

Cumberland County Subdivision and Land Development Review Report

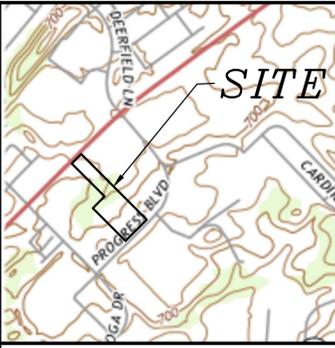
Municipality:	<u>Shippensburg Twp</u>	Surveyor/ Engineer:	<u>R. Lee Royer & Associates</u>	Owner/ Developer:	<u>BDR Real Estate Services, LLC</u>
Plat Title:	<u>All Boxed Up Self Storage</u>				
Plat Status:	<u>Preliminary/Final</u>	Plat Type:	<u>Land Development</u>		
# of New Lots:	<u> </u>	# of New Dwelling Units:	<u> </u>	New Acreage Subdivided/Developed:	<u> </u>
				Total Tract Acreage:	<u>6.397</u>
Zoning District:	<u>C-2</u>	Proposed Land Use:	<u>Commercial</u>		
Date Received:	<u>8/26/2020</u>	County Review:	<u>9/8/2020</u>	Reviewed by:	<u>SH</u>
				Checked by:	<u> </u>

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. All parking spaces should be located at least 6 feet from any building on the lot (Zoning 324.V.A.5.a).
2. A clear sight triangle should be provided at the proposed access drive (Zoning 324.V.C.3).
3. The Township should determine whether lighting should be provided. If applicable, a lighting plan should accompany the submission (Zoning 324.VII).
4. It appears that 16 parking spaces are provided. The Cover Sheet indicates that 17 spaces are required (Zoning 354.A.1).
5. The plan indicates that 380 units are proposed. Buildings 10-12 should show the layout of the proposed units. Are these units included in the parking calculations? (Zoning 354.A.1).
6. Four parking spaces must be provided adjacent to the office (Zoning 354.A.2).
7. The maximum building height requirement is 40 feet. The proposed building height is one story. The plan should indicate the proposed building height in feet to verify compliance (Zoning 1203.B).
8. Landscaping should be provided within any parking area that provides more than 10 parking spaces (SLDO 809.A.3). The plan should provide proof of compliance with this section.
9. The plan should include a dumpster and appropriate screening (SLDO 809.B.1.D).
10. The required and provided safe sight distance should be included on the plan (SLDO 810.A.3).
11. The 10 parking spaces located north of proposed Building 9 should be configured so that the spaces do not interfere with the access lane. The proposed northeast parking space should be aligned with the corner of the proposed fence.

12. It appears that there are 4 proposed units in Building 8 that would not be accessible due to three proposed parking spaces. The Township should verify that the parking spaces will not interfere with the proposed units.
13. The dimensions of Building 4 should be verified. It appears that the building is less than 20 feet wide.
14. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.



LOCATION MAP 1"=1000'

LOT REQUIREMENTS: C-2(GENERAL COMMERCIAL)

LOT AREA:	1 ACRE	PROPOSED REQUIRED	6.4 ACRE
LOT WIDTH:	200 FT		353 FT
FRONT YARD:	35 FT		35 FT
SIDE YARD:	15 FT		15 FT
REAR YARD:	25 FT		25 FT
BUILDING HEIGHT:	40 FT		one story
MAXIMUM BUILDING COVERAGE:	50%		35.6%
MINIMUM LAWN & LANDSCAPING:	25%		30%
MAXIMUM IMPERVIOUS COVERAGE:	75%		70%
PARKING:	1 per 25 units		
	380 units/25=15		
	2 per office		
	=17 required		

