

Cumberland County Subdivision and Land Development Review Report

| | | | | | |
|-------------------|-----------------------------|-----------------------------|---|--------------------------------------|--|
| Municipality: | <u>East Pennsboro</u> | Surveyor/ Engineer: | <u>Advantage Engineering Services, Inc.</u> | Owner/ Developer: | <u>George and Ellen Sullenberger</u> |
| Plat Title: | <u>1 Salt Road</u> | | | | |
| Plat Status: | <u>Preliminary/Final</u> | Plat Type: | <u>Land Development</u> | | |
| # of New Lots: | <u> </u> | # of New Dwelling Units: | <u> </u> | New Acreage Subdivided/Developed: | <u> </u> |
| | | | | Total Tract Acreage: | <u>19.565</u> |
| Zoning District: | <u>C-L</u> | Proposed Land Use: | <u>Retail</u> | | |
| Date Received: | <u>9/18/2020</u> | County Review: | <u>9/28/2020</u> | Reviewed by: | <u>SH</u> |
| | | | | Checked by: | <u> </u> |

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.

1. The Township should verify that adequate parking spaces have been provided. The Applicant has addressed the requirements for the 200 square foot retail sales space, but has not addressed the remaining 3,064 square feet (Zoning 27-2103.1.B).
2. An Erosion and Sedimentation Control Plan should be submitted to the Cumberland County Conservation District for review and approval (SLDO 22-308.4.A).
3. Pennsylvania DEP Sewage Planning requirements should be addressed on the plan (SLDO 22-309.F.2).
4. The plan should address curbing (SLDO 22-506.4.E.5.F)
5. Street trees should be provided along Salt Road and Wertzville Road (SLDO 22-506.4.E.6).
6. The plan should address sidewalks (SLDO 22-507).
7. A clear sight triangle should be provided (SLDO 22-511.1.H).
8. We recommend a recycling dumpster is provided.
9. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

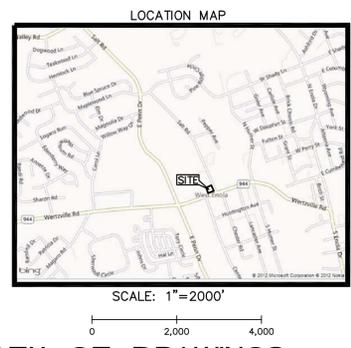
FOR

1 SALT ROAD

East Pennsboro Township Cumberland County, PA

| LEGEND | |
|--------|-----------------------------------|
| | Property Line |
| | Building Setback Line |
| | Existing Contour |
| | Existing Edge Of Pav |
| | Mapped Soils |
| | Existing Light Pole |
| | Existing Waterline |
| | Existing Well |
| | Existing Overhead |
| | Infiltration Testing Location |
| | |
| | Proposed Spot Elevation |
| | Proposed Sanitary Sewer (Gravity) |
| | Proposed Water Service |

- Notes:**
- The purpose of this plan is to depict certain improvements associated with the construction of a new building to be used for retail sales of Pizza Boy Brewery products and apparel. The project is consistent with the township's Comprehensive Plan. The project is in an area to be served by public sewer in accordance with the township's Act 537 Plan.
 - All construction and development will adhere to the East Pennsboro Township Land Development Ordinance.
 - All new storm water management facilities on the subject tract shall be owned and maintained by the property owner.
 - The contractor shall contact the appropriate public utilities 72 hours in advance of any construction activities.
 - All improvements shown shall comply with the Township's Standard Material and Construction Specifications for Public Improvements and shall be subject to approval by the Township Engineer. All construction details shall be as shown in these regulations, unless otherwise shown on this plan.
 - Electric, telephone and other utilities to be installed underground.
 - No Building Permit will be issued for construction on a lot until the Township Engineer has verified the sight distance for driveways onto Township streets.
 - A contribution for recreation purposes shall be made at the rate of \$1,000 per dwelling unit payable upon and as a condition of making application for a Building Permit pursuant to the ordinances of the township.
 - Property corner markers (2" dia. x 24" long) iron pins shall be set at all unmarked corners.
 - There are no wetlands located on the property.
 - There are no mapped floodways or floodplains located on the property (Community Panel 4203590002B).
 - The vertical datum of the elevations shown is NAVD 1988 as shown on U.S.G.S. Mapping.
 - All proposed storm water management and drainage facilities shall be maintained by property owner unless these facilities are located within a public right of way, in which case tile facilities shall be maintained by the owner of that particular right of way.



