

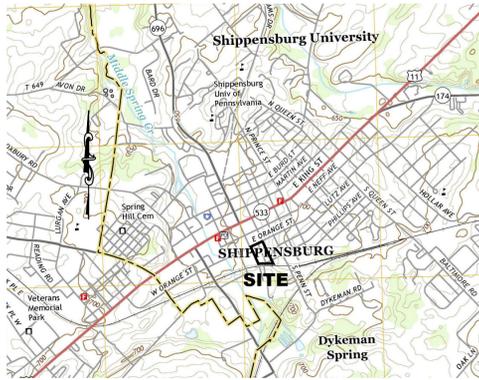
Cumberland County Subdivision and Land Development Review Report

Municipality:	<u>Shippensburg Boro</u>	Surveyor/ Engineer:	<u>Diffenbaugh Wadel Inc.</u>	Owner/ Developer:	<u>Samuel Cressler</u>
Plat Title:	<u>Gandy Manor</u>				
Plat Status:	<u>Final</u>	Plat Type:	<u>Subdivision</u>		
# of New Lots:	<u>1</u>	# of New Dwelling Units:	<u>12</u>	New Acreage Subdivided/Developed:	<u>0.936</u>
				Total Tract Acreage:	<u>3.625</u>
Zoning District:	<u>Commercial</u>		Proposed Land Use:	<u>Residential</u>	
Date Received:	<u>8/18/2020</u>	County Review:	<u>8/28/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The plan should include proposed conditions or Site Data to verify compliance with the Zoning District Regulations (Zoning 150-20.C).
2. Proposed parking figures and calculations should be shown (Zoning 150-57).
3. The plan should include a clear sight triangle and the required/provided sight distances (SLDO 137-26.T).
4. Will dumpsters be provided for the development? If so, the plan should describe the screening and show the location (SLDO 137-32.A.2).
5. Street trees should be provided (SLDO 137-32.C).
6. The Borough should determine whether a Hydrogeologic Report will be required (SLDO 137-33.C).
7. The plan should address the recreation land or fee in lieu of dedication (SLDO 137.34).
8. The proposed parking spaces appear to be numbered consecutively. Parking space #10 was omitted from the count.
9. Will the remaining portion of the Beistle Building or the warehouse building be demolished as part of the plan? If not, what is the proposed use of these buildings? These buildings should be addressed in the General Notes.
10. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



LOCATION MAP 1" = 2000'

STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION

Commonwealth Of Pennsylvania:
County Of Cumberland:

On this, the ___ day of ___, 2020 before me, the undersigned officer, personally appeared Samuel F. Cressler, who being duly sworn according to law deposes and says that he is the owner of the property shown on this plan and that he acknowledges the same to be his plan and desires the same to be recorded as such according to law; and all roads or parts thereof, if not previously dedicated, are hereby tendered for dedication to public use.

Samuel F. Cressler

Notary Public _____ Date _____
Witness my hand and seal the above day and date written.

SHIPPENSBURG BOROUGH COUNCIL APPROVAL

Approved by the Shippensburg Borough Council and all conditions imposed with respect to such approval were completed on this ___ day of ___, 2020.

Shippensburg Borough Council

Shippensburg Borough Secretary _____ Chairperson _____

SHIPPENSBURG BOROUGH PLANNING COMMISSION REVIEW

At a meeting on ___, 2020, the Shippensburg Borough Planning Commission reviewed this plan.

Shippensburg Borough Planning Commission

Shippensburg Borough Planning Commission Secretary _____ Chairperson _____

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW

Reviewed by the Cumberland County Planning Department this ___ day of ___, 2020.

Cumberland County Planning Department

Director Of Planning _____

LAND SURVEYOR'S CERTIFICATION

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Shippensburg Borough Subdivision And Land Development Ordinance. The error of closure is no greater than 1 foot in 10,000 feet for all surveyed property lines.

WAIVER REQUEST/APPROVAL BLOCK

REQUESTED WAIVER	APPROVED	DISAPPROVED
Chapter 137-17A: Drawing scale requirement of 10 feet, 20 feet, 30 feet, 40 feet, 50 feet, 60 feet, 80 feet or 100 feet to the inch.		