16 provided & parking provided in front of each unit
4 adjacent to office

NOTES

- Zoned C-2 (General Commercial).
- The purpose of this land development plan is for a new mini-warehouse facility.
- Site is served by public water from Shippensburg Borough Municipal Authority and public sewer from Cumberland Franklin Joint Municipal Authority.
- BRL denotes building restriction line.
- All corners are set iron pins (SIP) unless otherwise noted.
- EIP denotes existing iron pin.
- Only the area needed for construction shall be disturbed. The remaining area that is not under existing cover shall be seeded with rye grass.
- Any excavated soil shall be stockpiled to prevent any erosion, and then seeded immediately with rye grass.
- Silt socks shall be placed on the lower side of all stockpiles.
- Hatched areas denote drainage and utility easements as noted.
- Contours are from PASDA lidar. NAVD88 datum.
- Benchmark: Existing sewer manhole W-49-G4, Rim=707.6'
- sl denotes sewer lateral, wl denotes water lateral
- EX denotes existing.
- RD denotes roof drain.
- The site is not in a flood hazard area according to FEMA Map Panel No. 42041C0355E, dated March 16, 2009, Zone X.
- All storm water management features, to include drainage swales, easements and infiltration areas, shall be maintained by the respective lot owner and shall be kept free of all obstructions including woodpiles, storage buildings or any other type of obstruction.
- The site is absent of hydric soils, but it does have soils with hydric inclusions. No wetlands are shown on the National Inventory Map. A wetland delineation was performed by Triad Engineering and the report determined that no wetlands exist on the site. Shippensburg Township assumes no responsibility with regard to wetlands analyses and delineation.
- Any driveway entrance onto, utility installation, or grading within the Progress Boulevard (T-346) right-of-way will require a Roadway Occupancy Permit from Shippensburg Township pursuant to municipal ordinances and/or regulations. Access shall be only as authorized by the required Roadway Occupancy Permit. There must be full and complete compliance with all applicable acts, statutes, laws, codes, ordinances, regulations, etc.
- All drainage easements are also for access by the Township for inspection of the stormwater facilities.
- All lighting shall be arranged or shielded so that no glare or illumination is cast upon adjoining residential uses, or glare or illumination shall cause an unsafe driving condition.
- All free standing signs shall comply with the Township Zoning Ordinance Section 325.
- The following activities are specifically prohibited within or around the mini-warehouse units:
 - Servicing or repair of stored equipment
 - Business activities, other than rental of units
 - Storage of flammable liquids, highly combustible or explosive materials, or hazardous chemicals
 - Auctions or garage sales
 - Commercial, wholesale or retail sales
- There will be a manager/business office established onsite.
- All access drives, parking and loading areas must be paved and shall be mud free.
- External storage area may be provided for the storage of privately-owned travel trailers and/or boats as long as it is behind the minimum front yard setback line. Screening shall only be required along adjoining roads if necessary, in accordance with the Zoning Ordinance Section 809.B.
- The entire project site is subject to a blanket stormwater management drainage facilities easement. Shippensburg Township employees shall have the right to enter easement areas where stormwater management and erosion and sediment control facilities are located for the purpose of inspection of said facilities.
- No dumpster is proposed onsite.
- DEP sewage planning for 1 EDU will be required.
- The property on which the regulated activity is proposed was not created by a subdivision of land that occurred after the effective date of the Shippensburg Township Stormwater Management Ordinance, Ordinance No. 2011-03. Existing improvements on the property were not constructed as part of a SWM Site Plan approved by the Board of Supervisors after the effective date of the Shippensburg Township Stormwater Management Ordinance No. 2011-03.

IMPERVIOUS COVERAGE

EXISTING IMPERVIOUS= 0
PROPOSED MACADAM= 2.22 Acres/34.7%
PROPOSED BUILDING= 2.28 Acres/35.8%
TOTAL IMPERVIOUS= 4.5 Acres/70.3%

SITE DATA

TOTAL AREA: 6.397 ACRES
AREA WITHIN RD RW: 0
PROPOSED USE: MINI-WAREHOUSES
BUILDING AREA BEING DEVELOPED: 99,335 SF or 2.28 ACRES
TOTAL IMPERVIOUS COVERAGE: 4.5 ACRES
SEWAGE DISPOSAL: PUBLIC SERVED BY CUMBERLAND FRANKLIN JOINT MUNICIPAL AUTH.
WATER SUPPLY: PUBLIC, SERVED BY SHIPPENSBURG BORO AUTHORITY
ZONING: C-2, GENERAL COMMERCIAL
DEED REFERENCE: 201809731
PLAT REFERENCE:
TAX UPI: 36-12-0320-048

LIST OF APPROVING AGENCIES

- CUMBERLAND COUNTY PLANNING COMMISSION
- SHIPPENSBURG BOROUGH AUTHORITY
- CUMBERLAND FRANKLIN JOINT MUNICIPAL AUTHORITY
- CUMBERLAND COUNTY CONSERVATION DISTRICT
- DEP SEWAGE PLANNING

WATER SERVICE NOTE

THE WATER SERVICE LINE SHALL BE TYPE K COPPER AND SHALL BE CONNECTED TO THE EXISTING 12" MAIN LINE. THE SERVICE LINE WILL BE CONNECTED VIA A STANDARD TAP IN ACCORDANCE WITH SHIPPENSBURG BOROUGH AUTHORITY SPECIFICATIONS.

