

Cumberland County Subdivision and Land Development Review Report

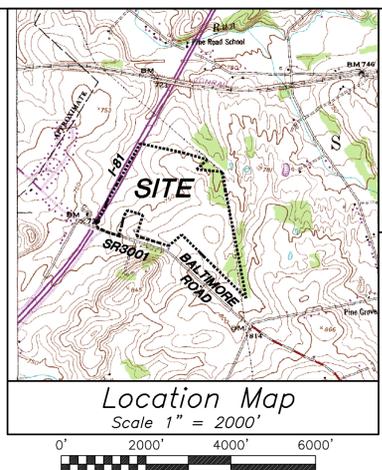
Municipality:	<u>Southampton</u>	Surveyor/ Engineer:	<u>Curfman & Zullinger Surveying, Inc.</u>	Owner/ Developer:	<u>Darrin Rine</u>
Plat Title:	<u>Southwood Crossing Parcel E Phase 4</u>				
Plat Status:	<u>Final</u>	Plat Type:	<u>Subdivision and Land Development</u>		
# of New Lots:	<u>28</u>	# of New Dwelling Units:	<u>28</u>	New Acreage Subdivided/Developed:	<u>13</u>
				Total Tract Acreage:	<u>99</u>
Zoning District:	<u>Village Center</u>	Proposed Land Use:	<u>Residential</u>		
Date Received:	<u>8/25/2020</u>	County Review:	<u>9/4/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u></u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. Clear sight triangles should be shown at each of the proposed driveways (SLDO 401.5.b & 401.16).
2. The required and provided sight distances should be shown at the proposed street intersection (SLDO 401.7).
3. The Township should consider requiring sidewalks (SLDO 506).
4. The dimensional Zoning Ordinance requirements and proof of compliance should be shown on the Cover Sheet (Zoning 7.05).
5. The Township should verify the side yard setbacks shown on the individual lots. It appears that a side yard setback of 10 feet is shown. The required side yard setback is 15 feet (Zoning 7.05).
6. The Pennsylvania Electric Company right-of-way traverses through lots E8, E9, and E10. It is recommended that a note regarding this right-of-way be added to the deed for these properties.
7. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

ADJOINERS		ADJOINERS	
A--DANN S. ASPER DB 20080130 PB 200743149 PARCEL A & B-2	AA--DANN S. ASPER DB 201219135 PB 89-60, LOT H11	BB--CLYDE W. TINNER, JR. DB 273-1482 PB 89-60, LOT H-12	BB--CLYDE W. TINNER, JR. DB 273-1482 PB 89-60, LOT H-12
B--GREGORY E. MELLOTT DB 264-244 PB 36-96, LOT 7	CC--MICHAEL D. MCBROOM DB 201212940 PB 89-60, LOT H-13	DD--NATE C. KUNKLE DB 201230360 PB 89-60, LOT H-14	DD--NATE C. KUNKLE DB 201230360 PB 89-60, LOT H-14
C--JOHN M. BYERS DB 200135302 PB 36-96, LOT 6	EE--GERRE K. KELLY DB 265-396 PB 89-60, LOT H-15	FF--LORETTA L. RINE DB 267-1448 PB 89-60, LOT H-16	FF--LORETTA L. RINE DB 267-1448 PB 89-60, LOT H-16
D--LINDSAY K. HORST DB 248-4715 PB 23-W-87, LOT 4	GG--STEPHEN R. KAUFFMAN DB 206-2659 PB 80-60, LOT H-17	HH--WILLIAM J. DUBBS DB 280-1112 PB 89-60, LOT H-19	HH--WILLIAM J. DUBBS DB 280-1112 PB 89-60, LOT H-19
E--MITZI K. VARNER DB 201109561 PB 67-90, LOT 3 & 3A	II--JAMES L. CRAIG DB 201101669 PB 201032764, LOT 4	JJ--SCOTT S. BERMAN DB 194-145	JJ--SCOTT S. BERMAN DB 194-145
F--LINDA R. HAMMOND DB 201004165 PB 67-90, LOT 1 & 1A	KK--NORMAN N. MARTIN DB 201240653		
G--THERESA A. LAWRENCE DB 133-879 PB 58-105, LOT 1			
H--GERALD L. HEICHEL, JR. DB 270-1005 PB 84-14, LOT 3			
I--RONALD S. MCCULLOUGH DB 201019183 PB 84-14, LOT 4			
J--CHRISTOPHER D. CLOUGH DB 200937181 PB 84-14, LOT 5			
K--CHRISTOPHER S. KEYES DB 201304172 PB 84-14, LOT 6			
L--SCOTT J. ECKENRODE DB 201352882 PB 84-14, LOT 7			
M--SCOTT M. MATLOCK DB 200730137 PB 84-14, LOT 8			
N--JAMES MAURICE MAHAN DB 267-1766 PB 84-14, LOT 9			
O--KEVIN L. HOCK DB 201015128 PB 84-14, LOT 10			
P--DAVID JOHN OSTLUND DB 201033445 PB 84-14, LOT 10A			
Q--ROBERT A. AIKEY II DB 276-1276 PB 84-14, LOT 11			
R--ROBERT BUCHTER DB 268-522 PB 84-14, LOT 11A			
S--RICHARD CLINE DB 273-4886 PB 84-14, LOT 12 & 13			
T--CUMBERLAND - FRANKLIN JOINT MUNICIPAL AUTHORITY DB 255-1047 PB 84-14, LOT 13A			
U--ROBERT M. CRESSLER DB 200842887 PB 84-14, LOT 14			
V--BRYAN G. COY DB 200908980 PB 84-14, LOT 15			
W--MATTHEW J. JONES DB 200809335 PB 84-14, LOT 16			
X--TIMOTHY R. WRIGHT DB 201338486 PB 84-14, LOT 17			
Y--DANIEL F. LEMONS DB 263-3401 PB 84-14, LOT 18			
Z--MAGNOLIA SOUTHWOOD HOLDINGS, LLC DB 201400687 PB 89-60, LOT H-10			



FINAL SUBDIVISION OF LAND FOR SOUTHWOOD CROSSING (PARCEL "E") (PHASE 4)

Reviewed by the Cumberland Co. Planning Department this _____ day of _____, _____

Director of Planning _____

Approval recommended by the Southampton Township Planning Committee on this _____ day of _____, _____

Chairperson _____

Secretary _____

WAIVER REQUEST	APPROVED	DISAPPROVED	DATE

Waiver of Plan Size SECTION 307

I, _____, being duly sworn, according to law, depose that I am a representative for the owner of record of the lands shown herein being considered for subdivision approval, and I acknowledge the same to be our plan, and desire the same to be recorded as such according to law, and hereby dedicate all right-of-ways as shown to be dedicated.

