

## Cumberland County Subdivision and Land Development Review Report

Municipality:	Lower Allen	Surveyor/ Engineer:	BL Companies	Owner/ Developer:	Lower Allen Township Development Authority
Plat Title:	Grocer and Retail-Lower Allen Commons				
Plat Status:	Preliminary/Final	Plat Type:	Land Development		
# of New Lots:	# of New Dwelling Units:	New Acreage Subdivided/Developed:	Total Tract Acreage:	2.42	
Zoning District:	C4 Regional Commercial	Proposed Land Use:	Commercial		
Date Received:	9/21/2020	County Review:	9/29/2020	Reviewed by:	SH
				Checked by:	

- Plat appears to comply with applicable regulations.
- Plat appears to generally comply with applicable regulations; revisions may be required, as indicated.
- Plat appears to need substantial revision, as indicated.

*Review comments with cited ordinance provisions are based on municipal regulations on file with the County Planning Department.*

1. The Zoning Information should include the proposed building height (Zoning 220-75).
2. The lot width should be provided in the Zoning Information Table (Zoning 220-76.B).
3. The plan should include clear sight triangles at the access points (Zoning 220-244.B.3.G).
4. The Township Notes on Sheet GN-1 should include a reference to Pennsylvania DEP approval of the Sewage Planning Requirements (SLDO 192-36.C.N.2.B).
5. Sidewalks should be provided along the northwest side of the proposed retail store (SLDO 192-57.C.9).
6. The required and provided sight distance measurements should be shown on the plan (SLDO 192-57.C.14).
7. The Township should determine whether streetlights will be required (SLDO 192-61.D).
8. When obtaining the county signature for the final plan recording process, the applicant / engineer should provide a CD that includes a .dwg AutoCAD file that shows all of the parcel boundaries, lot lines, building footprints, road rights-of-way and the edge of pavement. For more information, please visit the Cumberland County Planning Department website at: <https://www.ccpa.net/3185/Plan-Submission-Recording-Procedures>.

# PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR GROCER AND RETAIL LOWER ALLEN COMMONS CONDOMINIUM UNIT #3

3525 GETTYSBURG ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

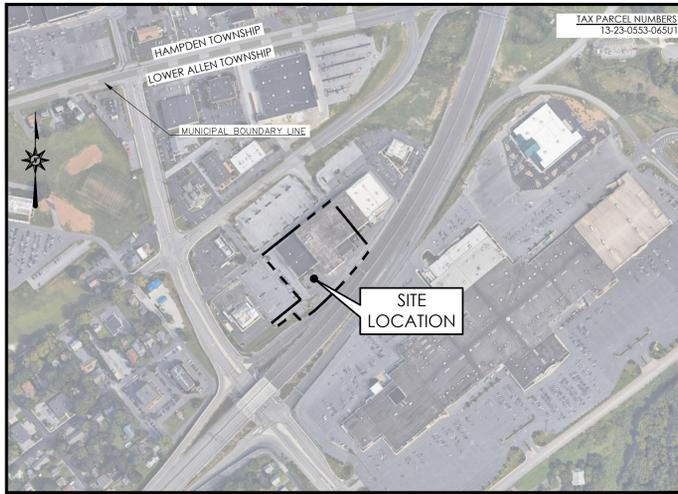
PREPARED FOR:  
Lower Allen Township  
Development Authority

2233 Gettysburg Road  
Camp Hill, PA 17011  
(717) 975-7575

PREPARED BY:

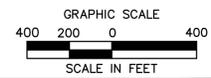


2601 Market Place, Suite 350  
Harrisburg, PA 17110  
(717) 651-9850  
(717) 651-9858 Fax



LOCATION MAP

SCALE: 1"=400'



### ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 AND ACT 50 OF 2017 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. DESIGN SERIAL NUMBER IS 20183380628, SUBMITTED ON 12/04/2018.