THE WATER METER SHALL BE A SENSUS METER INSTALLED BY THE AUTHORITY, IN A METER PIT LOCATED AS SHOWN ON THE PLAN. THE METER PIT AND APPURTENANCES SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE AUTHORITY'S SPECIFICATIONS.

THE WATER SERVICE LINE SHALL BE INSTALLED TO MAINTAIN 4.0 FEET OF COVER ABOVE THE PIPE AS REFERENCED TO THE FINISHED GRADES SHOWN ON THE PLAN.

GENERAL NOTES:

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY R. LEE ROYER & ASSOCIATES TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN MADE FEATURES EXCEPT AS SPECIFICALLY INDICATED.
- EXISTING UTILITY INFORMATION SHOWN HEREON ARE FROM DRAWINGS AND OR OTHER SOURCES PROVIDED BY THE OWNERS OF THE VARIOUS UTILITIES. THE CONTRACTOR MUST NOTIFY PENNSYLVANIA'S ONE CALL SYSTEM AT 1-800-242-1776 A MINIMUM OF 72 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE PLANS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPALITY, COUNTY, AND OR STATE AUTHORITIES AT LEAST 72 HOURS IN BEFORE BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR THE MAN MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR DEMOLITION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE AND TO THE SATISFACTION OF THE OWNERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL SOIL EROSION AND SEDIMENT CONTROLS SHOWN ON THESE PLANS.
- ANY BENCHMARKS SHOWN ON THESE PLANS MUST BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. R. LEE ROYER & ASSOCIATES DO NOT WARRANT THE CURRENT CONDITION OR ACCURACY OF ANY BENCHMARK SHOWN ON THESE PLANS.

GENERAL DISCLAIMER NOTE:

ALL UTILITIES SHOWN ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND CONDITION IN THE FIELD WITH THE REPRESENTATIVE OF THE UTILITY IN QUESTION. R. LEE ROYER & ASSOCIATES DO NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY AND SUFFICIENCY OF THE DATA PROVIDED ON EXISTING UTILITIES AND FURTHERMORE WILL ASSUME NO RESPONSIBILITY FOR ANY COSTS OR CONDITIONS RESULTING FROM THE INACCURACY OR INSUFFICIENCY IN THIS REGARD. THE CONTRACTOR SHALL CONTACT THE UTILITY REPRESENTATIVE FOR THE ACTUAL LOCATION OF THEIR UTILITY BEFORE ANY WORK IS BEGUN ON THIS PROJECT. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS.

LIST OF UTILITIES

CUMBERLAND FRANKLIN JOINT MUNICIPAL AUTHORITY
204 WEST KING ST
SHIPPENSBURG, PA 17257
717-532-6949
CONTACT: DWAIN KOSER

PENNSYLVANIA ELEC CO,
12785 FERGUSON VALLEY RD
LEWISTOWN, PA 17044
CONTACT: STUART MILLER
smiller@firstenergycorp.com

COMCAST CABLE COMMUNICATIONS, INC
C/O USIC LOCATING SERVICES
13085 HAMILTON CROSSING BLVD
SUITE 200
CARMEL, IN 46032
CONTACT: OFFICE PERSONNEL

SHIPPENSBURG BOROUGH AUTHORITY
11 N. FAYETTE ST
SHIPPENSBURG, PA 17257
717-532-2147
CONTACT: KEVIN PLASTERER

CENTURYLINK
122 BALTIMORE ST
HANOVER, PA 17331
CONTACT: LEO HILBERT
leo.c.hilbert@centurylink.com

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL



POCS SERIAL NUMBER
20201642207
1-800-242-1776

CUMBERLAND COUNTY PLANNING DEPT.