Darrin G. Rine
President of Rine Land Development

AFFIDAVIT:
Commonwealth of Pennsylvania; } SS:
County of Franklin

Sworn and subscribed to me this _____ day of August, 2020.

Notary Public

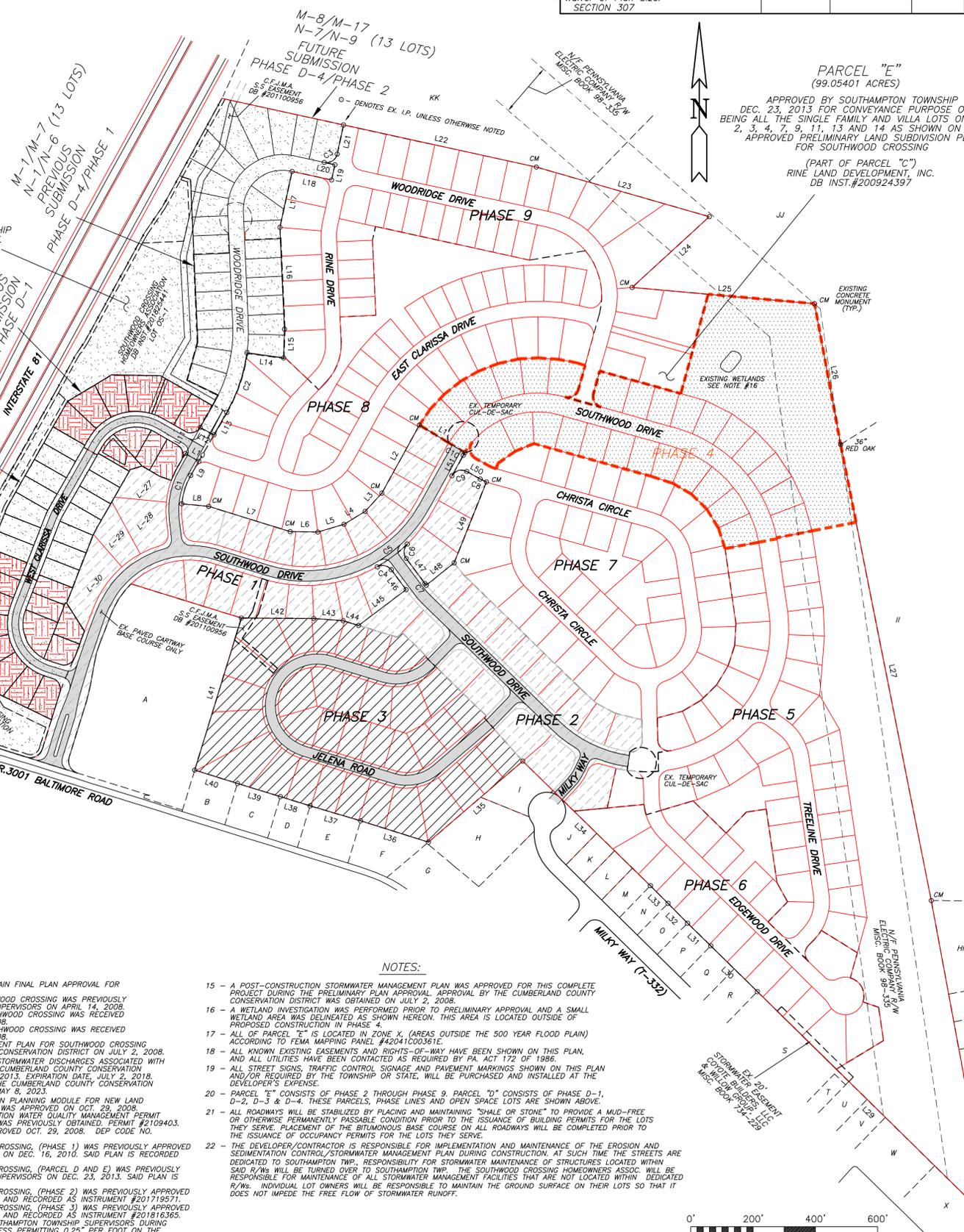


Curfman & Zullinger
Surveying Inc.
Subdivision & Stake out
566 Lincoln Way East
Chambersburg, PA 17201
Phone (717)-861-0749
Fax (717)-861-1705

PARCEL "D"
(21.98485 ACRES)

SHADED AREA APPROVED BY SOUTHAMPTON TOWNSHIP DEC. 23, 2013 FOR CONVEYANCE PURPOSE ONLY. BEING ALL THE TOWNHOUSE LOTS ON PHASE 5, 6, 8, 10, AND 12 AS SHOWN ON THE APPROVED PRELIMINARY LAND SUBDIVISION PLAN FOR SOUTHWOOD CROSSING

DRINE, LLC
DB INST.#201706321
PB INST.#201340320



PARCEL "E"
(99.05401 ACRES)

APPROVED BY SOUTHAMPTON TOWNSHIP DEC. 23, 2013 FOR CONVEYANCE PURPOSE ONLY. BEING ALL THE SINGLE FAMILY AND VILLA LOTS ON PHASE 2, 3, 4, 7, 9, 11, 13 AND 14 AS SHOWN ON THE APPROVED PRELIMINARY LAND SUBDIVISION PLAN FOR SOUTHWOOD CROSSING

(PART OF PARCEL "C")
RINE LAND DEVELOPMENT, INC.
DB INST.#200924397

SITE DATA (PREVIOUS SUBMISSIONS)

ORIGINAL TRACT: PARCEL "C" PB INST.#200919087
PARCEL "C" AREA: 131.86700 AC.

