLE
- UTILITY POLE
- GUY WIRE
- LIGHT STANDARD OR LAMPPOST
- BOLLARD
- ELECTRIC METER
- ELECTRIC BOX
- DRAINAGE PIPE
- DRAINAGE INLET
- UNDERGROUND NATURAL GAS LINE
- GAS VALVE
- SANITARY SEWER GRAVITY LINE
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- FENCE
- SIGN
- INFILTRATION TESTING LOCATION
- SOIL TYPE BOUNDARY LINE

SOILS INFORMATION

HaB 3 TO 8 PERCENT SLOPES
(HAGERSTOWN SILT LOAM - HSG B)

HuA 0 TO 5 PERCENT SLOPES
(HUNTINGTON SILT LOAM - HSG B)

SURVEY NOTES

- THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY K&W ENGINEERS AND CONSULTANTS, COMPLETED IN OCTOBER, 2018.
- PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND, AND CURRENT DEEDS OF RECORD.
- CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- RIGHT-OF-WAY LINES SHOWN FOR 24th STREET, DICKINSON AVENUE AND DEANHURST AVENUE ARE BASED ON FIELD SURVEY LOCATIONS, PLAN OF CHARTIERS PLACE, RECORDED IN PLAT BOOK 2, PAGE 69 AND INFORMATION PROVIDED BY CAMP HILL BOROUGH.
- UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 20182901530 WAS ASSIGNED ON 10/17/2018.
- SOME UTILITIES AND UNDERGROUND PIPE LOCATIONS COULD NOT BE VERIFIED AND FURTHER INVESTIGATION IS REQUIRED. APPROXIMATE LOCATION OF 6"X8" BOX CULVERT SHOWN IS BASED ON CAMP HILL BOROUGH GIS, HISTORIC AERIAL PHOTOGRAPHS AND PAROLE EVIDENCE.
- THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR CAMP HILL BOROUGH, COMMUNITY PANEL NO. 42041C0281E, EFFECTIVE DATE 3/16/2009.
- BASED ON HISTORICAL AERIAL IMAGERY, THE UNT TO CEDAR RUN WAS AN OPEN CHANNEL SURFACE WATER EXTENDING FROM THE INTERSECTION OF DEANHURST AVENUE AND DICKINSON AVENUE UNTIL APPROXIMATELY 1958 WHEN THE STREAM WAS MODIFIED TO INCLUDE A POND ON THE WESTERN SIDE OF CAMP HILL SCHOOL DISTRICT'S PROPERTY, THAT CONTINUED DOWNSTREAM AS AN OPEN CHANNEL. IN APPROXIMATELY 1971, THE SURFACE WATER ON THE PROPERTY WAS PLACED INTO A BOX CULVERT THAT APPEARS TO EXTEND SOUTH OF PASS8 TO THE NORFOLK SOUTHERN RAILROAD TRACKS. BASED ON INFORMATION PROVIDED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S eMapPA WEBSITE, THE UNT TO CEDAR RUN IS STILL CONSIDERED A SURFACE WATER THAT EXTENDS THROUGH THE PROPERTY IN THE LOCATION OF THE BOX CULVERT.

CAMP HILL SCHOOL DISTRICT
Tax Parcel 01-22-0535-074
Deed Book: 14D PG:150
Deed Book: 14D PG:154
Containing: 0.325 Acres

CAMP HILL SCHOOL DISTRICT
Tax Parcel 01-22-0535-074
Deed Book: 30H PG:475
Containing: 3.233 Acres



PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
ADDITIONS & RENOVATIONS TO HOOVER ELEMENTARY SCHOOL
FOR
CAMP HILL SCHOOL DISTRICT

PROFESSIONAL SEAL

SCALE: 1" = 40'