INDEX OF DRAWINGS :

| No. | TITLE |
|-----|-----------------------------------|
| 1 | ● COVER SHEET |
| 2 | ● EXISTING FEATURES PLAN |
| 3 | ● SITE PLAN |
| 4 | ● GRADING / UTILITY PLAN |
| 5 | ● MISCELLANEOUS PROFILES/DETSAILS |

Site Data:

| | |
|--------------------------|----------------------------------|
| Source Of Title: | Instrument No. 201828287 |
| Existing Lot Area: | 19,565 s.f. (0.449 ac.) |
| Site Address: | 1 Salt Road |
| Proposed Use : | Retail |
| Proposed Number Of Lots: | 1 |
| Water Supply : | Public (Pa. American Water) |
| Sewage Disposal : | Public (East Pennsboro Township) |

Zoning Data C-L (Commercial Limited)

| | |
|-------------------------------|--|
| Maximum Building Height: | 40 feet |
| Minimum Building Setbacks: | Front 30'; Rear 30'; Side 10' Each |
| Minimum Lot Area: | 10,000 Square Feet |
| Minimum Lot Width: | 100 Feet At Minimum Building Setback Line |
| Maximum Lot Coverage: | 75% |
| Minimum Parking Requirements: | Retail: 1 parking spaces for each 250 s.f. gross floor area. |
| | 200 ÷ 250 s.f. = 1 space |
| | Parking Provided = 6 spaces |

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED HAS LEGAL OR EQUITABLE TITLE TO THE LAND SHOWN. ALL STREETS OR PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

OWNER _____
Albert Kominski

THIS PLAN REVIEWED BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT THIS _____ DAY OF _____, 20____.

DIRECTOR OF PLANNING _____

THIS PLAN REVIEWED BY THE EAST PENNSBORO TOWNSHIP ENGINEER THIS _____ DAY OF _____, 20____.

TOWNSHIP ENGINEER _____

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____
ON THIS THE _____ DAY OF _____, 20____ BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED

OWNER _____
Albert Kominski

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

RECOMMENDED FOR APPROVAL BY THE EAST PENNSBORO TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

SECRETARY _____

APPROVED BY THE BOARD OF COMMISSIONERS OF EAST PENNSBORO TOWNSHIP THIS _____ DAY OF _____, 20____.

PRESIDENT _____

SECRETARY _____

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.

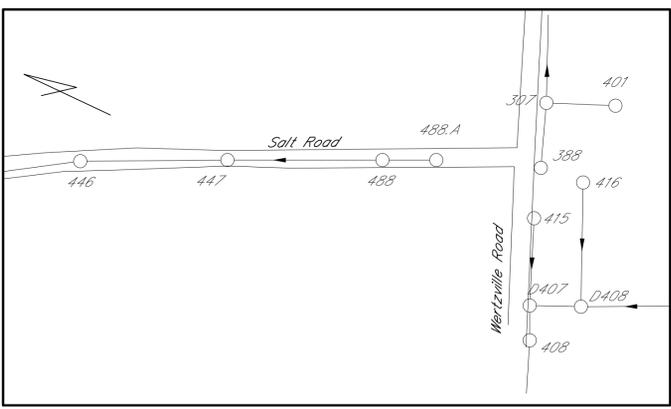
David J. Wehbrecht, PE, PLS

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND COUNTY

THIS _____ DAY OF _____, 20____.

INSTRUMENT NO. _____

DATE : _____
September 1, 2020



Sanitary Sewer Index Map
Scale: 1" = 300'

Lot Coverage:
Building: 3,264 sq. ft.
Concrete: 78 sq. ft.
Coverment: 5,060 sq. ft.
Total: 8,402 sq. ft.
Lot Area: 19,565 sq. ft.
Impervious Coverage: 42.9%



David J. Wehbrecht, PE, PLS
Advantage Engineering Services, LLC
700 Ayers Avenue
Lemoyne, PA 17043
(717) 761-3226

CURRENT OWNER
George and Ellen Sullenburger
350 East Penn Drive
Enola, PA 17025
Ph: (717) 991-2194

EQUITABLE OWNER
Pizza Boy Brewing Company
(c/o Albert Kominski)
2240 Millennium Way
Enola, PA 17025
Ph: (717) 728-3840