GENERAL NOTES

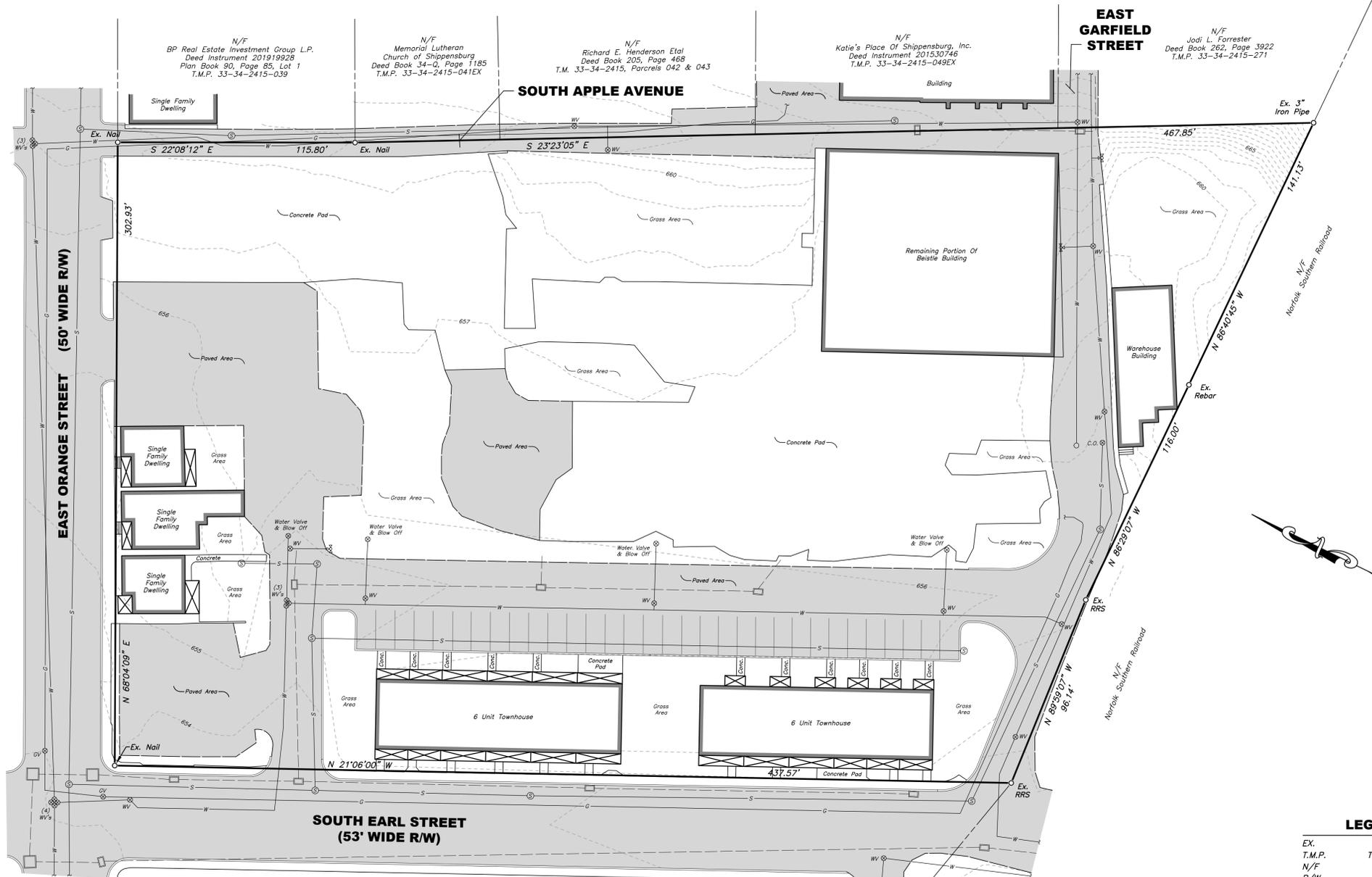
- A partial topographical survey from the office of Diffenbaugh Wadel Inc. and data from the PAMAP Program LAS Files (Lidar Data Of Pennsylvania) were used to determine contours for the project site. (Vertical Datum: NAVD 88)
- The National Wetland Inventory Maps do not indicate the presence of any wetland areas on the subject property. There were no visible signs of wetlands on the subject property.
- The subject property is not located within the 100-year flood zone according to the National Flood Insurance Program Map 4204100342E, effective March 16, 2009.
- The locations of underground utilities as shown on this plan are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities.
- The subject property is located in the (C-1) Commercial Zoning District.
- The only soils type on the subject property is (Ub) Urban land and Udortherents.

(C-1) COMMERCIAL ZONING DISTRICT REGULATIONS

- Permitted Use – Multiple Family Dwelling Up To 6 Units
- Minimum Lot Area:* 3,000 square feet per use
 - Minimum Lot Width: 50 Feet
 - Minimum Building Setbacks:* Front – 10 Feet
Side – 6 Feet
Rear – 20 Feet
 - Maximum Building Height: 45 Feet
 - Maximum Lot Coverage: 70 Percent
 - Minimum Vegetative Cover: 15 Percent
 - Minimum Parking Spaces: 2 Spaces Per Family Unit
- * See Zoning Hearing Board Decision & Conditions notes

ZONING HEARING BOARD DECISION & CONDITIONS

- The following variances were granted by the Borough Of Shippensburg Zoning Hearing Board on December 28, 2007.
- Section 150-20-C.2.A – Setback lines may be as little as 2 feet on Orange Street and 5 feet on South Earl Street.
 - Section 150-116 – The property may be used with the total square footage per dwelling unit of 2,047, more than 50% of the lot may be occupied by structures, the setback on Apple Avenue may be as little as 10 feet, the setback on East Garfield Street may be as little as 11 feet, and the lot area for the property may be less than 3/4 of an acre.
- The variances were granted subject to the following conditions:
- The applicant shall proceed with the use of the property in accordance with the testimony and exhibits presented at the hearing in this case.
 - The applicant shall abide by all federal, state, and local laws and ordinances with respect to his use of the subject property.



SCALE: 1" = 30'

LEGEND

EX.	Existing
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
R/W	Right-Of-Way
- - -	Contour Line
- - -	Soils Line
○	Utility Pole
—	Stormwater Pipe
—	Stormwater Inlet
—	Water Main
○	Water Valve
○	Curb Stop
⊗	Fire Hydrant
—	Sanitary Sewer Main
⊗	Sanitary Sewer Manhole
○	Clean Out
○	Gas Valve
○	Gas Line
◇	Sign

PLAN INDEX

Sheet LD1	Overall Property & Approvals
Sheet LD2	Proposed Lot Plan
Sheet LD3	Existing Site Conditions
Sheet LD4	Proposed Site Improvements
Sheet LD5	Proposed Utility Plan
Sheet LD6	Proposed Grading Plan
Sheet LD7	Details & Profiles
Sheet LD8	Details & Profiles

SOURCE OF TITLE

Samuel F. Cressler
Deed Instrument 201430376
Plan Instrument 201609846
Tax Map 34-34-2415, Parcel 132
Contains 3.625 Acres

OWNER INFORMATION

Samuel F. Cressler
P.O. Box 249 Shippensburg, PA 17257
Site Address:
14 East Orange Street Shippensburg, PA 17257

PLAN REVISIONS

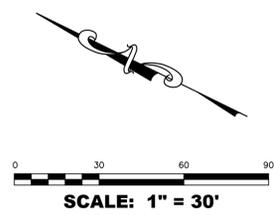
NO.	REVISIONS	DATE

FINAL SUBDIVISION PLAN FOR GANDY MANOR & FINAL LAND DEVELOPMENT PLAN FOR GANDY MANOR PHASE 2 (OVERALL PROPERTY & APPROVALS)