DATE: JUNE 11, 2020

K&W PROJECT: 2012.007

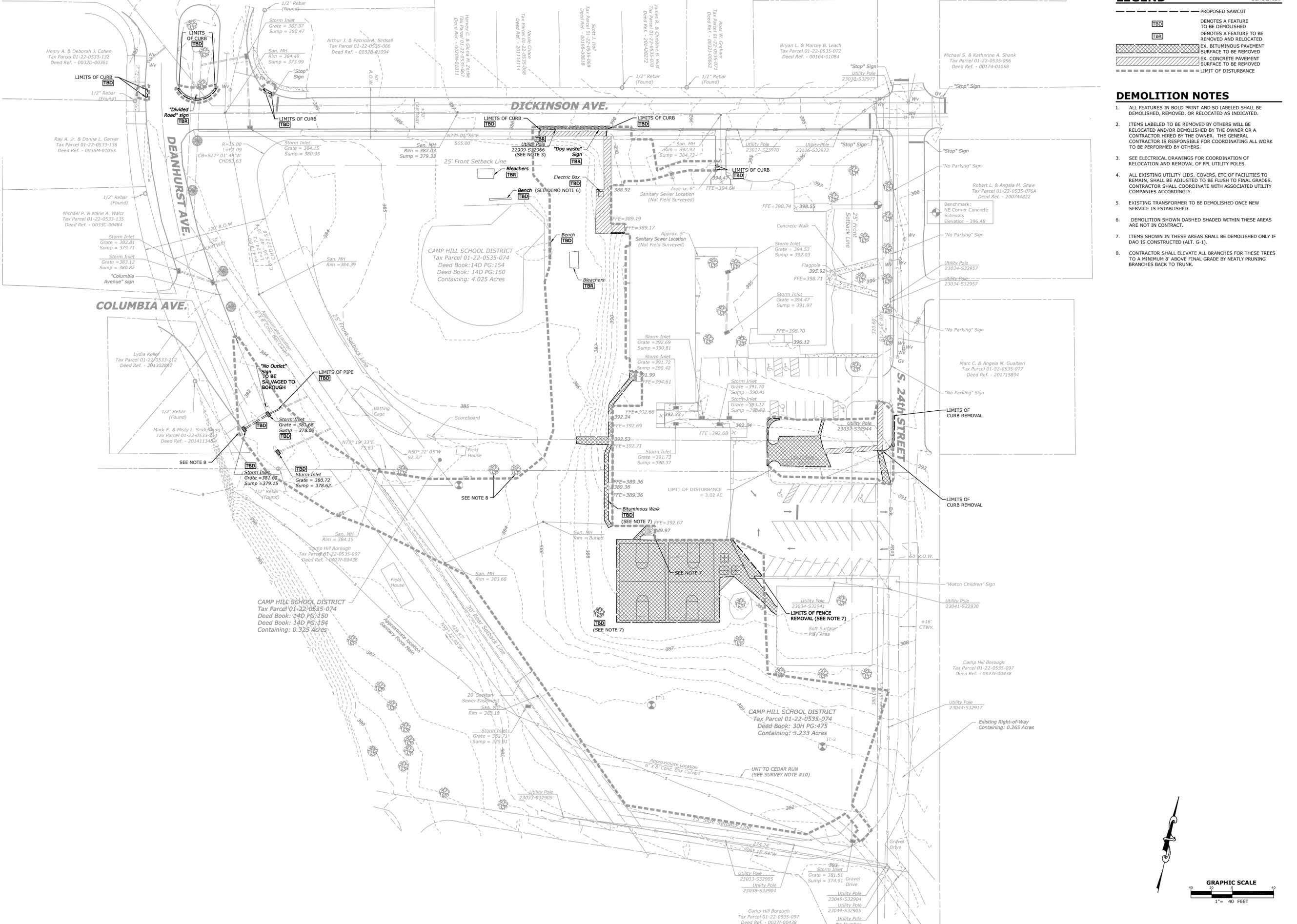
DRAWN BY: GSD

CAD DRAWING: 2012.007-B-18 EXF.dwg

NO.	DATE	DESCRIPTION
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6		
7		

EXISTING FEATURES PLAN

DICKINSON AVE.



LEGEND

--- PROPOSED SAWCUT
 --- DEMOLITION
 [TBD] DENOTES A FEATURE TO BE DEMOLISHED
 [TBR] DENOTES A FEATURE TO BE REMOVED AND RELOCATED
 [Hatched] EX. BITUMINOUS PAVEMENT SURFACE TO BE REMOVED
 [Hatched] EX. CONCRETE PAVEMENT SURFACE TO BE REMOVED
 - - - - - LIMIT OF DISTURBANCE