LOTS PREVIOUSLY SUBDIVIDED: PHASE 1, 27 RESIDENTIAL LOTS FOR SINGLE-FAMILY DETACHED DWELLINGS (PART OF PARCEL "C") PB INST.#201037694
PHASE 1 AREA PREVIOUSLY SUBDIVIDED: 10.83 AC.
EXISTING LAND USE: RESIDENTIAL
ZONING: VILLAGE CENTER DISTRICT
PUBLIC WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY
PUBLIC SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PARCEL PREVIOUSLY SUBDIVIDED: PARCEL "D" PB INST.#201340320
PARCEL "D" AREA PREVIOUSLY SUBDIVIDED: 21.98485 AC.
EXISTING LAND USE: AGRICULTURAL
PROPOSED LAND USE: AGRICULTURAL
ZONING: VILLAGE CENTER DISTRICT
WATER SUPPLY: NONE PROPOSED, AVAILABLE FROM SHIPPENSBURG BOROUGH AUTHORITY
SEWER DISPOSAL: NONE PROPOSED, AVAILABLE FROM CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PARCEL PREVIOUSLY SUBDIVIDED: PARCEL "E" PB INST.#201340320
PARCEL "E" AREA PREVIOUSLY SUBDIVIDED: 99.0540 AC.
EXISTING LAND USE: AGRICULTURAL
PROPOSED LAND USE: AGRICULTURAL
ZONING: VILLAGE CENTER DISTRICT
WATER SUPPLY: NONE PROPOSED, AVAILABLE FROM SHIPPENSBURG BOROUGH AUTHORITY
SEWER DISPOSAL: NONE PROPOSED, AVAILABLE FROM CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

LOTS PREVIOUSLY SUBDIVIDED: PHASE 2, 17 RESIDENTIAL LOTS FOR SINGLE-FAMILY DETACHED DWELLINGS (PART OF PARCEL "E") PB INST.#201719571
PHASE 2 AREA PREVIOUSLY SUBDIVIDED: 6.2 AC.
EXISTING LAND USE: RESIDENTIAL
ZONING: VILLAGE CENTER DISTRICT
PUBLIC WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY
PUBLIC SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

LOTS PREVIOUSLY SUBDIVIDED: PHASE 3, 34 RESIDENTIAL LOTS FOR SINGLE-FAMILY DETACHED DWELLINGS (PART OF PARCEL "E") PB INST.#201816365
PHASE 3 AREA PREVIOUSLY SUBDIVIDED: 11.24 AC.
EXISTING LAND USE: RESIDENTIAL
ZONING: VILLAGE CENTER DISTRICT
PUBLIC WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY
PUBLIC SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

SITE DATA (THIS SUBMISSION)

NUMBER OF PARENT PARCELS: 1, (PARCEL "E")
AREA OF PARENT PARCEL: 99.0540 AC.
LOTS PROPOSED BY THIS PLAN: 28 RESIDENTIAL LOTS FOR SINGLE-FAMILY DETACHED DWELLINGS (PHASE 4)

TOTAL AREA SUBDIVIDED BY THIS PLAN: 13.0 AC.
EXISTING LAND USE: AGRICULTURAL
PROPOSED LAND USE: RESIDENTIAL
ZONING: VILLAGE CENTER DISTRICT
PUBLIC WATER PROVIDER: SHIPPENSBURG BOROUGH AUTHORITY
PUBLIC SEWER PROVIDER: CUMBERLAND-FRANKLIN JOINT MUNICIPAL AUTHORITY

PARCEL "E"

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	225.00'	95.94'	95.21'	N 17°39'36" E	24°25'47"	48.71'
C2	525.00'	202.06'	200.81'	N 18°50'58" E	22°03'05"	102.29'
C3	35.00'	54.98'	49.50'	N 57°13'25" E	90°00'00"	35.00'
C4	35.00'	50.41'	46.17'	N 78°05'56" W	82°31'49"	30.71'
C5	465.00'	121.24'	120.90'	N 53°09'00" E	14°56'21"	60.97'
C6	35.00'	50.41'	46.17'	S 04°24'56" W	82°31'49"	30.71'
C7	270.00'	7.07'	7.07'	S 37°36'00" E	01°30'00"	3.53'
C8	175.00'	21.84'	21.82'	N 64°34'30" W	07°09'00"	10.93'
C9	35.00'	54.98'	49.50'	S 74°00'00" W	90°00'00"	35.00'
C10	270.00'	10.13'	10.13'	N 30°04'30" E	02°09'00"	5.07'

NOTES:

- THE PURPOSE OF THIS SUBMISSION IS TO OBTAIN FINAL PLAN APPROVAL FOR PHASE 4 OF SOUTHWOOD CROSSING.
- A PRELIMINARY SUBDIVISION PLAN FOR SOUTHWOOD CROSSING WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS ON APRIL 14, 2008.
- AN OVERALL SANITARY SEWER PLAN FOR SOUTHWOOD CROSSING WAS RECEIVED BY SOUTHAMPTON TOWNSHIP ON APRIL 18, 2008.
- AN OVERALL DOMESTIC WATER PLAN FOR SOUTHWOOD CROSSING WAS RECEIVED BY SOUTHAMPTON TOWNSHIP ON APRIL 24, 2008.
- A POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR SOUTHWOOD CROSSING WAS APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT ON JULY 2, 2008.
- NPDES PERMIT #PA02-0021-08-018 FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES WAS ISSUED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT ON JULY 2, 2008. RENEWAL DATE, JULY 2, 2013. EXPIRATION DATE, JULY 2, 2018. NPDES PERMIT #PA0210074 WAS ISSUED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT ON MAY 9, 2018. EXPIRATION DATE, MAY 8, 2023.
- PA DEPARTMENT OF ENVIRONMENTAL PROTECTION PLANNING MODULE FOR NEW LAND DEVELOPMENT, DEP CODE #A3-21928-376-3, WAS APPROVED ON OCT. 29, 2008.
- A PA DEPARTMENT OF ENVIRONMENTAL PROTECTION WATER QUALITY MANAGEMENT PERMIT FOR SEWER EXTENSIONS AND PUMP STATIONS WAS PREVIOUSLY OBTAINED. PERMIT #2109403. THE DEP SEWER PLANNING MODULE WAS APPROVED OCT. 29, 2008. DEP CODE NO. #21928-376-3.
- A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 1) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS ON DEC. 16, 2010. SAID PLAN IS RECORDED AS INSTRUMENT #201037694.
- A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 2) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS ON DEC. 23, 2013. SAID PLAN IS RECORDED AS INSTRUMENT #201340320.
- A FINAL SUBDIVISION PLAN FOR SOUTHWOOD CROSSING, (PHASE 3) WAS PREVIOUSLY APPROVED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS AND RECORDED AS INSTRUMENT #201816365.
- A WAIVER REQUEST WAS GRANTED BY THE SOUTHAMPTON TOWNSHIP SUPERVISORS DURING THE PRELIMINARY SUBDIVISION APPROVAL PROCESS PERMITTING 0.25' PER FOOT ON THE STREET SHOULDERS.
- A POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN WAS APPROVED FOR THIS COMPLETE PROJECT DURING THE PRELIMINARY PLAN APPROVAL BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT WAS OBTAINED ON JULY 2, 2008.
- A WETLAND INVESTIGATION WAS PERFORMED PRIOR TO PRELIMINARY APPROVAL AND A SMALL WETLAND AREA WAS DELINEATED AS SHOWN HEREON. THIS AREA IS LOCATED OUTSIDE OF PROPOSED CONSTRUCTION IN PHASE 4.
- ALL OF PARCEL "E" IS LOCATED IN ZONE X, (AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN) ACCORDING TO FEMA MAPPING PANEL #42041C00361E.
- ALL KNOWN EXISTING EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN SHOWN ON THIS PLAN, AND ALL UTILITIES HAVE BEEN CONTACTED AS REQUIRED BY PA ACT 172 OF 1986.
- ALL STREET SIGNS, TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS SHOWN ON THIS PLAN AND/OR REQUIRED BY THE TOWNSHIP OR STATE, WILL BE PURCHASED AND INSTALLED AT THE DEVELOPER'S EXPENSE.
- PARCEL "E" CONSISTS OF PHASE 2 THROUGH PHASE 9. PARCEL "D" CONSISTS OF PHASE D-1, D-2, D-3 & D-4. THESE PARCELS, PHASE LINES AND OPEN SPACE LOTS ARE SHOWN ABOVE.
- ALL ROADWAYS WILL BE STABILIZED BY PLACING AND MAINTAINING "SHALE OR STONE" TO PROVIDE A MUD-FREE OR OTHERWISE PERMANENTLY PASSABLE CONDITION PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THE LOTS THEY SERVE. PLACEMENT OF THE BITUMINOUS BASE COURSE ON ALL ROADWAYS WILL BE COMPLETED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS FOR THE LOTS THEY SERVE.
- THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENTATION CONTROL/STORMWATER MANAGEMENT PLAN DURING CONSTRUCTION. AT SUCH TIME THE STREETS ARE DEDICATED TO SOUTHAMPTON TWP, RESPONSIBILITY FOR STORMWATER MAINTENANCE OF STRUCTURES LOCATED WITHIN SAID R/W'S WILL BE TURNED OVER TO SOUTHAMPTON TWP. THE SOUTHWOOD CROSSING HOMEOWNERS ASSOC. WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES THAT ARE NOT LOCATED WITHIN DEDICATED R/W'S. INDIVIDUAL LOT OWNERS WILL BE RESPONSIBLE TO MAINTAIN THE GROUND SURFACE ON THEIR LOTS SO THAT IT DOES NOT IMPEDE THE FREE FLOW OF STORMWATER RUNOFF.

STOP - CALL BEFORE YOU DIG

**PENNSYLVANIA LAW REQUIRES
THREE WORKING DAYS NOTICE**

Pennsylvania One Call System, Inc.
1-800-242-1776

NOTE: IN ACCORDANCE WITH ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF 2008, 73 P.S. 176 et. seq., GIVEN TO THE ONE CALL SYSTEM NOT LESS THAN THREE DAYS NOR MORE THAN TEN WORKING DAYS IN ADVANCE OF ANY EXCAVATION OR DEMOLITION WORK.
DESIGN STAGE SERIAL #3226564-000

OWNERSHIP REFERENCE:
CUMBERLAND CO. TAX PARCEL 39-13-0102-274
CUMBERLAND CO. DB INST. #200924397, PARCEL C
CUMBERLAND CO. PB INST. #201340320, PARCEL E

SHEET 1 OF 12 SHEETS
 COVER SHEET FOR SOUTHWOOD CROSSING PARCEL E (FINAL PHASE 4)
 SOUTHAMPTON TOWNSHIP, PENNSYLVANIA
 CUMBERLAND COUNTY, PENNSYLVANIA
 (OWNER/DEVELOPER)
RINE LAND DEVELOPMENT, INC.
 CONTACT PERSON
 DARRIN G. RINE
 106 SOUTH CONESTOGA DRIVE
 SHIPPENSBURG, PA 17257
 (717)-532-3810