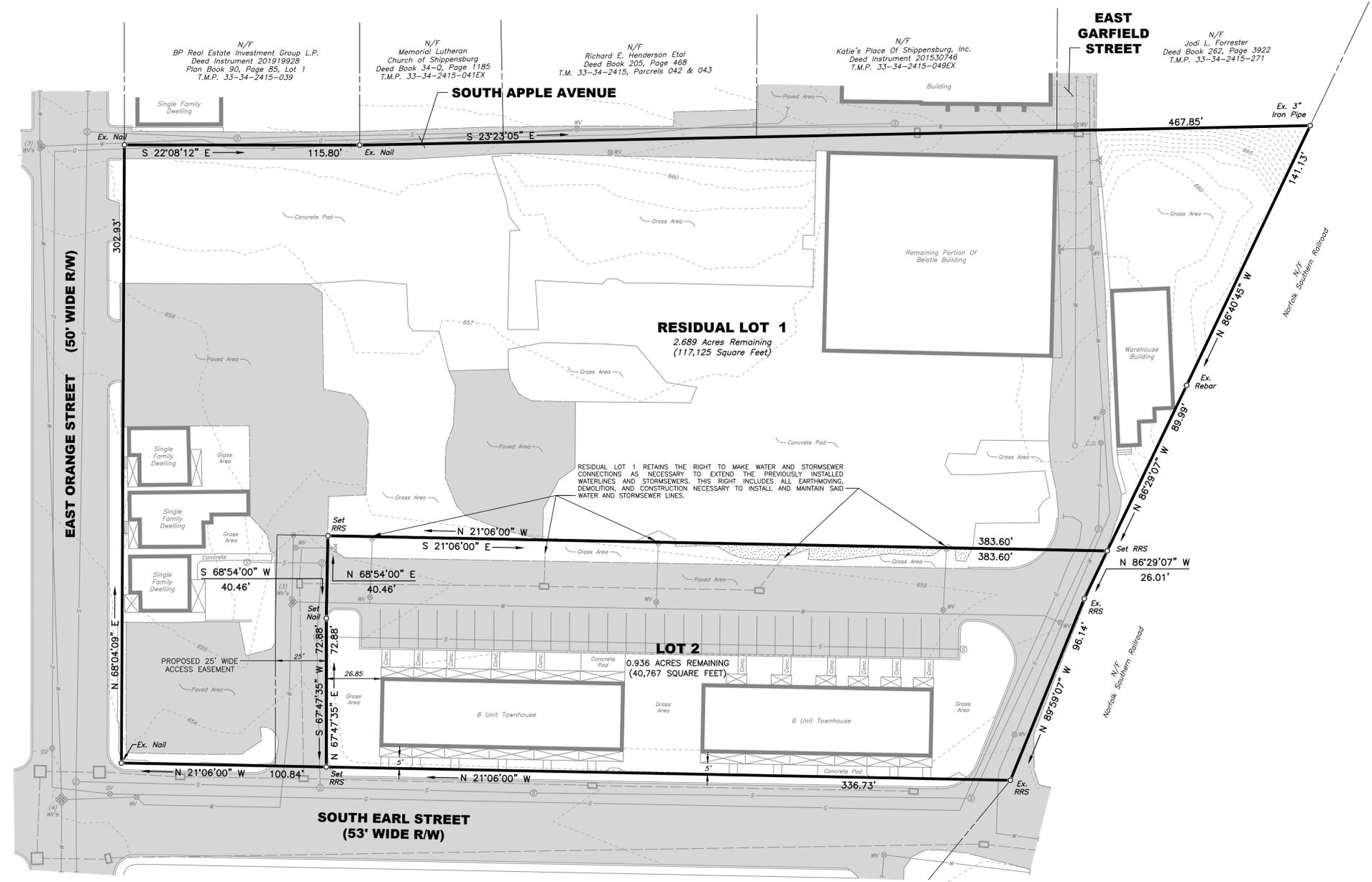
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PHONE: (717) 776-6420 FAX: (717) 776-9277

Date	AUGUST 14, 2020
Scale	1" = 30'
File No.	05039
Drawing Name	05039-LD1
Drawn By	J.B.M
Checked By	M.L.W.
Sheet No.	LD1



PROPOSED LOT PLAN NOTES

1. All dwellings on Residual Lot 1 and Proposed Lot 2 are connected to public water and public sewer. No additional water or sewer connections are being proposed For Proposed Lot 2 as part of this plan.
2. All property corners that are noted to be set on this plan, shall be set prior to final approval.
3. The impervious coverage of Proposed Lot 2 will be 69.5 percent after the removal of the concrete pad area as shown hereon. The vegetative coverage of Proposed Lot 2 will be 30.5 percent. These calculations are based on the specified concrete area being removed as shown on this plan.
4. The proposed access easement is for common and joint use of Residual Lot 1 and Proposed Lot 2 for ingress, egress, regress, and utility locations.



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LEGEND

- EX. Existing
- T.M.P. Tax Map & Parcel
- N/F Now or Formerly
- R/W Right-Of-Way
- Contour Line
- - - Soils Line
- Utility Pole
- === Stormwater Pipe
- Stormwater Inlet
- - - Water Main
- ⊗ Water Valve
- CS Curb Stop
- ⊗ Fire Hydrant
- - - Sanitary Sewer Main
- ⊗ Sanitary Sewer Manhole
- CO Clean Out
- ⊗ GV Gas Valve
- - - Gas Line
- ◇ Sign

Area Of Existing Concrete to Be Removed And Replaced With Grass Lawn. (Lot 2)

FINAL SUBDIVISION PLAN FOR GANDY MANOR & FINAL LAND DEVELOPMENT PLAN FOR GANDY MANOR PHASE 2 (PROPOSED LOT PLAN)