- DEMOLITION NOTES**
- ALL FEATURES IN BOLD PRINT AND SO LABELED SHALL BE DEMOLISHED, REMOVED, OR RELOCATED AS INDICATED.
 - ITEMS LABELED TO BE REMOVED BY OTHERS WILL BE RELOCATED AND/OR DEMOLISHED BY THE OWNER OR A CONTRACTOR HIRED BY THE OWNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK TO BE PERFORMED BY OTHERS.
 - SEE ELECTRICAL DRAWINGS FOR COORDINATION OF RELOCATION AND REMOVAL OF PPL UTILITY POLES.
 - ALL EXISTING UTILITY LIDS, COVERS, ETC OF FACILITIES TO REMAIN, SHALL BE ADJUSTED TO BE FLUSH TO FINAL GRADES. CONTRACTOR SHALL COORDINATE WITH ASSOCIATED UTILITY COMPANIES ACCORDINGLY.
 - EXISTING TRANSFORMER TO BE DEMOLISHED ONCE NEW SERVICE IS ESTABLISHED
 - DEMOLITION SHOWN DASHED SHADED WITHIN THESE AREAS ARE NOT IN CONTRACT.
 - ITEMS SHOWN IN THESE AREAS SHALL BE DEMOLISHED ONLY IF DAO IS CONSTRUCTED (ALT. G-1).
 - CONTRACTOR SHALL ELEVATE ALL BRANCHES FOR THESE TREES TO A MINIMUM 8' ABOVE FINAL GRADE BY NEATLY PRUNING BRANCHES BACK TO TRUNK.



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PROFESSIONAL SEAL

SCALE: 1" = 40'

DATE: JUNE 11, 2020

K&W PROJECT: 2012.007

DRAWN BY: GSD

CAD DRAWING: 2012.007-C-16 DEMO.dwg

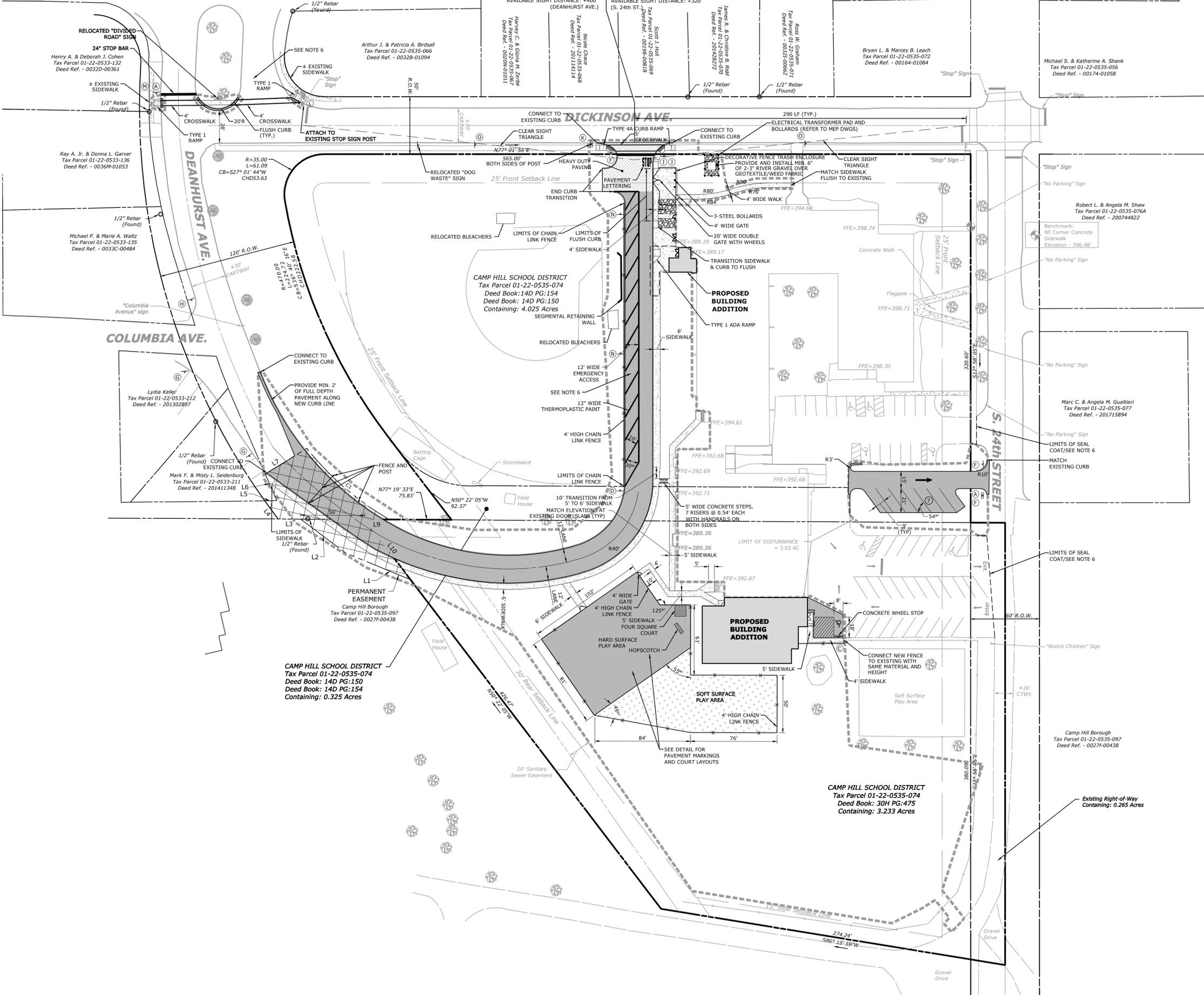
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7		