UTILITIES AND RESPONSES PROVIDED BY PA ONE CALL:

(AH) WINDSTREAM 929 MARTHAS WAY HIAWATHA, IA 52233 CONTACT: LOCATE DESK PERSONNEL EMAIL: locate.desk@windstream.com	(LAL) LOWER ALLEN TOWNSHIP 122 GETTYSBURG ROAD CAMP HILL, PA 17011 CONTACT: DANIEL FLINT EMAIL: dflint@latwp.org
(AX) PENNSYLVANIA AMERICAN WATER 852 WESLEY DR MECHANICSBURG, PA 17055 CONTACT: MICHAEL GENNONE EMAIL: michael.gennone@amwater.com	(PRD) PPL ELECTRIC UTILITIES CORPORATION 503 NEW MARKET ST MILKES BARRIE, PA 18702 CONTACT: MARK SANTAYANA EMAIL: mcsantayana@pplweb.com
(CTI) FRONTIER COMMUNICATIONS OF PA INC. 87 SOUTH MAIN STREET SHICKSHINNY, PA 18655 CONTACT: JOHN BUGDONOVITCH EMAIL: john.bugdonovitch@ftr.com	(SB) COMCAST 4601 SMITH STREET HARRISBURG, PA 17109 CONTACT: MICHAEL SWEIGARD EMAIL: mike_sweigard@cable.comcast.com
(HC) VERIZON PENNSYLVANIA LLC 1026 HAY STREET PITTSBURGH, PA 15221 CONTACT: DEBORAH BARUM EMAIL: deborah.d.della@verizon.com	(TW) CENTURY LINK 122 BALTIMORE STREET PO BOX 896 HANOVER, PA 17331 CONTACT: LEO HILBERT EMAIL: leo.c.hilbert@centurylink.com
(LA1) LOWER ALLEN TOWNSHIP AUTHORITY 120 LIMEKILN ROAD NEW CUMBERLAND, PA 17070 CONTACT: BRIAN KAUFFMAN EMAIL: bkauffman@latwp.org	(U) UGI UTILITIES INC 1301 AIP DRIVE MIDDLETOWN, PA 17057 CONTACT: STEPHEN BATEMAN EMAIL: SBATEMAN@UGI.COM

#### Pennsylvania One Call System Response List

Responses for Serial Number: 20183380628 as of 2/10/2020 11:46 AM

AR	WINDSTREAM	CLEAR - NO FACILITIES	12/04/2018 21:57:35
AX	PENNSYLVANIA AMERICAN WATER	DESIGN CONFLICT. PLEASE SEND PLANS TO: JEFF HUBER PENNSYLVANIA AMERICAN WATER 503 MARKET ST MECHANICSBURG PA 17055	12/04/2018 09:18:19
CTI	FRONTIER COMMUNICATIONS CTI LLC	CONFLICT. LINES NEARBY. DIRECT CONTACT TO FOLLOW BY FACILITY OWNER	12/04/2018 15:42:17
HC	VERIZON PENNSYLVANIA LLC	CLEAR - NO FACILITIES	12/04/2018 10:09:57
LAL	LOWER ALLEN TOWNSHIP AUTHORITY	ENGINEERING COMPLETED - A PDF FILE OR MARKED UP PLANS WERE SENT TO THE REQUESTOR	12/04/2018 11:34:00
LAL	LOWER ALLEN TOWNSHIP	ENGINEERING COMPLETED - A PDF FILE OR MARKED UP PLANS WERE SENT TO THE REQUESTOR	12/09/2018 15:52:18
PRD	PPL ELECTRIC UTILITIES CORPORATION	ENGINEERING COMPLETED - A PDF FILE OR MARKED UP PLANS WERE SENT TO THE REQUESTOR	12/20/2018 12:57:55
SB	COMCAST	CONFLICT. LINES NEARBY. DIRECT CONTACT TO FOLLOW BY FACILITY OWNER	12/04/2018 15:42:18
TW	CENTURYLINK FORMERLY BRIDG	FIELD MARKED	12/04/2018 15:42:25
U	UGI UTILITIES INC-HARRISBURG	ENGINEERING COMPLETED - A PDF FILE OR MARKED UP PLANS WERE SENT TO THE REQUESTOR	02/07/2019 11:55:28