SHIPPENSBURG BOROUGH · CUMBERLAND COUNTY · COMMONWEALTH OF PENNSYLVANIA



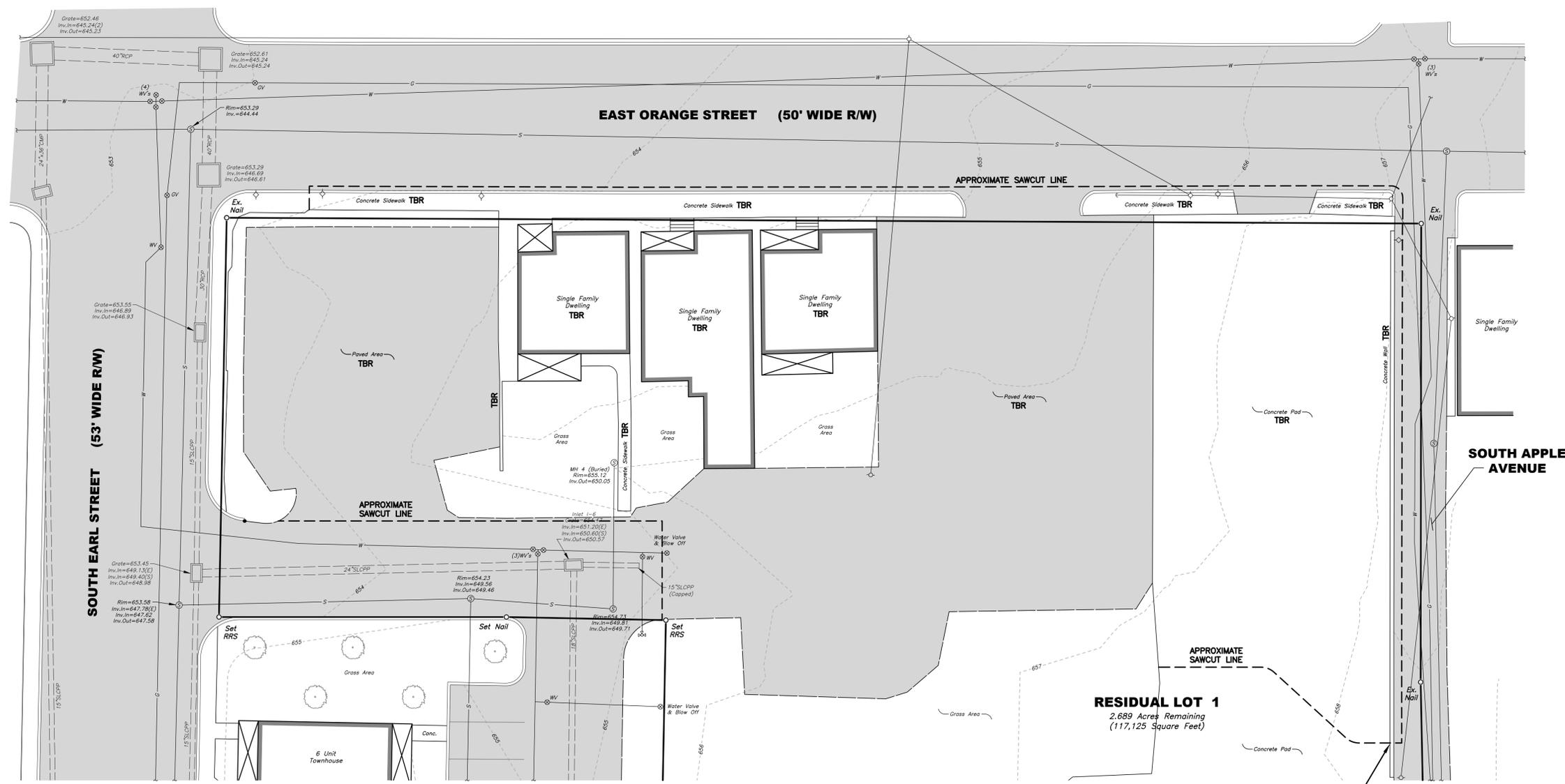
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Checked By	M.L.W.
Sheet No.	LD2

PLAN REVISIONS	REVISIONS	DATE
No.		



Any existing signs, poles or guy wires along those portions of Orange Street and Apple Avenue which are being modified or disturbed must be protected from damage or be replaced as applicable.



LEGEND

- TBR To Be Removed
- EX Existing
- T.M.P. Tax Map & Parcel
- N/F Now or Formerly
- R/W Right-Of-Way
- - - Contour Line
- - - Soils Line
- Utility Pole
- Stormwater Pipe
- Stormwater Inlet
- W — Water Main
- ⊗ W Water Valve
- CS Curb Stop
- ⊗ Fire Hydrant
- S — Sanitary Sewer Main
- ⊗ Sanitary Sewer Manhole
- CO Clean Out
- ⊗ G Gas Valve
- Gas Line
- ◇ Sign

PLAN REVISIONS	DATE

FINAL SUBDIVISION PLAN FOR GANDY MANOR & FINAL LAND DEVELOPMENT PLAN FOR GANDY MANOR PHASE 2 (EXISTING SITE CONDITIONS)
 SHIPPENSBURG BOROUGH · CUMBERLAND COUNTY · COMMONWEALTH OF PENNSYLVANIA