REVIEWED BY THE CUMBERLAND COUNTY
PLANNING DEPARTMENT

THIS _____ DAY OF _____, 2020

DIRECTOR

SHIPPENSBURG TOWNSHIP PLANNING COMMISSION

RECOMMENDED FOR APPROVAL BY THE
SHIPPENSBURG TOWNSHIP PLANNING COMMISSION

THIS _____ DAY OF _____, 2020

CHAIRMAN

SECRETARY

SHIPPENSBURG TOWNSHIP SUPERVISORS

APPROVED BY THE SHIPPENSBURG TOWNSHIP
SUPERVISORS

THIS _____ DAY OF _____, 2020

CHAIRMAN

SECRETARY

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY INFORMATION SHOWN ON THIS PLAN REPRESENTS A SURVEY MADE BY ME, OR UNDER MY PERSONAL SUPERVISION TO AN ACCURACY OF AT LEAST 1:10,000, THAT IT IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT THIS PLAT CORRECTLY SETS FORTH ALL DATA OBTAINED IN THE SAID SURVEY.

R. LEE ROYER, PLS

FIRE DEPARTMENT

Reviewed by the Fire Chief of the first
responding Fire Department.

Date: _____

Fire Chief

I/We, _____,
being duly sworn, according to law, depose that I/We am/are the owner(s) of record of the lands shown hereon, being considered for subdivision or land development approval, and that all lands, rights-of-ways and easements designated for public use, if not previously, are hereby tendered for dedication for public use.

Witness our hands and seals this ___ day of _____ 2020

SIGNATURE

Affidavit:

Commonwealth of Pennsylvania
County of _____

Sworn and subscribed to me this ___ day of _____ 2020

NOTARY PUBLIC

STORM WATER OWNERSHIP & MAINTENANCE SCHEDULE:

- THE PROPERTY OWNER OF THE LOT SHALL OWN THE STORM WATER MANAGEMENT (SWM) FACILITIES LOCATED ON THE LOT.
- THE STORM WATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER.
- THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE CONTINUING MAINTENANCE OF THE FACILITIES WHICH SHALL INCLUDE SUCH ITEMS AS MOWING, CLEANING AND REMOVAL OF SEDIMENTS AND / OR DEBRIS. THE TIME PERIOD FOR THIS CONTINUING MAINTENANCE SHALL BE ON AN AS NEEDED BASIS BUT SHALL NOT BE DELAYED LONGER THAN 30 DAYS.
- THE OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR REPAIR OF ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE IN THE EVENT OF STRUCTURAL DAMAGE. THE OWNER SHALL BE RESPONSIBLE TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE, BUT IN ANY CASE WITHIN 60 DAYS.
- THE TOWNSHIP HAS THE RIGHT TO ACCESS THE FACILITIES FOR PERIODIC INSPECTION AND IF THE OWNER FAILS TO REPAIR DAMAGES TO THE SWM FACILITIES WITHIN 60 DAYS OF THE TOWNSHIP BEING AWARE OF SUCH DAMAGE, THE TOWNSHIP MAY REPAIR THE SWM FACILITIES AT THE COST OF THE OWNER.

WE HEREBY ACKNOWLEDGE AND UNDERSTAND THAT THE STORMWATER MANAGEMENT SYSTEM AND FACILITIES THAT ARE SHOWN HEREON AND DESCRIBED IN THE STORM WATER MANAGEMENT REPORT ARE PERMANENT AND CANNOT BE ALTERED OR REMOVED WITHOUT SPECIFIC APPROVAL OF A REVISED PLAN BY SHIPPENSBURG TOWNSHIP.

NAME _____ DATE _____

I, MERLE J. HOLSINGER, ON THIS DATE _____ HAVE REVIEWED AND HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND JUDGEMENT, THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE SHIPPENSBURG TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

MERLE J. HOLSINGER, P.E. DATE _____

SHEET INDEX

- 1- COVER SHEET
- 2- SITE PLAN
- 3- GRADING & STORMWATER PLAN
- 4- PROFILES
- 5- LIGHTING PLAN
- 6- SITE DETAILS
- 7- SITE DETAILS

EX1- EXISTING CONDITIONS PLAN

- ES1- EROSION & SEDIMENT CONTROL PLAN
- ES2- E&S NOTES & DETAILS
- ES3- E&S NOTES & DETAILS
- ES4- E&S NOTES & DETAILS

- PC1- POST CONSTRUCTION SWM PLAN
- PC2- PCSM NOTES & DETAILS
- PC3- PCSM NOTES & DETAILS
- PC4- PCSM NOTES & DETAILS

COVER SHEET
OF A
FINAL LAND DEVELOPMENT PLAN
FOR
**ALL BOXED UP SELF
STORAGE- SHIPPENSBURG
LOCATION**
SITUATE IN
SHIPPENSBURG TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA



**R LEE ROYER & ASSOCIATES
SURVEYING**

PENNSYLVANIA - MARYLAND
10764 BUCHANAN TRAIL EAST
WAYNESBORO, PA 17268
717-762-5619

SHEET 1

Record of Revisions

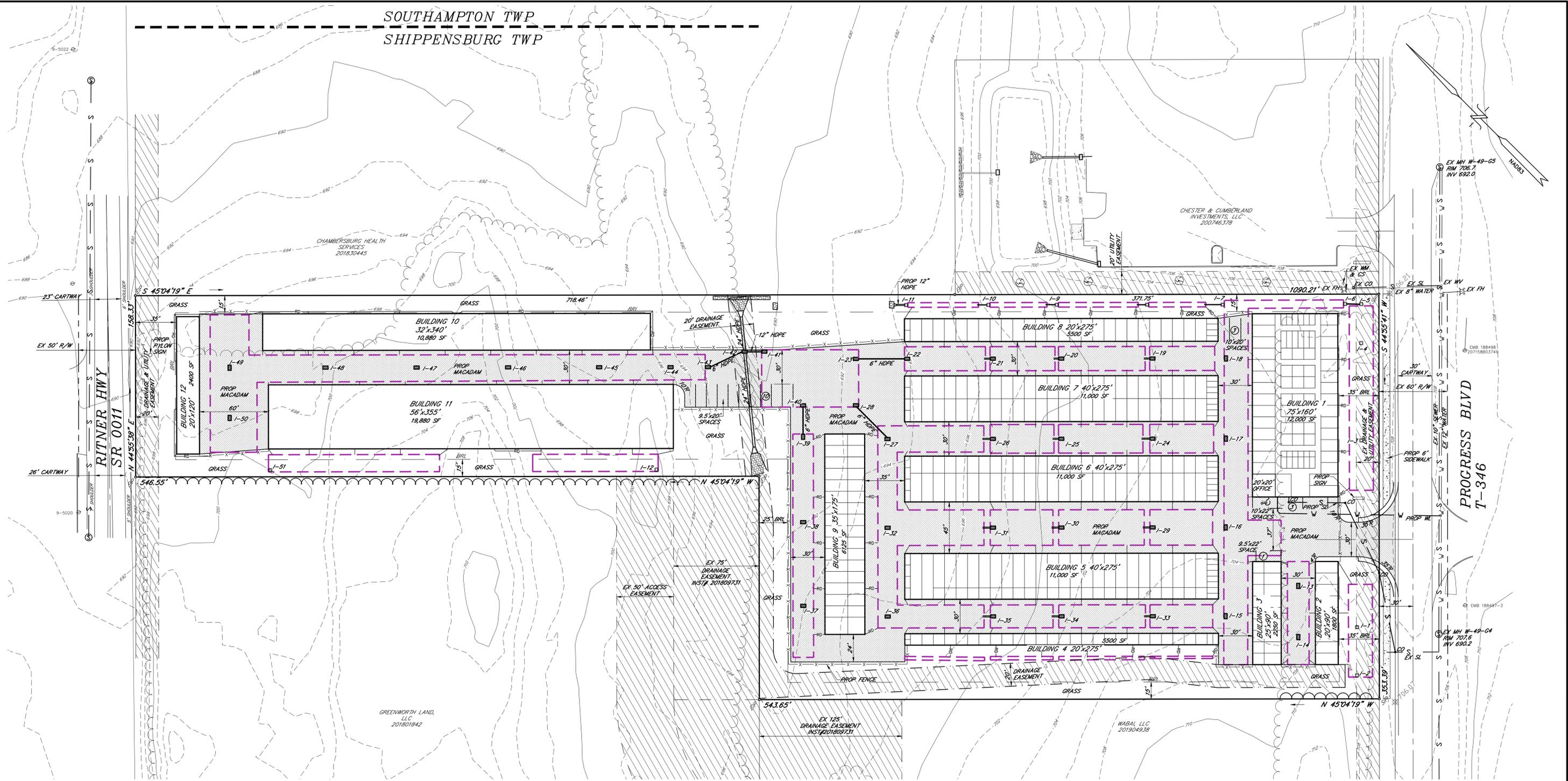
Date	Initials	Revision Made

OWNER/DEVELOPER
BDR REAL ESTATE SERVICES, LLC
DONALD MOATS
PO BOX 261
QUINCY, PA 17247
717-263-9640

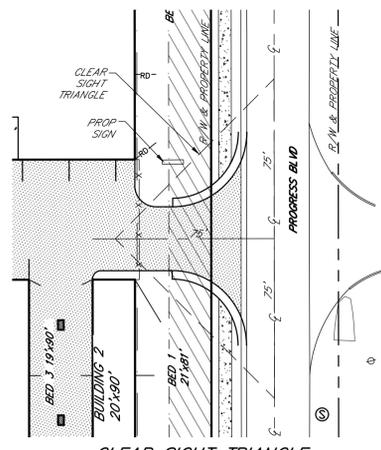
UPI: 36-12-0320-048
DEED REFERENCE 201809731