Legend

- C - Centerline
- R/W - Right of Way
- N/F - Now or Formerly
- Ex. - Existing
- I.P. - Iron Pin
- N/W - Nail & Washer
- Spk. - Railroad Spike
- Pl. - Point
- P.O.L. - Pin on Line
- D.H. - Drill Hole
- C1 - Curve Data Reference
- L1 - Line Data Reference
- B.M. - Benchmark
- T.B.M. - Temporary Benchmark
- S.S. - Sanitary Sewer Main
- ss - Sewer Service Line
- C.O. - S.S. Cleanout
- W - Water Main
- w - Water Service Line
- C - Gas Line
- CM - Concrete Monument

- GENERAL WATER NOTES:**
- 1 - DESIGN, MATERIALS, CONSTRUCTION, TESTING, CLEANING, AND DISINFECTION OF ALL WATER FACILITIES SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE SHIPPENSBURG BOROUGH AUTHORITY AND THE MOST RECENT EDITION OF THE AWWA MANUALS.
 - 2 - ALL FITTINGS SHALL BE RESTRAINED BY THRUST BLOCKS AND RESTRAINED JOINTS. ALL JOINTS WITHIN THE FIRST 100 FEET FROM ANY VALVE OR FITTING SHALL BE PROVIDED WITH AN APPROVED RESTRAINING DEVICE.
 - 3 - THE CONTRACTOR SHALL NOTIFY THE SHIPPENSBURG AUTHORITY A MINIMUM OF 48 HOURS PRIOR TO INITIATING THE WATER FACILITIES WORK. A PRECONSTRUCTION MEETING WITH THE AUTHORITY IS REQUIRED PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWING SUBMITTALS FOR ALL PROPOSED WATER SYSTEM MATERIALS SHALL BE SUBMITTED TO THE AUTHORITY FOR ACCEPTANCE PRIOR TO INSTALLATION.
 - 4 - WATER AND SEWER LINES MUST MAINTAIN A MINIMUM HORIZONTAL SEPERATION OF 10'; OTHERWISE A VERTICAL SEPERATION OF 18" SHALL BE PROVIDED. IF NEITHER IS POSSIBLE, THEN A 6" CONCRETE ENCASUREMENT SHALL BE PROVIDED FOR THE SEWER LINE. A MINIMUM VERTICAL SEPERATION OF 18" SHALL BE MAINTAINED BETWEEN ALL WATER AND SEWER CROSSINGS. IF THIS CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASUREMENT SHALL BE PROVIDED.
 - 5 - SEE OTHER UTILITY NOTES AND INFORMATION ON SHEET 10.

- GENERAL SEWER NOTES:**
- 1 - SANITARY SEWER INSTALLATION MUST CONFORM TO THE CURRENT C.F.J.M.A. RULES AND REGULATIONS.
 - 2 - THIS PLAN PROPOSES THE INSTALLATION OF CAPPED SEWER STUBS EXTENDING FROM MANHOLE C-17A-29 & C-17A-30. THE STUBS MUST BE A MINIMUM OF 10' IN LENGTH AND INSTALLED AT THE SLOPE OF THE FUTURE SEWER MAIN.
 - 3 - PROPOSED SANITARY SEWER MANHOLES ARE TO BE INSTALLED WITH A FINAL ELEVATION EQUAL TO, OR SLIGHTLY HIGHER THAN, FINAL GRADING. IN NO CASE SHALL THE MANHOLE FRAME/COVER BE INSTALLED BELOW FINAL GRADE.
 - 4 - PROPOSED SEWER MAIN PIPING SHALL BE SDR 35 WITH COMPRESSION GASKET JOINTS AS WAS UTILIZED IN THE PREVIOUS PHASES SOUTHWOOD CROSSING.
 - 5 - A HORIZONTAL SEPERATION OF AT LEAST (3) FEET MUST BE PROVIDED BETWEEN SEWER AND WATER SERVICE LINES.
 - 6 - INSTALLATION OF "3M ELECTRONIC MARKERS (PART#1404-XR4) ARE REQUIRED AT ALL LATERAL WYES AND LATERAL STUBS. ALSO AT THE END OF THE CAPPED MAIN LINE STUBS EXTENDING FROM MANHOLE C-17A-29 & C-17A-30.
 - 7 - SEE OTHER UTILITY NOTES AND INFORMATION ON SHEET 8.

UTILITY INSTALLATION

PROPOSED FIRE HYDRANT INSTALLATION

PHASE	FIRE HYDRANT	OFFSET DISTANCE
PHASE 4	STA. 34+54	13' FROM WATER MAIN
PHASE 4	STA. 41+00	13' FROM WATER MAIN

PROPOSED WATER INSTALLATION

PHASE	WATER MAIN	SERVICE LINES
PHASE 4	STA. 31+74 TO STA. 42+25	LOTS B14 THROUGH B17 LOTS D2 THROUGH D12 LOTS E1 THROUGH E10
		LOTS B12, B13 & D1 INSTALLED IN PHASE 1

PROPOSED SEWER INSTALLATION

PHASE	SEWER MAIN	SEWER LATERALS
PHASE 4	EX. M.H. C-17A-24 TO M.H. C-17A-30	LOTS B14 THROUGH B17 LOTS D2 THROUGH D12 LOTS E1 THROUGH E10
		LOTS B12, B13 & D1 INSTALLED IN PHASE 1