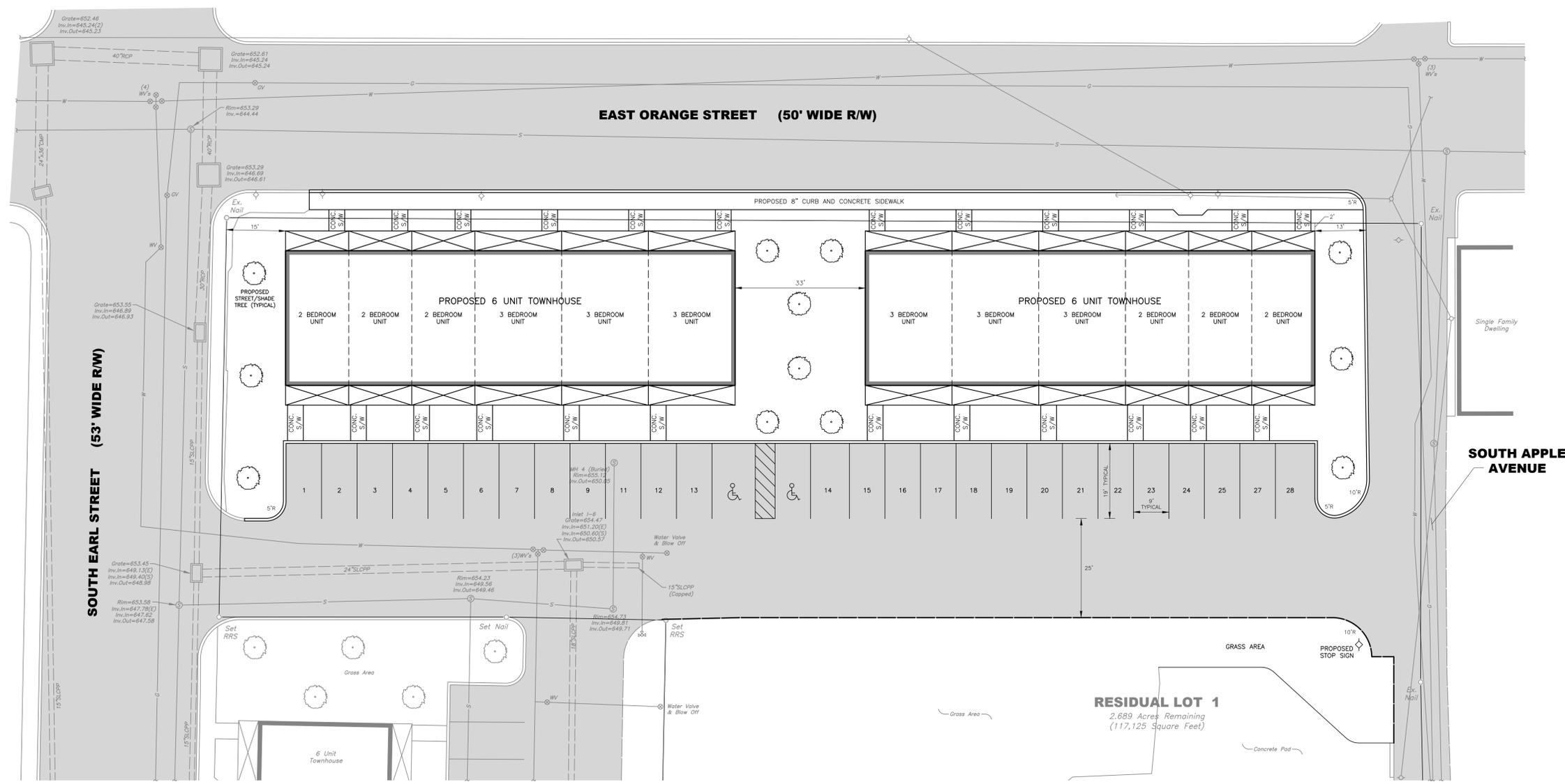
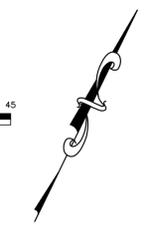


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Date	AUGUST 14, 2020
Scale	1" = 15'
File No.	05039
Drawing Name	05039-LD3
Drawn By	J.B.M
Checked By	M.L.W.
Sheet No.	LD3

PROPOSED SITE IMPROVEMENT NOTES

1. The post improvement impervious coverage of Residual Lot 1 is 69.2 percent. The post vegetative coverage of Residual Lot 1 is 30.8 percent.



PLAN REVISIONS	REVISIONS	DATE
No.		

FINAL SUBDIVISION PLAN FOR GANDY MANOR & FINAL LAND DEVELOPMENT PLAN FOR GANDY MANOR PHASE 2 (PROPOSED SITE IMPROVEMENTS)

SHIPPENSBURG BOROUGH · CUMBERLAND COUNTY · COMMONWEALTH OF PENNSYLVANIA



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GENERAL TREE SPECIFICATIONS & REQUIREMENTS

- The trees shall be nursery grown in a climate similar to that of the locality of the project. Varieties of trees shall be subject to the approval of the authority which accepts ownership of the street.
- All trees shall have normal habit of growth and shall be sound, healthy, and vigorous; they shall be free from disease, insects, insect eggs, and larvae.
- The trunk diameter, measured at a height of six (6) inches above finish grade, shall be a minimum of two (2) inches. The minimum tree height shall be six (6) feet.
- All planting shall be performed in conformance with good nursery and landscape practice and to the standards established by the authority which accepts ownership of the planting.
- Requirements for the measurements, branching, grading, quality, balling, and the burtopping of trees shall follow the code of standards recommended by the American Association of Nurserymen, Inc., in the American Standard For Nursery Stock, ANSIZ60, Current Edition, as amended.
- All street/shade trees shown hereon shall be maintained and protected perpetually or until redevelopment occurs.
- If any of the street/shade trees die, they must be replaced within six (6) months by the responsible party, their heir or assigns. (For the time period defined by note 6 above)

STREET TREE REQUIREMENTS

- Trees shall be planted between the street right-of-way line and the building setback line except where the municipality have authorized placement of trees within the street right-of-way. The trees growth shall not interfere with the street cartway, sidewalk, or utility line.
- A Minimum of one (1) street tree shall be provided for every forty (40) feet of public right-of-way frontage on a lot. Street trees shall be of the following species. No one species shall comprise more than twenty-five (25) percent of the entire number of streets trees in a particular development.

SHADE TREE REQUIREMENTS

- Shade trees shall be planted so that the total number of trees, including the proposed street trees is at least 12 trees.