### Sheet List Table

- 1 CV-1 COVER SHEET
- 2 GN-1 GENERAL NOTES
- 3 EX-1 EXISTING CONDITIONS PLAN
- 4 DM-1 DEMOLITION PLAN
- 5 SP-1 SITE PLAN
- 6 GD-1 GRADING AND DRAINAGE PLAN
- 7 SU-1 SITE UTILITY PLAN
- 8 PR-1 PROFILES
- 9 LL-1 LANDSCAPE PLAN
- 10 LL-2 LANDSCAPE DETAILS
- 11 DN-1 DETAIL SHEET
- 12 DN-2 DETAIL SHEET
- 13 DN-3 DETAIL SHEET
- 14 DN-4 DETAIL SHEET
- 15 EC-1 EROSION & SEDIMENTATION CONTROL PLAN
- 16 EC-2 EROSION & SEDIMENTATION CONTROL NOTES
- 17 EC-3 EROSION & SEDIMENTATION CONTROL DETAILS

SUPPLEMENTAL PLANS:  
1. SITE LIGHTING PLAN

### CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATION

REVIEWED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

DIRECTOR \_\_\_\_\_

### LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA.  
APPROVED THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CONDITIONS OF APPROVAL COMPLETED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

### WAIVERS REQUESTED

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVERS OF THE TOWNSHIP OF LOWER ALLEN SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- §192-30 PRELIMINARY PLAN SUBMISSION
- §192-58.E(10) PARKING LOT PLANTING ISLANDS DESIGNED TO COLLECT STORMWATER
- §192-59.C(2) PARKING SPACES ADJACENT TO END ISLANDS SHALL BE AN ADDITIONAL 2' WIDE

APPROVAL DATE \_\_\_\_\_

### CERTIFICATION OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

JOHN K. MURPHY P.L.S. \_\_\_\_\_ DATE \_\_\_\_\_  
REG. NO. SU-049365-E

### RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

RECORDED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

Instrument # \_\_\_\_\_

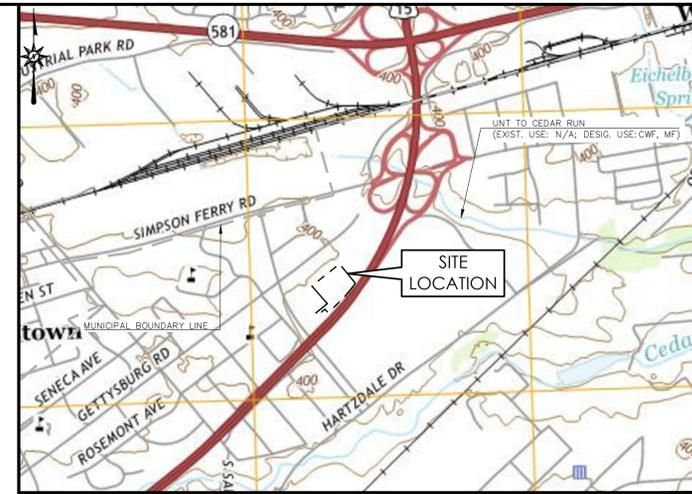
### LOWER ALLEN TOWNSHIP ACT 167 STORMWATER DESIGN CERTIFICATION

\_\_\_\_\_, DESIGN ENGINEER, ON THIS DATE \_\_\_\_\_, HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

### ENGINEER'S CERTIFICATION

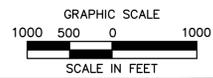
I, ALARIC J. BUSHER, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

ALARIC J. BUSHER \_\_\_\_\_ DATE \_\_\_\_\_  
REG. NO. PE 60320



VICINITY MAP

SCALE: 1"=1000'



### CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF \_\_\_\_\_ SS

ON THIS, THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_ THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME (OR SATISFACTORILY PROVEN TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT \_\_\_\_\_ EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO  
SET MY HAND AND OFFICIAL SEAL

OWNER \_\_\_\_\_ NOTARY \_\_\_\_\_  
MY COMMISSION EXPIRES \_\_\_\_\_, 20\_\_\_\_.

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COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF \_\_\_\_\_ SS

ON THIS, THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, \_\_\_\_\_ THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME (OR SATISFACTORILY PROVEN TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT \_\_\_\_\_ EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO  
SET MY HAND AND OFFICIAL SEAL

OWNER \_\_\_\_\_ NOTARY \_\_\_\_\_  
MY COMMISSION EXPIRES \_\_\_\_\_, 20\_\_\_\_.