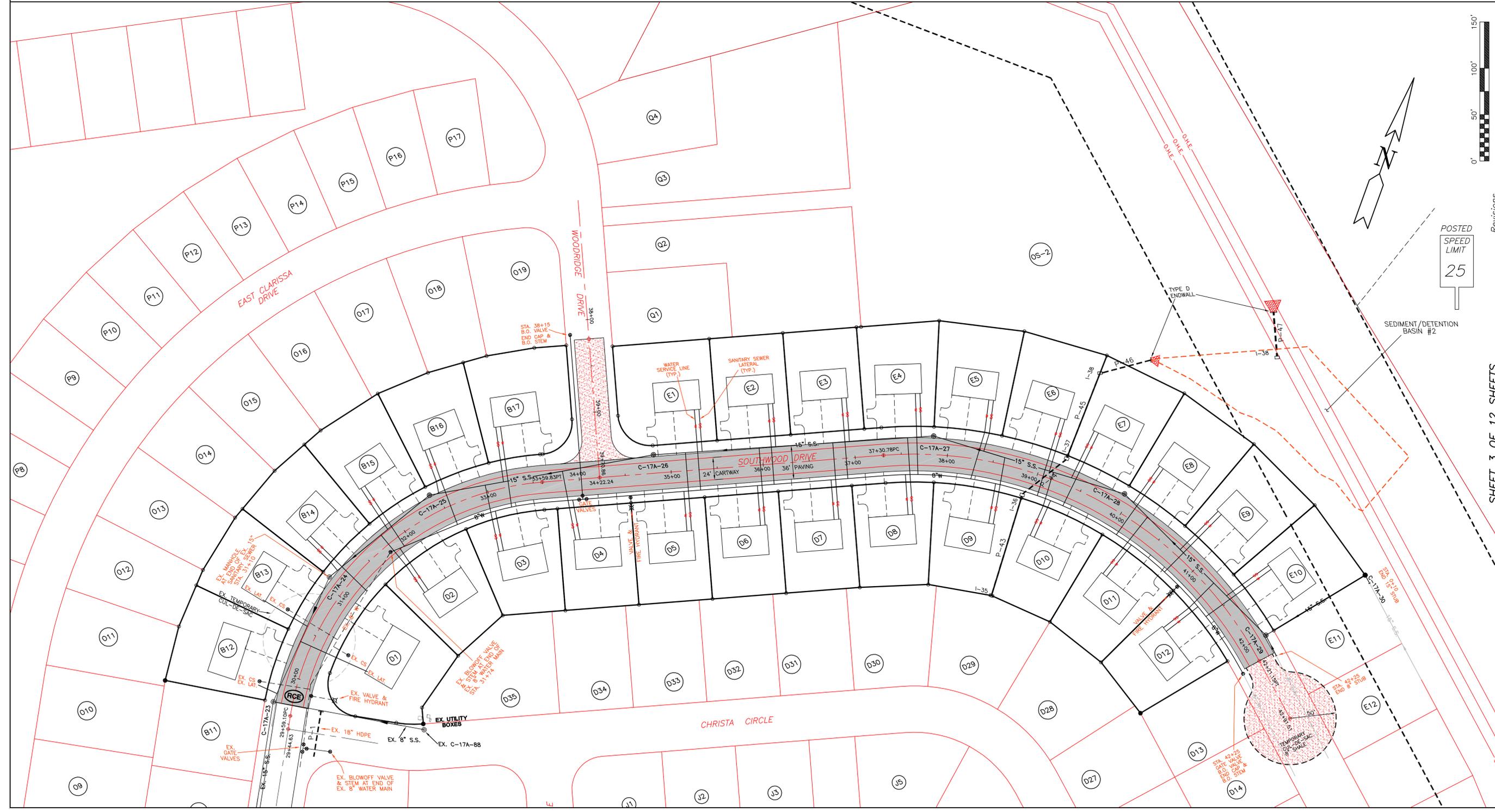
Curfman & Zullinger
Surveying Inc.
Surveying & Subdivision & Stake out
566 Lincoln Way East
Chambersburg, PA 17201
Phone (717-261-0749)
Fax (717-261-1705)

Scale: 1"=50'

#	Date	Drawn	Computed	Checked	File No.
#5	8-3-2020	JAM	JAM	JAM	2034-70
#2					
#1					

ALL SERVICE LATERALS AND LEADS WHICH CROSS THE CARTWAY SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF THE CARTWAY AND BACKFILLED WITH 2-A STONE OR ITS EQUIVALENT TO THE TOP OF THE SUBGRADE, AND MECHANICALLY TAMPED AT 8" INTERVALS.

ALL SEWER MAINLINES, LATERALS AND MANHOLES ARE SUBJECT TO INSPECTION AND TESTING FROM C.F.J.M.A. AS-BUILT PLANS WILL BE REQUIRED FOR APPROVAL, PRIOR TO ANY DWELLING CONNECTIONS.



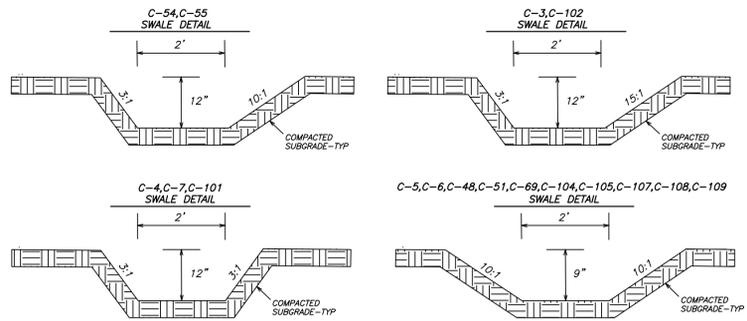
SHEET 3 OF 12 SHEETS

UTILITY/SITE PLAN
FOR
SOUTHWOOD CROSSING
PARCEL E
(FINAL PHASE 4)
SITING IN
SOUTHAMPTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

RINE LAND DEVELOPMENT, INC.
(OWNER/DEVELOPER)

Legend

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- W - Water Main
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- G - Gas Line
- CM - Concrete Monument