Area 397 AC.
Scale 1"= 100'
Date 7/14/2020
Drawn JAS
Checked
File 8241

SOUTHAMPTON TWP
SHIPPENSBURG TWP



- LEGEND**
- HaB SOIL LINE & TYPES
 - HcC
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EXISTING TREELINE
 - EASEMENTS
 - W WATER LINES
 - S SEWER LINES
 - UTILITY POLES
 - PERC TESTS/DEEP HOLE
 - PROPOSED MACADAM
 - INFILTRATION BED
 - CHANNEL MATTING



PAVING DETAIL
NTS

1.5" 9.5 MM SUPER PAVE
3" 25 MM SUPER PAVE
8" SHALE OR 6" STONE ROLLED AND COMPACTED

SITE PLAN FOR
ALL BOXED UP SELF STORAGE - SHIPPENSBURG LOCATION
SITUATE IN
SHIPPENSBURG TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA



R LEE ROYER & ASSOCIATES
SURVEYING
PENNSYLVANIA - MARYLAND
10764 BUCHANAN TRAIL EAST
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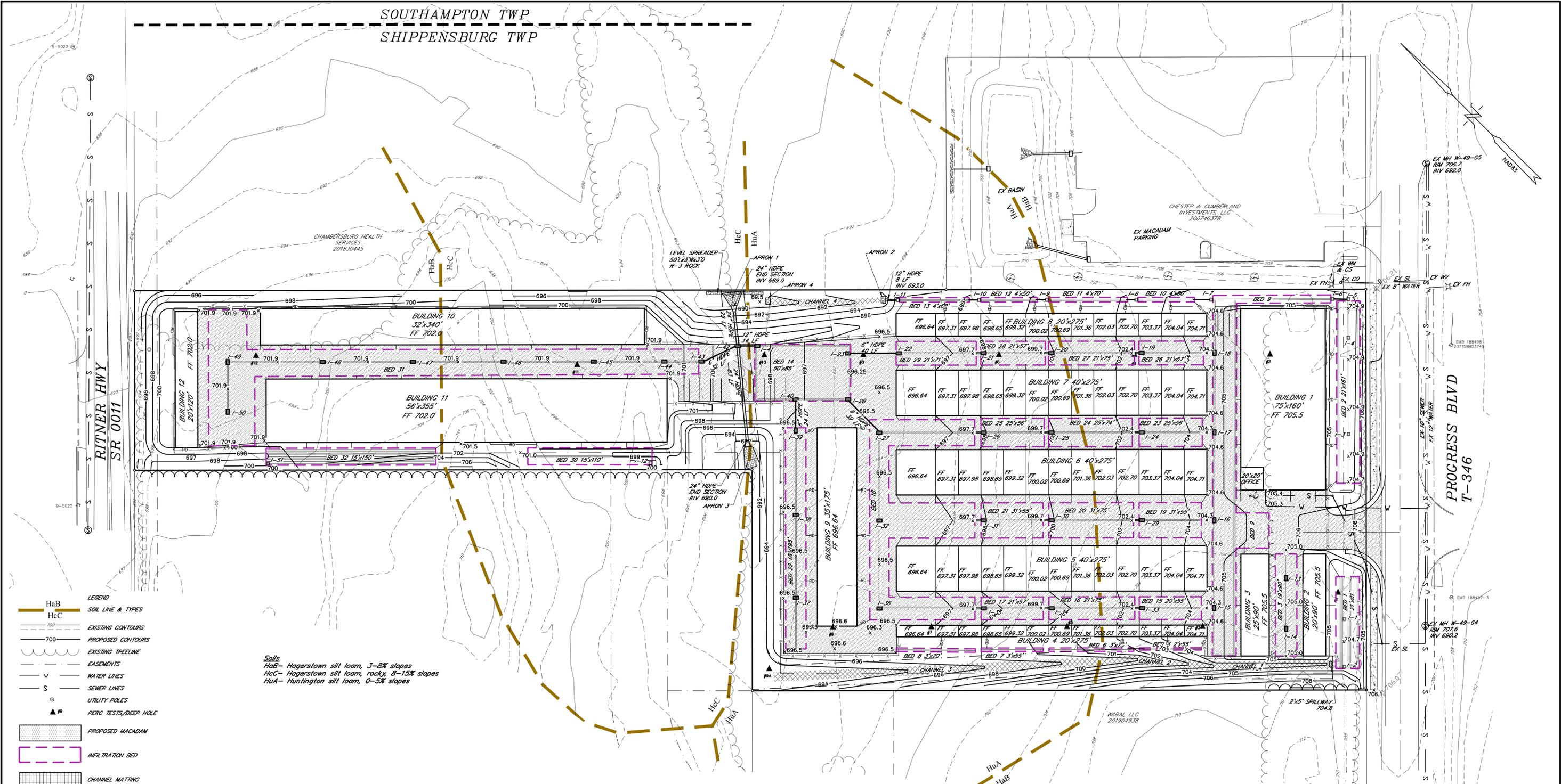
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OWNER/DEVELOPER
BDR REAL ESTATE SERVICES, LLC
DONALD MOATS
PO BOX 261
QUINCY, PA 17247
717-263-9640