Acceptable Street/Shade Trees

COMMON NAME	SCIENTIFIC NAME	COMMON NAME	SCIENTIFIC NAME
Red Maple	Acer Rubrum Cultivars	Sugar Maple	Acer Saccharum
Pin Oak	Quercus Palustris	Red Oak	Quercus Rubra
Green Ash	Fraxinus Pennsylvania		

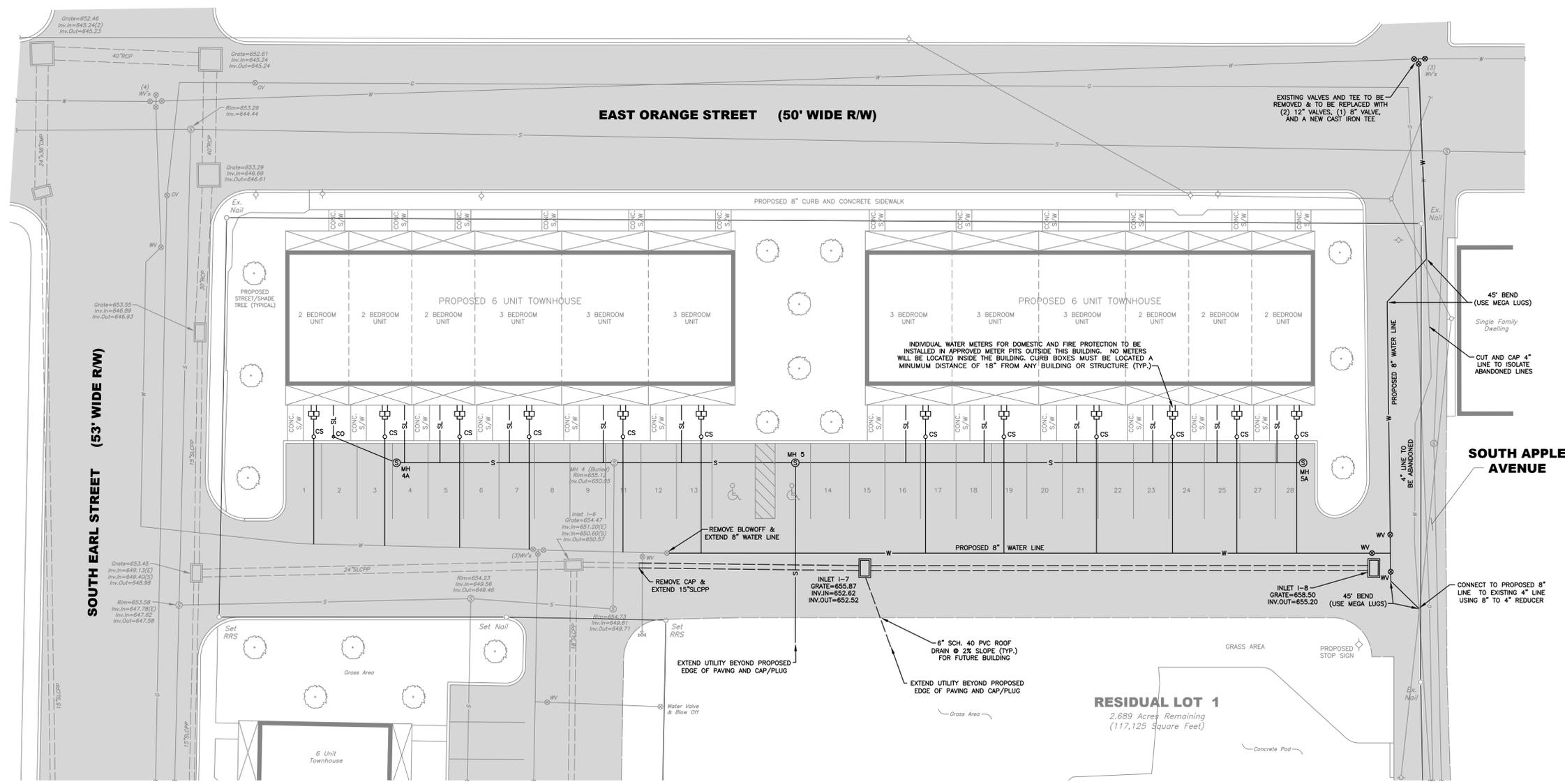
LEGEND

- EX. Existing
- T.M.P. Tax Map & Parcel
- N/F Now or Formerly
- R/W Right-Of-Way
- Contour Line
- - - Soils Line
- - - Utility Pole
- ==== Stormwater Pipe
- Stormwater Inlet
- W - Water Main
- ⊗ WV Water Valve
- ⊙ CS Curb Stop
- ⊗ Fire Hydrant
- S - Sanitary Sewer Main
- ⊙ Sanitary Sewer Manhole
- ⊙ CO Clean Out
- ⊙ GV Gas Valve
- G - Gas Line
- ◇ Sign
- Street/Shade Tree

Date	AUGUST 14, 2020
Scale	1" = 15'
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Drawn By	J.B.M
Checked By	M.L.W.
Sheet No.	LD4

Any proposed stormwater inlets and piping located inside the right-of-way of Orange Street or Apple Avenue will be dedicated to the Borough of Shippensburg for ownership and maintenance. Any proposed stormwater inlets and piping located on Residual Lot 1 will be owned and maintained by the owners of Residual Lot 1.

The proposed residential units will require 12 EDUs for sewer and water service, based on a letter dated October 4, 2006, from William Wolfe, Borough Manager, the site had 19 EDUs (sewer) and 25 EDUs (water) assigned to it based the usage by the existing factory building and the three existing houses. Since then, twelve residential units have been constructed on the site and one EDU is used by the "Thought Lot" building, leaving 6 EDUs (sewer) and 12 EDUs (water). Therefore, 6 additional EDUs of sewer will be required for the construction of the proposed residential units.