PHASE 4 EROSION & SEDIMENTATION SEQUENCE OF OPERATION

- 1 - A SITE MEETING WITH THE CUMBERLAND COUNTY CONSERVATION DISTRICT TO COORDINATE EARTH MOVING ACTIVITY MUST BE SCHEDULED SEVEN DAYS PRIOR TO ANY EARTH MOVING ACTIVITY.
- 2 - FIELD MARK THE LIMIT OF DISTURBANCE.
- 3 - INSTALL THE ROCK CONSTRUCTION ENTRANCE BEYOND THE END OF THE EXISTING PAVING AT THE BEGINNING OF PHASE 4 AS SHOWN HEREON.
- 4 - INSTALL COMPOST FILTER SOCK ALONG THE LOW SIDES OF PHASE 4 AND THE PROPOSED STOCKPILE AREAS.
- 5 - INSTALL TEMPORARY ROCK FILTER #1, #2 AND #3 AS SHOWN HEREON.
- 6 - EXCAVATE SEDIMENT/RETENTION BASIN #2 AT THE LOCATION AND ACCORDING TO THE DETAILS SHOWN HEREON. THE BASIN SHALL BE BUILT TO TEMPORARY SEDIMENT BASIN SPECIFICATIONS. PLACE THE OUTLET STRUCTURE AND P-47 AT THE LOCATION AND ACCORDING TO THE DETAIL SHOWN HEREON. THE OUTLET STRUCTURE SHALL BE MODIFIED TO TEMPORARY SEDIMENT BASIN SPECIFICATIONS. CUT IN SPILLWAY TO TEMPORARY SEDIMENT BASIN SPECIFICATIONS. CARE SHALL BE TAKEN DURING THE EXCAVATION OF THE SEDIMENT BASIN TO REDUCE COMPACTION IN THE BASIN BOTTOM. A LICENSED DESIGN PROFESSIONAL SHALL INSPECT THE BASIN INSTALLATION.
- 7 - STRIP TOPSOIL AND GRADE STREETS AND TEMPORARY CUL-DE-SAC.
- 8 - CONTINUE TO STRIP TOPSOIL AND GRADE SITE WITH BUILDING PADS ACCORDING TO PLAN. REPLACE TOPSOIL AND SEED IMMEDIATELY, EXCLUDING BUILDING PADS.
- 9 - INSTALL STORMWATER INLETS AND PIPING AND GRADE AS SHOWN HEREON. UTILIZE ROCK FILTERS AT EACH INLET.
- 10 - INSTALL SEWER MAIN AND SEWER LATERALS IN PHASE 4 ACCORDING TO C.F.J.M.A. CURRENT STANDARDS. (M.H. C-17A-25, 26, 27, 28, 29 AND 30.)
- 11 - INSTALL WATER MAIN AND WATER LATERALS IN PHASE 4 ACCORDING TO SHIPPENSBURG BOROUGH AUTHORITY CURRENT STANDARDS. (SOUTHWOOD DRIVE AND WOODRIDGE DRIVE)
- 12 - GRADE ROAD SIDE SWALES WITHIN PHASE 4. AFTER COMPLETION OF GRADING, REPLACE TOPSOIL AND SEED IMMEDIATELY.
- 13 - DO NOT REMOVE ANY BMP'S UNTIL A MINIMUM OF 70% PERENNIAL VEGETATIVE COVER IS ESTABLISHED IN THE DISTURBED DRAINAGE SHED.

Inlet Table

Type	Inlet #	Top	Inv.	Inv. In	Inv. Out	Bottom
TYPE D	ENDWALL	745.00	742.00			
TYPE M	I-39	749.00		745.50	743.00	741.00
TYPE D	ENDWALL	752.50	749.00			
TYPE M	I-38	759.75		750.50	750.50	748.50
TYPE M	I-37	757.50		754.40	754.40	752.40
TYPE M	I-36	757.50		754.75	754.75	752.75
TYPE M	I-35	759.00		754.00	754.00	754.00

Pipe Table

Pipe #	Size	Type	Length	Inv. In	Inv. Out
P-43	18"	HDPE	112'	756.00	754.75
P-44	18"	RCE	61'	754.75	754.40
P-45	18"	HDPE	95'	754.40	750.50
P-46	18"	HDPE	56'	750.50	749.00
P-47	24"	HDPE	49'	743.00	742.00
EX. P-1	18"	RCE	49.4'	749.4	748.6