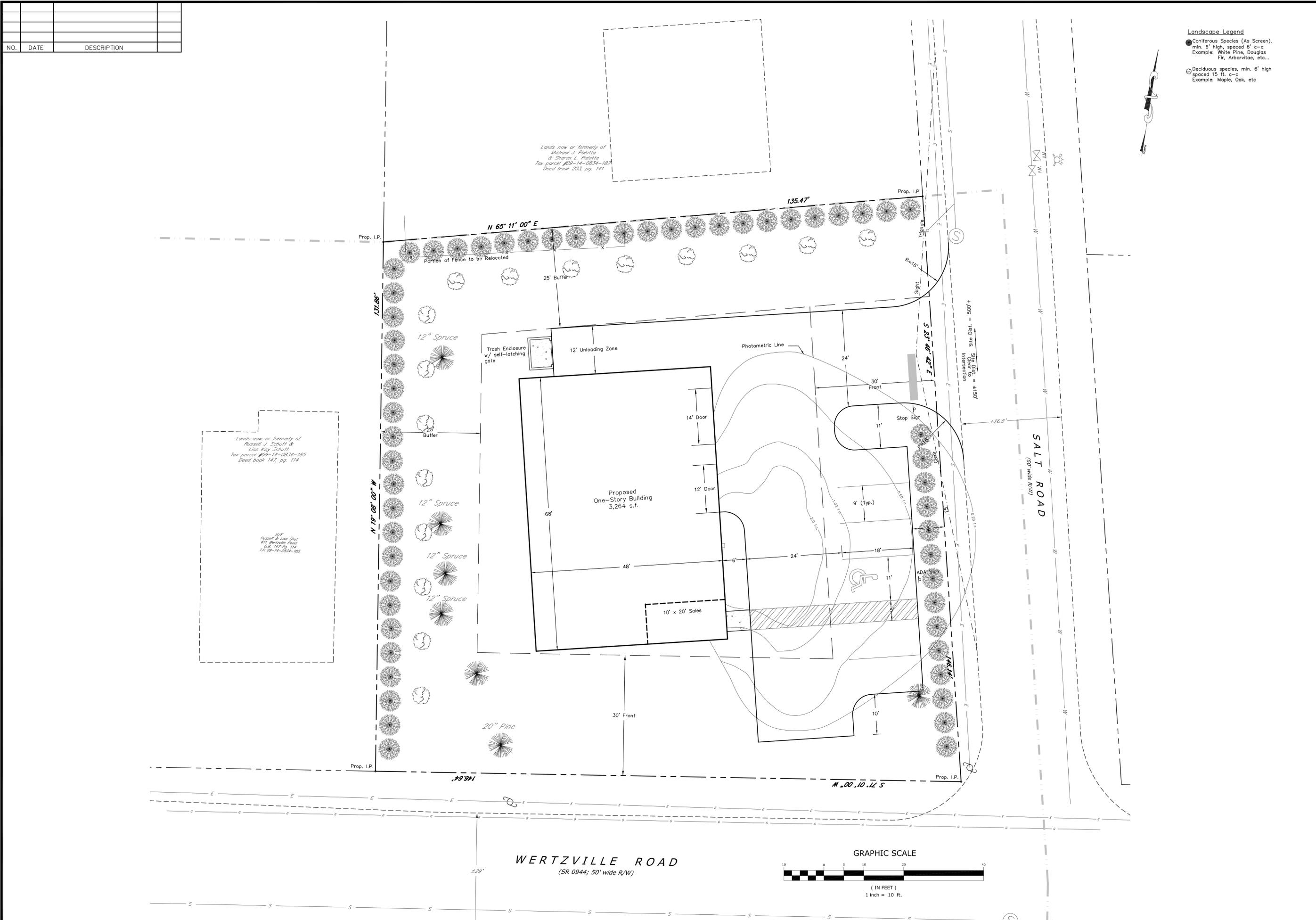


ADVANTAGE ENGINEERING SERVICES, LLC

CIVIL ENGINEERING
LAND SURVEYING

700 Ayers Avenue
Lemoyne, PA 17043
Phone: (717) 761 - 3226
Fax: (717) 737 - 4823

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |



Landscape Legend

- Coniferous Species (As Screen), min. 6' high, spaced 6' c-c
Example: White Pine, Douglas Fir, Arborvitae, etc...
- Deciduous species, min. 6' high spaced 15 ft. c-c
Example: Maple, Oak, etc