### LANDOWNERS

Lower Allen Township Development Authority  
2233 Gettysburg Road  
Camp Hill, PA 17011  
(717) 975-7575

### DEVELOPER / APPLICANT

Lower Allen Township Development Authority  
2233 Gettysburg Road  
Camp Hill, PA 17011  
(717) 975-7575

### DATES

ISSUE DATE: SEPTEMBER 21, 2020  
REVISIONS:

### PLAN PURPOSE

THE PURPOSE OF THIS PLAN IS TO PERMIT FOR THE CONSTRUCTION OF A GROCER AND RETAIL ESTABLISHMENT AT LOWER ALLEN COMMONS WITH ASSOCIATED SITE IMPROVEMENTS SUCH AS PARKING, STORMWATER, UTILITIES, ETC. ON LANDS LOCATED IN LOWER ALLEN TOWNSHIP.

CV-1 No. 1 of 17

SITE PLAN NOTES

- 1. ALL CONSTRUCTION SHALL COMPLY WITH LOWER ALLEN TOWNSHIP, PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL OBTAIN ALL COUNTY AND TOWNSHIP CONSTRUCTION PERMITS, INCLUDING PENNDOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. THE PLAN SETS FOR BIDDING SHALL BE PROVIDED TO THE CONTRACTOR BY THE CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
6. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
8. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION & SEDIMENTATION CONTROL PLAN NOTES/DETAILS.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOWER ALLEN MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
11. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
12. THE WORD "MEET" ON THIS PLAN MEANS CONTRACTOR TO MATCH AND TIE TO EXISTING SURFACE ELEVATION. THE WORD "PROVIDE" ON THE PLAN SET MEANS CONTRACTOR TO PROVIDE, FURNISH, AND INSTALL.
13. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
14. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST STRINGENT SHALL APPLY.
15. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
16. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, NOTIFY THE OWNER AND ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
17. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
18. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
19. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO PENNDOT STANDARD DETAIL SHEETS AND THE MANUAL OF UTILITY CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2" OFF THE FACE OF THE CURB, AND WITH 2" VERTICAL CLEARANCE UNLESS OTHERWISE DETAIL OR NOTED.
20. THE CONTRACT LIMIT IS THE LIMIT OF DISTURBANCE LINE UNLESS OTHERWISE SPECIFIED.
21. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
22. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING. ALL PAINT STRIPING SHALL HAVE A MINIMUM OF 2 COATS OF PAINT.
23. PAVEMENT MARKING KEY:
4" SYDL 4" SOLID YELLOW DOUBLE LINE 4" SRL 4" SOLID RED LINE
4" SYL 4" SOLID YELLOW LINE 12" SWSB 12" SOLID WHITE STOP BAR
24" SYL 24" SOLID YELLOW LINE 24" SWSB 24" SOLID WHITE STOP BAR
4" SWL 4" SOLID WHITE LINE 6" BWL 6" BROKEN WHITE LINE
24" SWL 24" SOLID WHITE LINE 6" ABL 6" AUXILIARY WHITE LINE
6" SWL 6" SOLID WHITE LINE
24. PARKING SPACES SHALL BE STRIPED WITH 4" SYL; HATCHED AREA SHALL BE STRIPED WITH 4" SYL AT A 45° ANGLE, 2" ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
25. STOP BAR AND STOP LEGEND MARKINGS SHALL BE HOT THERMOPLASTIC TYPE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
26. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS BY METHOD APPROVED BY PENNDOT.
27. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
28. THE CONTRACTOR SHALL PROVIDE A TOPOGRAPHIC SIGNED AND SEALED AS-BUILT SURVEY BY A STATE LICENSED LAND SURVEYOR AND RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER MANAGEMENT FACILITIES) TO THE OWNER AND THE TOWNSHIP AT THE END OF CONSTRUCTION AND IN CONFORMANCE WITH THE SPECIFICATIONS.
29. THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
30. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
31. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
32. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLAN IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
33. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
34. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
35. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1, UNIFORMED FIRE CODE.
36. NEW BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER THE NFPA CODE.
37. ANY COMPONENTS TO REMAIN OR BE PROTECTED THAT ARE DAMAGED DURING DEMOLITION AND/OR SALVAGE OPERATIONS SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
38. ALL EXISTING AND PROPOSED EASEMENTS ON OR AFFECTING THE SITE ARE SHOWN ON THE PLANS.
39. A COPY OF THE APPROVAL FROM THE PA DEPARTMENT OF LABOR AND INDUSTRY, WHERE APPLICABLE, SHALL BE PROVIDED BEFORE A BUILDING PERMIT IS ISSUED.
40. NEITHER THE DEPARTMENT NOR ANY MUNICIPALITY TO WHICH PERMIT-ISSUING AUTHORITY HAS BEEN DELEGATED UNDER THE "STATE HIGHWAY LAW" SHALL BE LIABLE IN DAMAGES FOR ANY INJURY TO PERSONS OR PROPERTY ARISING OUT OF THE ISSUANCE OR DENIAL OF A DRIVEWAY PERMIT, OR FOR FAILURE TO REGULATE ANY DRIVEWAY. FURTHERMORE, THE TOWNSHIP SHALL NOT BE HELD LIABLE FOR DAMAGES TO PERSONS OR PROPERTY ARISING OUT OF THE ISSUANCE OR DENIAL OF A DRIVEWAY PERMIT BY THE DEPARTMENT.
41. CONTRACTOR TO ERECT AND INSTALL "BL COMPANIES" SIGN PRIOR TO CONSTRUCTION. COORDINATE LOCATION WITH TOWNSHIP AND ENGINEER. CONTRACTOR TO MAINTAIN SIGN DURING CONSTRUCTION AND RETURN SIGN TO ENGINEER AFTER COMPLETION OF SITE CONSTRUCTION.
42. NO PARKING FIRE ZONES, FIRE LANES AND/OR SIGNAGE SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL AND SHALL BE PROVIDED TO THE SATISFACTION TO THE TOWNSHIP/FIRE MARSHAL.
43. A FIRE DEPARTMENT ACCESS BOX (KNOX BOX) SHALL BE INSTALLED. THIS BOX WILL BE REQUIRED TO CONTAIN KEYS TO THE BUILDING, GATES, FIRE PROTECTION SYSTEM AND OTHER AREAS REQUESTED BY THE FIRE DEPARTMENT.
44. PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), AS AMENDED, A HIGHWAY OCCUPANCY PERMIT WILL BE REQUIRED BEFORE ANY IMPROVEMENTS ARE INITIATED WITHIN A STATE HIGHWAY [RIGHT-OF-WAY].