PLAN TYPE: **DEMOLITION PLAN**

SHEET: **3 OF 8**



DICKINSON AVE.



LEGEND

- Proposed Site Features: Building Line, Center Line, Concrete Surface, Curb, Edge of Bituminous Pavement, Standard Duty Pavement, Soft Play Surface, Heavy Duty Pavement, Painted Traffic Island, Edge of Crushed Stone or Gravel Surface, Wall, Fence, Bollard, Parking Space Count, Stop Sign, Handicap Parking Sign, Van Accessible Handicap Parking Sign, Merge Right Sign, One-Way Sign, Do Not Block Driveway, Do Not Block Intersection, All Traffic Must Turn Left, End One-Way, One-Way Sign, Traffic From Left, No Parking Sign, No Parking Between Signs.

SITE PLAN NOTES

- 1. REFER TO ARCHITECTURAL PLANS FOR CONCRETE PADS OUTSIDE OF EXTERIOR DOORWAYS.
2. ALL RADII ARE 5 FEET, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE WITHIN THE PLAN VIEW. THIS INCLUDES CURB RADII, RADII ON PROPOSED EDGES OF BITUMINOUS PAVEMENT, AND RADII INDICATED FOR PAVEMENT MARKINGS.
3. SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH PENNDOT PUBLICATION 406, SECTION 1103, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED. STOP BARS AND PAVEMENT LETTERING SHALL BE THERMOPLASTIC.
4. MAXIMUM SIDEWALK CROSS SLOPE = 2%. SIDEWALK DIMENSIONS ARE MEASURED FROM BACK OF CURB.
5. CONTRACTOR SHALL INSTALL PLAY SURFACE MULCH, INCLUDING GRADING, DRAINAGE AND ASSOCIATED INFORMATION AS SHOWN ON THE DETAIL SHEET. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF INLET AND PIPING WITH OWNER'S PLAYGROUND INSTALLER PRIOR TO GRADING THE PLAY AREA.
6. CONTRACTOR SHALL SEAL COAT ALL EXISTING PAVED AREAS TO REMAIN AND APPLY NEW PAVEMENT MARKINGS MATCHING PREVIOUSLY EXISTING MARKINGS INCLUDING ADA PARKING LOGOS AND AISLE STRIPING. SEAL COAT SHALL BE "MASTERSSEAL ULTRA PAVEMENT SEALER" BY SEAL MASTER (OR APPROVED EQUAL) AT RATES RECOMMENDED BY MANUFACTURER.



DESIGNING ENVIRONMENTS
2201 North Front Street, Suite 200
Harrisburg, PA 17110
P: 717.635.3333
www.kandwengineers.com

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FOR
CAMP HILL SCHOOL DISTRICT