GRASS COVER WITH TEMPORARY EROSION BLANKET

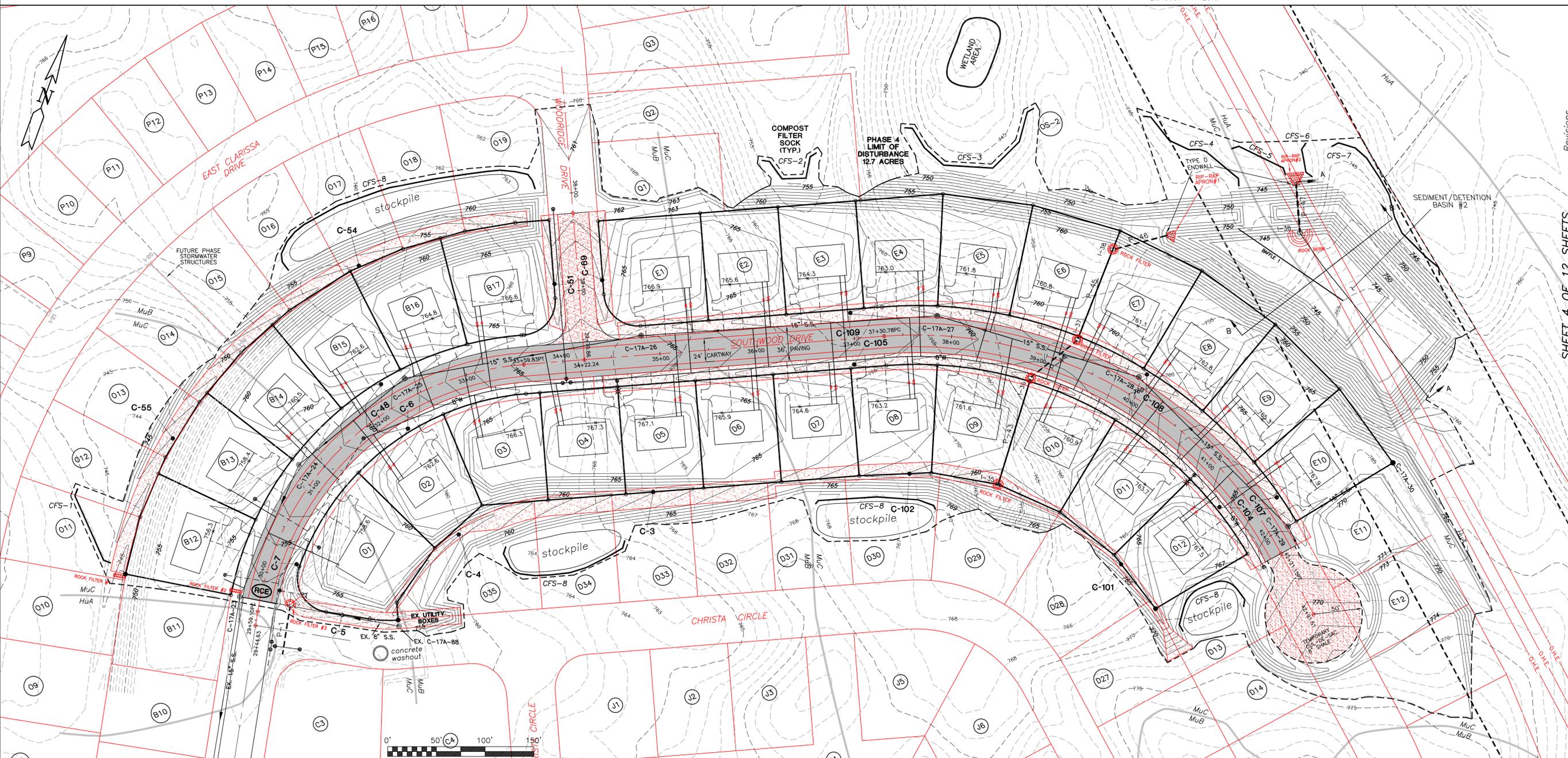
LOCATION	SWALE #	W	D min.	SIDE SLOPES	LENGTH	LOCATION	SWALE #	W	D min.	SIDE SLOPES	LENGTH
REAR D31-D35	C-3	2'	1.00'	3:1 15:1	292'	SIDE E1	C-69	2'	0.75'	10:1	112'
REAR D35	C-4	2'	1.00'	3:1	159'	REAR D10-D12	C-101	2'	1.00'	3:1	226'
SIDE D1	C-5	2'	0.75'	10:1	44'	REAR D7-D9	C-102	2'	1.00'	3:1 15:1	228'
FRONT D1-D4	C-6	2'	0.75'	10:1	352'	FRONT D10-D14	C-104	2'	0.75'	10:1	465'
FRONT D1	C-7	2'	1.00'	3:1	40'	FRONT D4-D9	C-105	2'	0.75'	10:1	438'
FRONT B12-B17	C-48	2'	0.75'	10:1	428'	FRONT E8-E12	C-107	2'	0.75'	10:1	360'
SIDE B17	C-51	2'	0.75'	10:1	112'	FRONT E7 & E8	C-108	2'	0.75'	10:1	120'
REAR B14-B17	C-54	2'	1.00'	3:1 10:1	328'	FRONT E1-E6	C-109	2'	0.75'	10:1	476'
REAR B12-B14	C-55	2'	1.00'	3:1 10:1	238'						

Sediment Basin Conversion Sequence

1. Basin shall be converted during the growing season. If it is converted outside of the growing season it may need to be watered until the vegetation germinates.
2. Completely dewater the basin by using a pumped water filter bag. The filter bag shall be placed on a stabilized surface and discharge to a well vegetated surface.
3. Remove all of the sediment from the basin. The basin shall be over excavated to final grade. Care shall be taken to reduce compaction to the basin bottom.
4. The temporary cover of the outlet structures shall be removed and outlet structures shall be brought to PCSM specifications as detailed on this plan. The emergency spillway shall be brought to PCSM specifications as detailed on this plan.
5. Stabilize the basins by following the stabilization specifications shown hereon. A licensed design professional shall inspect the conversion.

ALL ROADWAYS WILL BE STABILIZED BY PLACING AND MAINTAINING "SHALE OR STONE" TO PROVIDE A MUD-FREE OR OTHERWISE PERMANENTLY PASSABLE CONDITION PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THE LOTS THEY SERVE. PLACEMENT OF THE BITUMINOUS BASE COURSE ON ALL ROADWAYS WILL BE COMPLETED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS FOR THE LOTS THEY SERVE.

TBM No. 1
Square cut on the southerly corner of the wing wall on the easterly end of the 60" RCP under I-81, located approximately 800 feet north of Baltimore Road (SR 3001).
Elevation = 720.07



Curfman & Zullinger
Surveying Inc.
Surveying & Subdivision A. Stake out
556 Lincoln Way East
Chambersburg, PA 17201
Phone (717-261-0749)
Fax (717-261-1705)

Scale 1"=50'
Date 8-3-2020
Drawn JAM
Computed JAM
Checked DRZ
File No. 2034-71

Revisions

#	Description
1	
2	
3	

GRADING/E&S PLAN
FOR
SOUTHWOOD CROSSING
PARCEL E
(FINAL PHASE 4)
SITING IN
SOUTHAMPTON TOWNSHIP
CUMBERLAND COUNTY, PENNSYLVANIA

RINE LAND DEVELOPMENT, INC.
(OWNER/DEVELOPER)

SHEET 4 OF 12 SHEETS