DEMOLITION NOTES

- 1. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
2. EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENTATION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION, AND CLEARING AND GRUBBING OPERATIONS.
3. REMOVE AND DISPOSE OF ANY DEMOLITION MATERIAL, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
5. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
6. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AS REQUIRED, OR AS OTHERWISE NOTED HEREON. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE OWNER SHALL PAY ALL UTILITY CO. PROVIDER FEES FOR ABANDONMENT'S AND REMOVALS.
7. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
8. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENT CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENT CONTROLS AS PER THE EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN, AT THAT TIME.
9. THE CONTRACTOR SHALL ADHERE TO ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID BY THE CONTRACTOR.
10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED OR ORDERED BY THE ENGINEER, OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
11. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY, AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 AND VERIFY ALL UTILITY AND DRAINAGE LOCATIONS.
12. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO ALL UTILITIES LISTED WITHIN THE PA ONE-CALL INFORMATION PROVIDED ON SHEET CV-1 AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
13. BACKFILL AND COMPACT DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL. FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. BUILDING FOUNDATION AREA TO BE BACKFILLED IN 6" LIFTS WITH GRAVEL FILL OR SUITABLE MATERIAL, COMPACTED TO 95% MAX. DRY DENSITY (MODIFIED PROCTOR TEST), PER ASTM D1557 AT 1 & 2% OF OPTIMUM MOISTURE CONTENT, AS SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
14. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, THE LOWER ALLEN TOWNSHIP AND PENNDOT.
15. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE PROJECT ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS, AS WELL AS HAVE ONE CALL DIG MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
16. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY FOR PROTECTION DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
17. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
18. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
19. THE CONTRACTOR SHALL COMPLY WITH CFR29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
20. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
21. CARE SHOULD BE TAKEN TO PREVENT DUST AND DEBRIS FROM LEAVING THE BOUNDARIES OF THE PROPERTY.
22. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
23. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE. WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
24. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
25. UTILITY CONTACTS ARE LISTED ON SHEET CV-1.
26. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
27. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE RER CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
28. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS SET FOR OTHER PERTINENT INFORMATION.