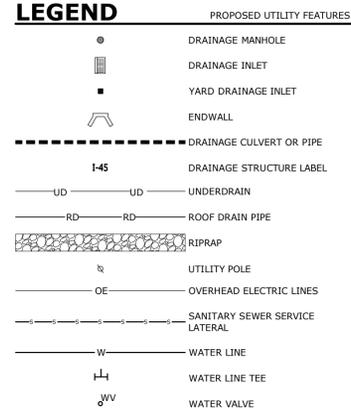
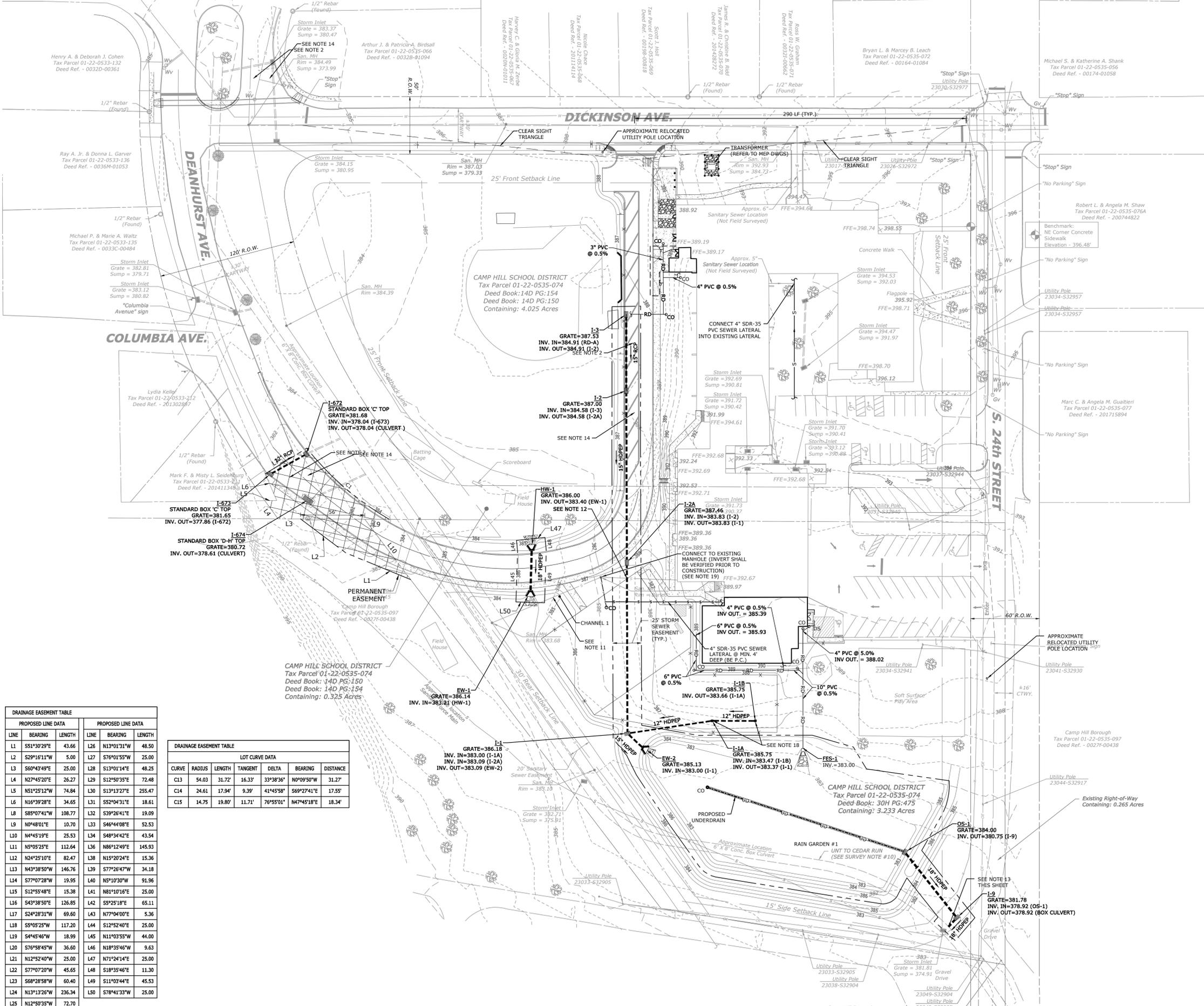
BOROUGH OF CAMP HILL
CUMBERLAND COUNTY, PA

PROFESSIONAL SEAL
SCALE: 1" = 40'
DATE: JUNE 11, 2020
K&W PROJECT: 2012.007
DRAWN BY: GSD

Table with 2 columns: REVISIONS (NO., DATE, DESCRIPTION) and PLAN TYPE (SITE PLAN)

GRAPHIC SCALE
1" = 40 FEET

DICKINSON AVE.