NO.	REVISIONS	DATE

FINAL SUBDIVISION PLAN FOR GANDY MANOR & FINAL LAND DEVELOPMENT PLAN FOR GANDY MANOR PHASE 2 (PROPOSED UTILITY PLAN)

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Drawing Name	05039-LD4
Drawn By	J.B.M
Checked By	M.L.W.
Sheet No.	LD5

LEGEND

SL	Sewer Lateral
EX	Existing
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
R/W	Right-Of-Way
---	Contour Line
---	Soils Line
---	Utility Pole
---	Stormwater Pipe
□	Stormwater Inlet
— w —	Water Main
⊗ W	Water Valve
⊙ CS	Curb Stop
⊗	Fire Hydrant
— s —	Sanitary Sewer Main
⊙	Sanitary Sewer Manhole
⊙	Clean Out
⊙	Gas Valve
⊙	Gas Line
◇	Sign

SOIL RESTORATION AREA (SRA)

SOIL RESTORATION AREAS (SOILS AMENDMENT AREA)

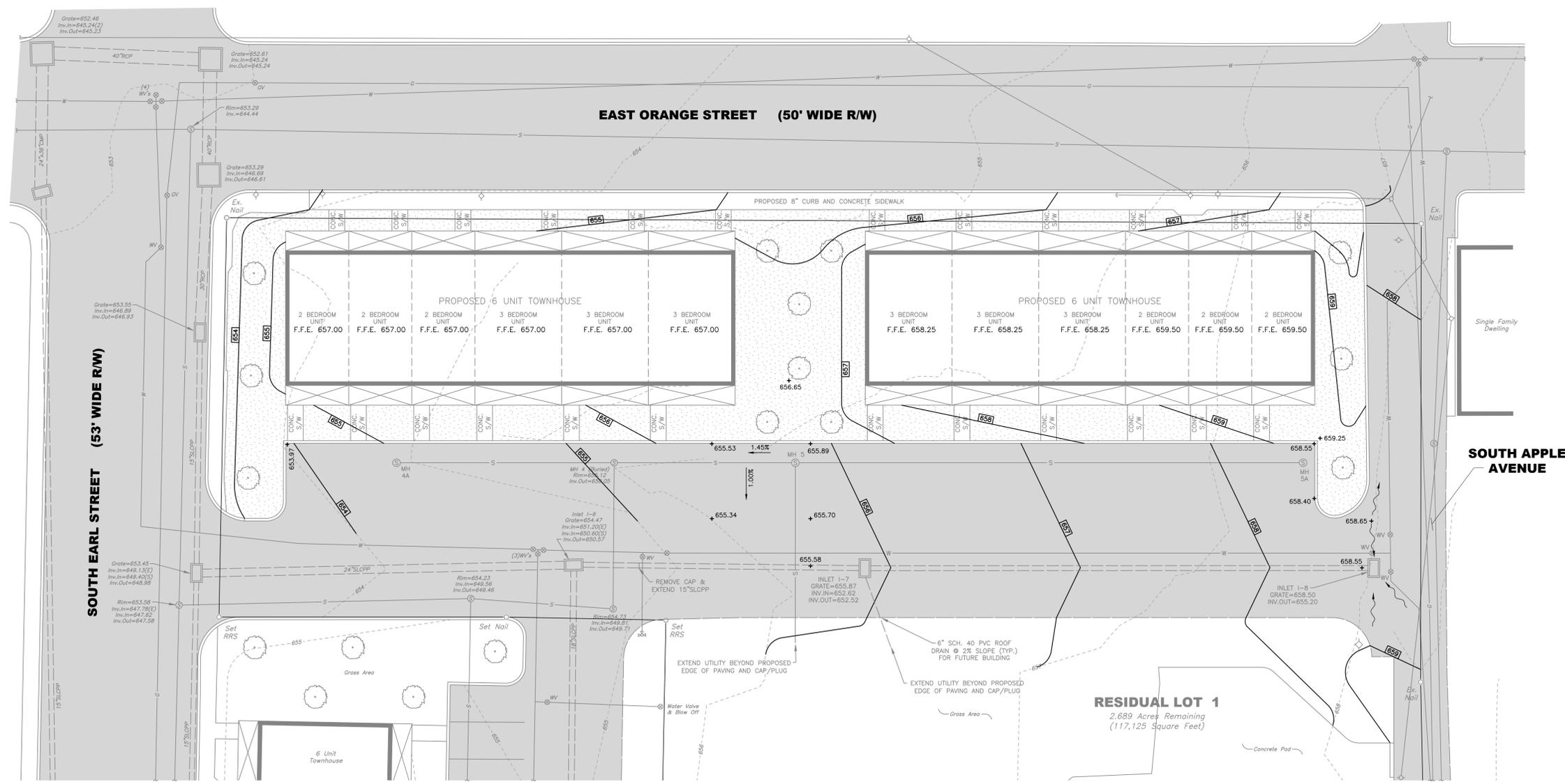
The hatched (dotted) areas on this sheet encompass a total area of 6,556 sq. ft. and depict those areas which are to receive soil restoration. For the purposes of volume control calculations, only 90 percent (90%) of this area, or 5,900 sq. ft. was credited. This will allow minor modifications to occur on the site in the future without requiring a modification of the NPDES permit. At no time following construction and final stabilization at the site will less than 5,900 sq. ft. of the shaded area be maintained as directed hereon.

CRITICAL STAGES DURING CONSTRUCTION OF PCSW BMPs

A licensed professional engineer, land surveyor, geologist or landscape architect must be present on site for the installation of the soil restoration areas and must afterward certify the construction was done in compliance with the approved PCSW plan. The NPDES permittee at the time of construction is responsible for ensuring that this occurs.

WASTES COLLECTED DURING BMP MAINTENANCE

Waste collected during maintenance of any PCSW BMPs, which include but are not limited to, sediment, grass clippings, leaves, branches, trash, etc. shall be recycled or disposed of by the operator. Sediment shall be disposed of by placing it in an area that is not subject to concentrated runoff. The sediment shall be stabilized with vegetation or with a suitable landscape surface. In either case, the surface shall be stabilized so that erosion is prevented. Grass clippings, leaves, branches and other organic material shall be disposed either by on-site composting or by delivery to an offsite composting site. Trash shall be disposed of in accordance with DEP's Solid Waste Management Regulations. These regulations may be found at the "PA Code" Website (www.pacode.com) Under 25 PA Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not bury, dump, or discharge any building materials or wastes at the site.