GRADING AND DRAINAGE GENERAL NOTES

- 1. THE PRE-DEVELOPMENT CONDITION CONSISTS OF CLEARED AND PARTIALLY GRADED SITE. PROPOSED IMPROVEMENTS CONSISTS OF THE CONSTRUCTION OF A NEW GROCER AND RETAIL BUILDINGS, ASSOCIATED WALKS, PARKING, STORMWATER MANAGEMENT FACILITIES, UTILITIES, ETC.
2. NORTH ARROW AND BEARINGS BASED ON NAD83 PA SOUTH.
3. ELEVATIONS AND CONTOURS ARE BASED ON NAVD83. CONTOURS OUTSIDE OF THE LIMIT OF THE SITE TO BE DEVELOPED ARE BASED ON LIDAR CONTOURS FROM PASDA.
4. NO PORTION OF THE SITE LIES WITHIN THE 100 YEAR FLOOD PLAIN, REFERENCE AS "ZONE X", AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY AS TAKEN FROM FLOOD INSURANCE RATE MAP, PANEL 277 OF 480, MAP NUMBER 42041C0277E, AND PANEL 281 OF 480, MAP NUMBER 42041C0281E, BEARING AN EFFECTIVE DATE OF MARCH 16, 2008.
5. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE UTILITY PLAN FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
6. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.
7. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
8. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE TOWNSHIP REQUIRED TO PERFORM ALL REQUIRED WORK.
10. FOUNDATION SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
11. THE CONTRACTOR SHALL COMPACT FILL IN 6" MAXIMUM LIFTS UNDER (PAVING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
12. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
13. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY CUMBERLAND COUNTY CONSERVATION DISTRICT OR DEE PRIOR TO THE START OF WORK ON THE SITE.
14. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENTATION POLLUTION CONTROL MANUAL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED "EROSION AND SEDIMENTATION CONTROL PLAN" CONTAINED UNDER SEPARATE COVER.
15. ALL CONSTRUCTION SHALL COMPLY WITH OWNER'S SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.
16. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
17. ROOF DRAINAGE SHALL BE DIRECTED AND CONNECTED AS SHOWN IN THE CIVIL ENGINEERING GRADING AND DRAINAGE PLANS, SHOWN ON PLUMBING PLANS BY THE ARCHITECT.
18. TRENCH EXCAVATIONS SHALL BE BACKFILLED DAILY AND TEMPORARY BERMS OR DIKES SHALL BE CONSTRUCTED AROUND ALL EXCAVATIONS, INCLUDING THOSE FOR UTILITY TRENCHES, BUILDING FOUNDATIONS, ETC., TO PREVENT THE ENTRY OF SURFACE WATER.
PRODUCT NOTES:
1. GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.
2. POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANGOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
6. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANGOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 292, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SLIT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET. MEETING THE REQUIREMENTS OF AASHTO D1058 GRADE 242. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
7. DUCTILE IRON PIPE SHALL CONFORM TO AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A 214. FOR WATER MAINS AND SERVICES 3" ID AND LARGER, JOINTS SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH MEGALUJIK RETAINER GLANDS OR WITH RODDING IN ACCORDANCE WITH PROJECT MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXTEND A MINIMUM OF 2 PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS AND ELBOWS (40 FT MINIMUM). ALL OTHER JOINTS SHALL BE PUSH ON WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE. DI STORM PIPE SHALL BE PUSH ON JOINT WITH RUBBER GASKET.
8. PVC WATER MAIN PIPING SHALL CONFORM TO AWWA C900.