- ### UTILITY NOTES
- ALL ROOF DRAIN PIPING SHALL BE INSTALLED AT A MINIMUM SLOPE OF 0.5% UNLESS OTHERWISE NOTED AND SHALL CONNECT TO STUBS LEFT BY P.C. AT FIVE (5) FEET OUTSIDE THE BUILDING.
 - ALL SANITARY SEWER LATERAL SECTIONS SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1%.
 - ALL DRAINAGE STRUCTURES (INCLUDING INLETS, MANHOLES, ENDWALLS, ETC.) PROPOSED FOR DEDICATION OR LOCATED WITHIN A STREET SECTION SHALL BE CAPABLE OF HANDLING AN HS-25 LOADING.
 - ALL STORMWATER PIPES, CULVERTS, MANHOLES, INLETS, ENDWALLS AND END SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN PENNDOT PUBLICATION 408, AS AMENDED, AND SHALL CONFORM TO THE REQUIREMENTS OF THE PENNDOT, BUREAU OF DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION (R/C), PUBLICATION NO. 72, IN EFFECT AT THE TIME THE DESIGN IS SUBMITTED.
 - ALL WATER MAINS ARE TO BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52.
 - ALL PADEP WATER SUPPLY REGULATIONS SHALL APPLY.
 - WATER LINES SHALL BE KEPT SEPARATED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM ANY OTHER UTILITY, EXCEPT SANITARY SEWER LINES, THE SEPARATION FOR WHICH SHALL BE IN ACCORDANCE WITH PADEP REGULATIONS.
 - BOROUGH MUST BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE OF WHEN SANITARY SEWER WORK IS SCHEDULED TO BEGIN AND MUST BE NOTIFIED A MINIMUM OF 24 HOURS IN ADVANCE OF THE NEED OF ANY INSPECTIONS.
 - NON-SANITARY SEWER DISCHARGES TO THE SANITARY SEWER SYSTEM ARE PROHIBITED, INCLUDING CONDENSATION FROM COOLING EQUIPMENT.
 - ALL SEWER LATERALS SHALL BE SCH 40 PVC.
 - PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL INVESTIGATE THE CURRENT CONDITION AND SUITABILITY OF THE EXISTING LATERAL FOR CONTINUED USE VIA TESTING OR CCTV VIDEO INSPECTION. THE BOROUGH'S PUBLIC WORKS STAFF SHALL BE NOTIFIED TO ALLOW THEM TO OBSERVE THE INVESTIGATION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF THE RESULTS OF THE INVESTIGATION.
 - PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE DEPTH OF THE EXISTING SANITARY SEWER LATERAL RELATIVE TO THE PROPOSED STORM PIPE CROSSING, AND REPORT ANY CONFLICTS TO THE ENGINEER. IF SANITARY SEWER LATERAL IS WITHIN 18" OF THE STORM PIPE THE LATERAL SHALL BE CONCRETE ENCASED A MINIMUM OF 5 FEET ON BOTH SIDES OF STORM CROSSING.
 - THE CONTRACTOR SHALL COORDINATE THE BOROUGH'S PUBLIC WORKS STAFF REVIEW AND APPROVAL IN THE FIELD (AT TIME OF CONSTRUCTION) THE PROPOSED MEANS OF PHYSICAL CONNECTION(S) TO THE EXISTING BOX CULVERT WITH PROPOSED DRAINAGE PIPES.

PROPOSED LINE DATA			PROPOSED LINE DATA		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S51°30'29"E	43.66	L26	N13°01'31"W	48.50
L2	S29°16'11"W	5.00	L27	S76°01'55"W	25.00
L3	S60°43'49"E	25.00	L28	S13°01'14"E	48.25
L4	N27°45'20"E	26.27	L29	S12°50'35"E	72.48
L5	N51°25'12"W	74.84	L30	S13°13'27"E	255.47
L6	N16°39'28"E	34.65	L31	S52°04'31"E	18.61
L8	S85°07'41"W	108.77	L32	S39°26'41"E	19.09
L9	N0°48'01"E	10.70	L33	S46°44'08"E	52.53
L10	N4°45'19"E	25.53	L34	S48°34'42"E	43.54
L11	N5°05'25"E	112.64	L36	N86°12'49"E	145.93
L12	N24°25'10"E	82.47	L38	N15°20'24"E	15.36
L13	N43°38'50"W	146.76	L39	S77°26'47"W	34.18
L14	S77°07'28"W	19.95	L40	N5°10'30"W	91.96
L15	S12°55'48"E	15.38	L41	N81°10'16"E	25.00
L16	S43°38'50"E	126.85	L42	S5°25'18"E	65.11
L17	S24°28'31"W	69.60	L43	N77°04'00"E	5.36
L18	S5°05'25"W	117.20	L44	S12°52'40"E	25.00
L19	S4°45'46"W	18.99	L45	N11°03'55"W	44.00
L20	S76°58'45"W	36.60	L46	N18°35'46"W	9.63
L21	N12°52'40"W	25.00	L47	N71°24'14"E	25.00
L22	S77°07'20"W	45.65	L48	S18°35'46"E	11.30
L23	S68°28'58"W	60.40	L49	S11°03'44"E	45.53
L24	N13°13'26"W	236.34	L50	S78°41'33"W	25.00
L25	N12°50'35"W	72.70			