INSTRUCTIONS FOR THE IMPLEMENTATION OF SOIL RESTORATION

- Prior to performing soil restoration, all other nearby construction and excavation should be completed. Soil restoration is intended to be the final step in bringing an area to final grade and establishing the final stabilization. Soil restoration has two general stages; Subsoiling and Amendment.
 - Prior to placement of topsoil in the soil restoration area (SRA), the subsoil should be loosened or "sub-soiled". Subsoiling is only effective on and shall only be performed on dry soils. If soils are saturated, the contractor shall delay operations until the soil will not hold a ball when squeezed. Subsoiling shall not be performed over utility installations within 30 inches of the surface, where trenching/drainage lines are installed, within the drip line of a tree unless the tree is to be removed, on slopes over 30%, or in an area where compaction is by design.
 - Subsoiling shall form a two-directional grid. Channels shall be created by a solid-shank ripper or similar implement. The equipment shall be capable of exerting a penetration force necessary for the site. No disc cultivators, chisel plows, or spring-loaded equipment will be allowed. The grid channels shall be spaced a minimum of 12 inches to a maximum of 36 inches apart. The channel depth shall be a minimum of 24 inches below finished grade for areas of major compaction (areas subjected to axle loads over 20-tons) and a minimum of 12 inches below finished grade for areas of minor compaction (areas subjected to axle loads over 10-tons).
 - Following subsoiling and prior to amendment, the subsoil should be in a loose, friable condition to the depths noted in the preceding stage (24" or 12" below finished grade) and there shall be no erosion rills or washouts in the subsoil surface exceeding three inches in depth. Grades in the SRA shall be 8 inches below finished grade in areas of minor compaction and 16 inches below finished grade in areas of major compaction following completion of subsoiling.
 - Test topsoil that will be placed in the SRA to determine what nutrients, if any are required. Soil amendment shall not be performed on slopes over 30% or within the drip line of a tree unless the tree is to be removed.
 - In areas of minor compaction, spread 3 inches of compost on the subsoil and then rototill into subsoil. Next, apply required nutrients, spread 3 inches of topsoil and 3 inches of compost and rototill again (minimum tilling depth 8 inches at all times). In areas of major compaction, spread 4 inches of compost on the subsoil and then rototill into subsoil. Next, spread 3.5 inches of topsoil and 3.5 inches of compost and rototill again. Finally, apply required nutrients, spread another 3 inches of topsoil and 3 inches of compost and rototill (minimum tilling depth 8 inches at all times).
- The compost must meet all applicable state and federal chemical contaminant and pathogen limit standards pertaining to the feedstocks in which it is derived. Very coarse compost should be avoided due to associated problems with seeding and establishment of vegetation. The final bulk density of the amended topsoil should be less than 1.5 g / Cu. CM (93.6 LBS/Cu. Ft.).
- Seed or landscape the SRA so the final surface is a grassy or landscaped area that consists of a pervious surface which allows runoff to infiltrate. The most favorable planting times are spring thaw through June 30 and September 1 through soil "freeze-up" seeding can be accomplished through a variety of methods (no-till seeder, broadcast seeder, hand broadcasting, etc. Seed quality is critical and a seed mix should be used with a minimum percentage of non-seed plants. It is recommended that a nurse crop (such as annual rye) be planted for quick vegetation establishment in order to help prevent seed and soil loss.

INSPECTION AND MAINTENANCE FOR SOIL RESTORATION AREAS AND OTHER GRASS/LAWN SURFACES

These areas shall be maintained as a grass area or a landscaped area that consists of a pervious surface which allows runoff to infiltrate. Any impervious surfaces (gravel, concrete, paving, buildings, etc) are prohibited in these areas as is any activities which would unnecessarily compact these areas.

Vegetation in these areas shall be inspected twice per year for proper growth, preferably in May and September. Vegetated areas should be maintained at a minimum of 95% coverage. If vegetative coverage does not meet this requirement, then the area shall be promptly reseeded. Areas which show signs of erosion at any time shall be graded, reseeded, and re-mulched as soon as possible. Sod shall be utilized in areas where erosion is a persistent problem and where seeding does not appear to be properly stabilizing an area.

Minimize the compaction of these areas by reducing frequency of mowing and by prohibiting any vehicular traffic.

Mow only as appropriate for vegetative cover species and as few times per year as feasible to meet municipal regulations. Bagging grass clippings is not necessary to maintain lawn. Leaving grass clippings on the lawn after mowing ensures that nutrients will be returned to the soil. Grass clippings are 20-30% protein, and usually contain about 4% nitrogen, 2% potassium and 0.5% phosphorus as well as all the necessary trace elements plants need. When leaving clippings on the lawn, adjust lawn mower to remove no more than one third (1/3) of the grass leaf surface at any one mowing, any mower can be used, but one that mulches as it cuts is best. If grass clippings are collected, they must be recycled or composted in accordance with current DEP guidelines.

All inspections, repairs, replacements, and maintenance activities shall be documented in the written inspection/maintenance report described elsewhere on this sheet.

LEGEND

F.F.E.	Finish Floor Elevation
EX.	Existing
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
R/W	Right-Of-Way
---	Contour Line
---	Soils Line
---	Utility Pole
---	Stormwater Pipe
---	Stormwater Inlet
---	Water Main
⊗	Water Valve
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⊗	Fire Hydrant
---	Sanitary Sewer Main
⊙	Sanitary Sewer Manhole
⊙	Clean Out
⊗	Gas Valve
---	Gas Line
⊙	Sign

FINAL SUBDIVISION PLAN FOR GANDY MANOR & FINAL LAND DEVELOPMENT PLAN FOR GANDY MANOR PHASE 2 (PROPOSED GRADING PLAN)



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Date	AUGUST 14, 2020
Scale	1" = 15'
File No.	05039
Drawing Name	05039-LD6
Drawn By	J.B.M
Checked By	M.L.W.
Sheet No.	LD6

PLAN REVISIONS	REVISIONS	DATE
	No.	