UPI: 36-12-0320-048
DEED REFERENCE 201809731

Area 3.97 AC.
Scale 1" = 40'
Date 7/14/2020
Drawn JAS
Checked
File 8241

SOUTHAMPTON TWP
SHIPPENSBURG TWP



LEGEND

- HaB HcC SOIL LINE & TYPES
- 700 EXISTING CONTOURS
- 700 PROPOSED CONTOURS
- EXISTING TREELINE
- EASEMENTS
- W WATER LINES
- S SEWER LINES
- UTILITY POLES
- PERC TESTS/DEEP HOLE
- PROPOSED MACADAM
- INFILTRATION BED
- CHANNEL MATTING

Soils
 HaB- Hagerstown silt loam, 3-8% slopes
 HcC- Hagerstown silt loam, rocky, 8-15% slopes
 HUA- Huntington silt loam, 0-5% slopes

INLET 1 BED 1 2'x2' YARD INLET TG 704.5 12" PERF INV 701.9 SUMP 700.9	INLET 5 BED 2 2'x2' YARD INLET TG 702.7 6" OUT 703.0 12" PERF INV 702.1 SUMP 701.1	INLET 6 BED 9 2'x2' YARD INLET TG 704.6 6" IN 702.9 12" PERF INV 701.5 SUMP 700.5	INLET 7 BED 9 2'x2' YARD INLET TG 704.4 6" OUT 702.3 12" PERF INV 701.5 SUMP 701.1	INLET 8 BED 10 2'x2' YARD INLET TG 702.7 6" OUT 700.8 12" PERF INV 700.1 SUMP 699.1	INLET 9 BED 11 2'x2' YARD INLET TG 700.5 6" IN 702.9 12" PERF INV 701.5 SUMP 700.5	INLET 10 BED 12 2'x2' YARD INLET TG 700.5 6" OUT 698.6 12" PERF INV 697.9 SUMP 696.9	INLET 11 BED 13 2'x2' YARD INLET TG 702.1 6" OUT 693.5 12" PERF INV 693.5 SUMP 692.5	INLET 12 BED 30 2'x2' YARD INLET TG 700.0 6" ORIFICE 696.4 SUMP 695.4	INLET 13 BED 3 TYPE M TG 704.7 12" PERF INV 702.0 SUMP 701.0	INLET 14 BED 3 TYPE M TG 704.2 12" PERF INV 701.5 SUMP 700.5	INLET 15 BED 9 TYPE M TG 704.2 12" PERF INV 701.5 SUMP 700.5	INLET 16 BED 9 TYPE M TG 704.2 12" PERF INV 701.5 SUMP 700.5	INLET 17 BED 9 TYPE M TG 704.2 12" PERF INV 701.5 SUMP 700.5	INLET 18 BED 9 TYPE M TG 704.2 12" PERF INV 701.5 SUMP 700.5	INLET 19 BED 26 TYPE M TG 702.1 6" OUT 700.4 12" PERF INV 699.4 SUMP 698.4	INLET 20 BED 11 TYPE M TG 702.1 6" OUT 697.6 12" PERF INV 697.6 SUMP 695.7	INLET 21 BED 27 TYPE M TG 699.4 6" IN 692.7 12" PERF INV 691.5 SUMP 690.5	INLET 22 BED 14 TYPE M TG 702.1 6" OUT 694.7 12" PERF INV 694.7 SUMP 693.7	INLET 23 BED 14 TYPE M TG 699.4 6" OUT 694.7 12" PERF INV 694.7 SUMP 693.7	INLET 24 BED 23 TYPE M TG 702.1 6" OUT 700.4 12" PERF INV 699.4 SUMP 698.4	INLET 25 BED 24 TYPE M TG 699.4 6" OUT 697.6 12" PERF INV 696.7 SUMP 695.7	INLET 26 BED 25 TYPE M TG 697.4 6" OUT 694.7 12" PERF INV 694.7 SUMP 693.7	INLET 27 BED 18 TYPE M TG 696.0 6" OUT 694.1 12" PERF INV 693.3 SUMP 692.3	