DRAINAGE EASEMENT TABLE						
PROPOSED LINE DATA			LOT CURVE DATA			
LINE	BEARING	LENGTH	CURVE	RADIUS	LENGTH	TANGENT
C13	54.03	31.72	16.33	33°38'36"	N0°09'50"W	31.27
C14	24.61	17.94	9.39	41°45'58"	S69°27'41"E	17.55
C15	14.75	19.80	11.71	76°55'01"	N47°45'18"E	18.34



PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
ADDITIONS & RENOVATIONS TO HOOVER ELEMENTARY SCHOOL
FOR
CAMP HILL SCHOOL DISTRICT
BOROUGH OF CAMP HILL
CUMBERLAND COUNTY, PA

PROFESSIONAL SEAL	
SCALE:	1" = 40'
DATE:	JUNE 11, 2020
K&W PROJECT:	2012.007
DRAWN BY:	GSD
CAD DRAWING:	2012.007-F-18 UTIL.dwg
REVISIONS	
NO.	DESCRIPTION
1	REVISED PER BOROUGH AND COUNTY COMMENTS
2	REVISED PER CCCD COMMENTS
3	REVISED PER BOROUGH COMMENTS
4	REVISED PER BOROUGH COMMENTS
5	REVISED PER BOROUGH COMMENTS
6	REVISED PER SCORE CHANGES TO PLANS
7	
PLAN TYPE:	
UTILITY PLAN	
SHEET:	
6 OF 8	

DICKINSON AVE.

LEGEND

- PROPOSED LANDSCAPE PLAN FEATURES
- EVERGREEN TREES
 - DECIDUOUS TREES
 - SHRUBS & ORNAMENTAL GRASSES
 - GROUND COVER
 - PLANTING LABEL

LANDSCAPE REQUIREMENTS

1 SHADE TREE FOR EVERY 5 PARKING SPACES
 70 PARKING SPACES / 5 = 14 SHADE TREES REQUIRED
 14 SHADE TREES PROVIDED

LEGEND

LANDSCAPE PLAN FEATURES

TREES

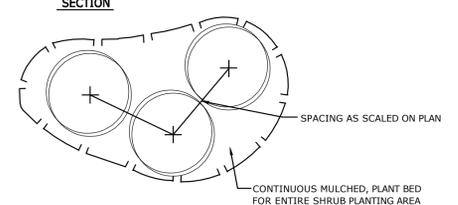
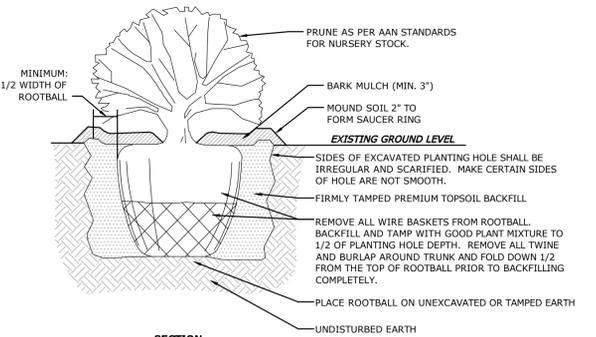
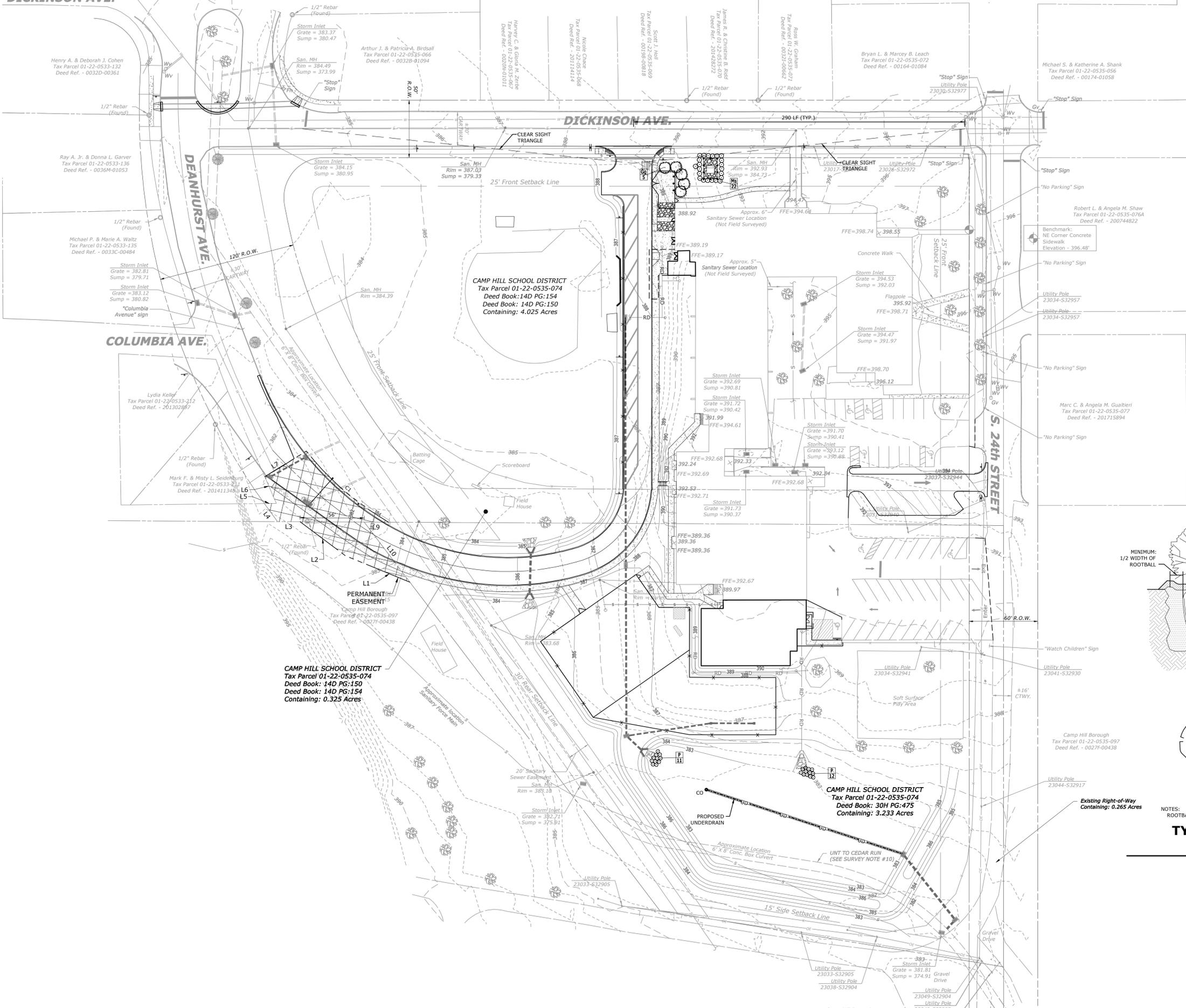
SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
Gg	THUJA 'GREEN GIANT' GREEN GIANT ARBORVITAE	5	6' HT	B&B