DESIGN : DJW
DRAWN : DJW
DATE : 9/01/20

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SEAL

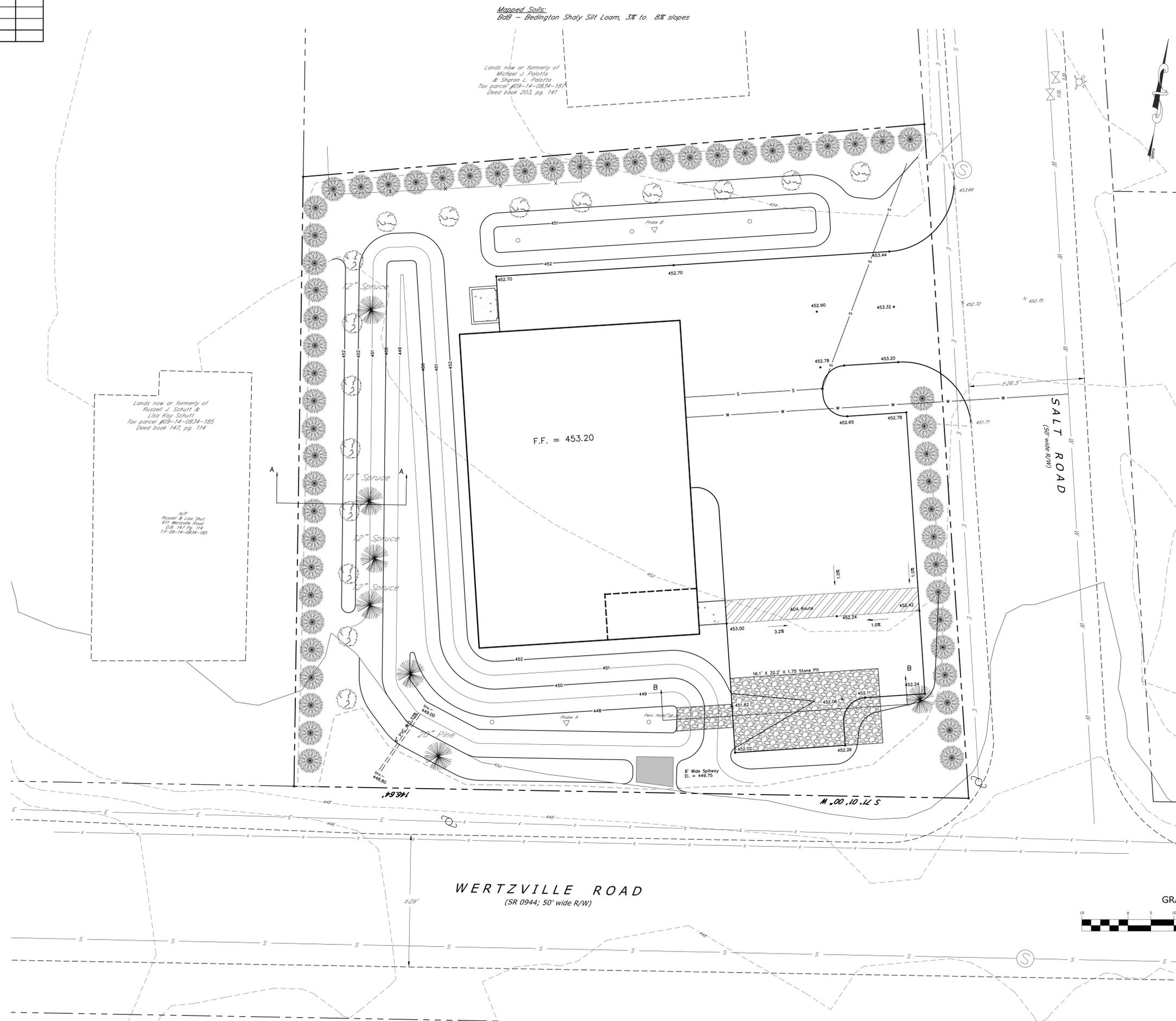
SEAL

1 SALT ROAD
SITE PLAN

East Pennsboro Township
Cumberland County

PROJECT NO. 2020005
SURVEY BOOK : N/A
SCALE : 1" = 10'
DWG FILE : c:\AES Projects\2020\2020002\dwg\2020002.dwg
SHEET **3**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |



Mapped Soils:
BdB - Bealington Shaly Silt Loam, 3% to 8% slopes

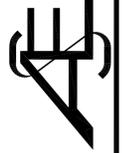
Lands now or formerly of
Michael J. Palotta
& Sharon L. Palotta
Tax parcels #09-14-0834-187
Deed book 203, pg. 141

Lands now or formerly of
Russell J. Schutt &
Lisa Roy Schutt
Tax parcel #09-14-0834-185
Deed book 147, pg. 114

N/A
Russell & Lisa Schutt
671 Wertzville Road
SR 0944 pg. 114
TA 09-14-0834-185

DESIGN : DJW
DRAWN : DJW
DATE : 9/01/20

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SEAL

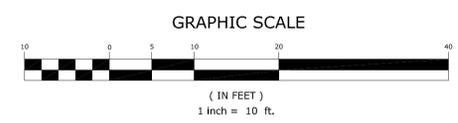
SEAL

1 SALT ROAD

GRADING/UTILITY PLAN

Cumberland County

East Pennsboro Township



PROJECT NO.
2020002
SURVEY BOOK :
N/A
SCALE : 1" = 10'
DWG FILE : c:\AES Projects\2020
2020002\dwg\2020002.dwg

SHEET 4