INLET 28 BED 14 TYPE M TG 699.4 6" OUT 700.4 12" PERF INV 699.4 SUMP 698.4	INLET 29 BED 19 TYPE M TG 702.1 6" OUT 700.4 12" PERF INV 699.4 SUMP 698.4	INLET 30 BED 20 TYPE M TG 699.4 6" OUT 697.6 12" PERF INV 696.7 SUMP 695.7	INLET 31 BED 21 TYPE M TG 697.4 6" OUT 694.7 12" PERF INV 694.7 SUMP 693.7	INLET 32 BED 18 TYPE M TG 696.0 6" OUT 694.1 12" PERF INV 693.3 SUMP 692.3	INLET 33 BED 15 TYPE M TG 702.1 6" OUT 700.4 12" PERF INV 699.4 SUMP 698.4	INLET 34 BED 16 TYPE M TG 699.4 6" OUT 697.6 12" PERF INV 696.7 SUMP 695.7	INLET 35 BED 17 TYPE M TG 697.4 6" OUT 694.7 12" PERF INV 694.7 SUMP 693.7	INLET 36 BED 18 TYPE M TG 696.0 6" OUT 694.1 12" PERF INV 693.3 SUMP 692.3	INLET 37 BED 22 TYPE M TG 696.0 6" OUT 694.4 12" PERF INV 693.3 SUMP 692.3	INLET 38 BED 22 TYPE M TG 696.0 6" OUT 694.4 12" PERF INV 693.3 SUMP 692.3	INLET 39 BED 22 TYPE M TG 696.0 6" OUT 694.4 12" PERF INV 693.3 SUMP 692.3	INLET 40 BED 14 TYPE M TG 697.2 6" IN 692.7 12" PERF INV 691.5 SUMP 690.5	INLET 41 BED 14 TYPE M TG 699.4 6" OUT 697.6 12" PERF INV 696.7 SUMP 695.7	INLET 42 BED 14 TYPE M TG 699.4 6" OUT 697.6 12" PERF INV 696.7 SUMP 695.7	INLET 43 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 44 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 45 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 46 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 47 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 48 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 49 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 50 BED 31 TYPE M TG 701.5 12" PERF INV 697.4 SUMP 696.4	INLET 51 BED 32 2'x2' YARD INLET TG 700.0 6" ORIFICE 696.5 SUMP 695.5
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Record of Revisions

Date	Initials	Revision Made

GRADING & STORMWATER PLAN FOR
ALL BOXED UP SELF STORAGE-SHIPPENSBURG LOCATION
 SITUATE IN
 SHIPPENSBURG TOWNSHIP
 CUMBERLAND COUNTY
 PENNSYLVANIA

R LEE ROYER & ASSOCIATES SURVEYING
 PENNSYLVANIA - MARYLAND
 10764 BUCHANAN TRAIL EAST
 WAYNESBORO, PA 17268
 717-762-5619

OWNER/DEVELOPER
 BDR REAL ESTATE SERVICES, LLC
 DONALD MOATS
 PO BOX 261
 QUINCY, PA 17247
 717-263-9640

UPI: 36-12-0320-048
 DEED REFERENCE 201809731
 Area 397 AC
 Scale 1" = 40'
 Date 7/14/2020
 Drawn JAS
 Checked JAS
 File 8241

DEED REFERENCE 201809731

SHEET 3