SHRUBS / GRASSES / GROUNDCOVERS

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
P	PANICUM VIRGATUM / SWITCHGRASS	23	2 GAL.	CONT.
Ms	MISCANTHIUS SINENENSIS 'GRACILLIMUS' / MAIDEN GRASS	22	1 GAL.	CONT.

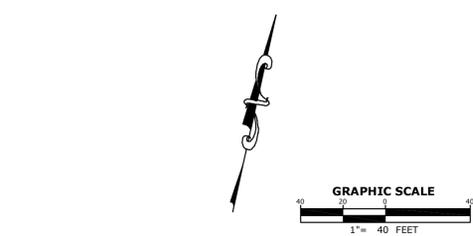


PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
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 FOR
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 BOROUGH OF CAMP HILL
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TYPICAL SHRUB/ORNAMENTAL GRASS PLANTING

NOT TO SCALE



CAMP HILL SCHOOL DISTRICT
 Tax Parcel 01-22-0535-074
 Deed Book: 14D PG:150
 Deed Book: 14D PG:154
 Containing: 0.325 Acres

CAMP HILL SCHOOL DISTRICT
 Tax Parcel 01-22-0535-074
 Deed Book: 30H PG:475
 Containing: 3.233 Acres

PROFESSIONAL SEAL

SCALE: 1" = 40'

DATE: JUNE 11, 2020

K&W PROJECT: 2012.007

DRAWN BY: GSD

CAD DRAWING: 2012.007-6 14 LS.dwg

REVISIONS

NO.	DATE	DESCRIPTION
1	05/01/2019	REVISED PER BOROUGH AND COUNTY COMMENTS
2	05/02/2019	REVISED PER CCCD COMMENTS
3	05/16/2019	REVISED PER BOROUGH COMMENTS
4	06/04/2019	REVISED PER BOROUGH COMMENTS
5	07/20/2020	REVISED PER SCOPE CHANGES TO PLANS
6		
7		

PLAN TYPE:
LANDSCAPE PLAN

SHEET:
7 OF 8

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