TOWNSHIP NOTES

- 1. APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN PROPOSED SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESTANDING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.
2. PROPOSED DEVELOPMENT SHALL MEET PENNSYLVANIA SEWAGE PLANNING REQUIREMENTS. THE CURRENT SEWAGE PLANNING APPROVALS FOR LOWER ALLEN TOWNSHIP ARE EXPECTED TO ALLOW FOR THE PROPOSED SEWAGE DEMAND OF THE PROJECT.

UTILITY CONSTRUCTION NOTES

- 1. CONTRACTOR/OWNER IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE SITE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR MATERIALS AND CONSTRUCTION METHODS AND TO UTILITY COMPANY FOR PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS-EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESSEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
4. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND LOWER ALLEN TOWNSHIP AUTHORITY STAFF REVIEW.
5. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND LOWER ALLEN TOWNSHIP AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANY.
6. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, RELOCATIONS, INSPECTIONS, AND DEMOLITION.
7. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT (UNLESS DEMOLISHED). AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE PLANS OR AS REQUIRED BY THE PENNDOT OR LOWER ALLEN TOWNSHIP.
8. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
9. ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 1.0'. ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 2.0' OR TUNNELED IF REQUIRED.
10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 6" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS, PARKING AREAS, AND CURBS FOR UTILITY AND IRRIGATION CONNECTIONS.
14. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICIAN/ELECTRICAL CONTRACTOR.
15. THE SITE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR PRE-CONSTRUCTION CONDITION OR BETTER.
16. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE INCLUDING SERVICES. CONTACT PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1-800-242-1776" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
17. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND WITH THE LOWER ALLEN TOWNSHIP AUTHORITY AND CONTRACTOR SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, RELOCATIONS, INSPECTIONS, AND DEMOLITION.
18. ELECTRIC, TELEPHONE, AND CABLE SERVICES FOR THE SITE SHALL BE INSTALLED UNDERGROUND. THE SITE CONTRACTOR SHALL INSTALL AND BACKFILL 2-4" PVC CONDUITS FOR TELEPHONE AND CABLE SERVICE AND 2-4" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY AND SECONDARY PER BUILDING ELECTRICAL PLANS (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, PHONE COMPANY AND CATV COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
19. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54" AND A MAXIMUM COVER OF 60" UNLESS OTHERWISE APPROVED BY LOWER ALLEN TOWNSHIP.
20. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OR THE APPROPRIATE LOCAL UTILITY COMPANY SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS. ALL WATER METER VAULTS AND ACCESS COVERS IN VEHICULAR TRAFFIC AREAS SHALL BE QUALIFIED FOR H-20 LOADING.
21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
22. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY COMPANIES AND GOVERNING AUTHORITIES.
23. ANY EXISTING POTABLE WATER WELL(S) IF FOUND SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
24. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
25. ALL SANITARY SEWER AND LATERAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP AUTHORITY'S CONSTRUCTION AND MATERIAL SPECIFICATIONS.
26. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED.
27. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
28. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCASEMENT.
29. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
30. EXCAVATIONS SHALL BE BACKFILLED DAILY AND TEMPORARY BERMS OR DIKES SHALL BE CONSTRUCTED AROUND ALL EXCAVATIONS, INCLUDING THOSE FOR UTILITY TRENCHES, BUILDING FOUNDATIONS, ETC., TO PREVENT THE ENTRY OF SURFACE WATER.
31. CONTRACTOR SHALL TAKE ALL SPECIAL PRECAUTIONS REQUIRED BY UTILITY COMPANIES FOR PIPE CROSSINGS OF DISSIMILAR METAL MATERIALS.
32. THE CONTRACTOR SHALL SECURE ALL NECESSARY TOWNSHIP AND PENNDOT UTILITY HOPs PRIOR TO THE COMMENCEMENT OF WORK.

1/21/2020, CUMBERLAND, CV-1038292-000, 2020170-DWG, 000101-DWG, 001

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PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
GROCER AND RETAIL - LOWER ALLEN COMMONS
3525 GETTYSBURG ROAD
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

Table with columns: No., Date, Revisions, Title, Sheet No. Includes title 'GENERAL NOTES' and sheet number 'GN-1 No. 2 of 17'.





**ZONING INFORMATION**

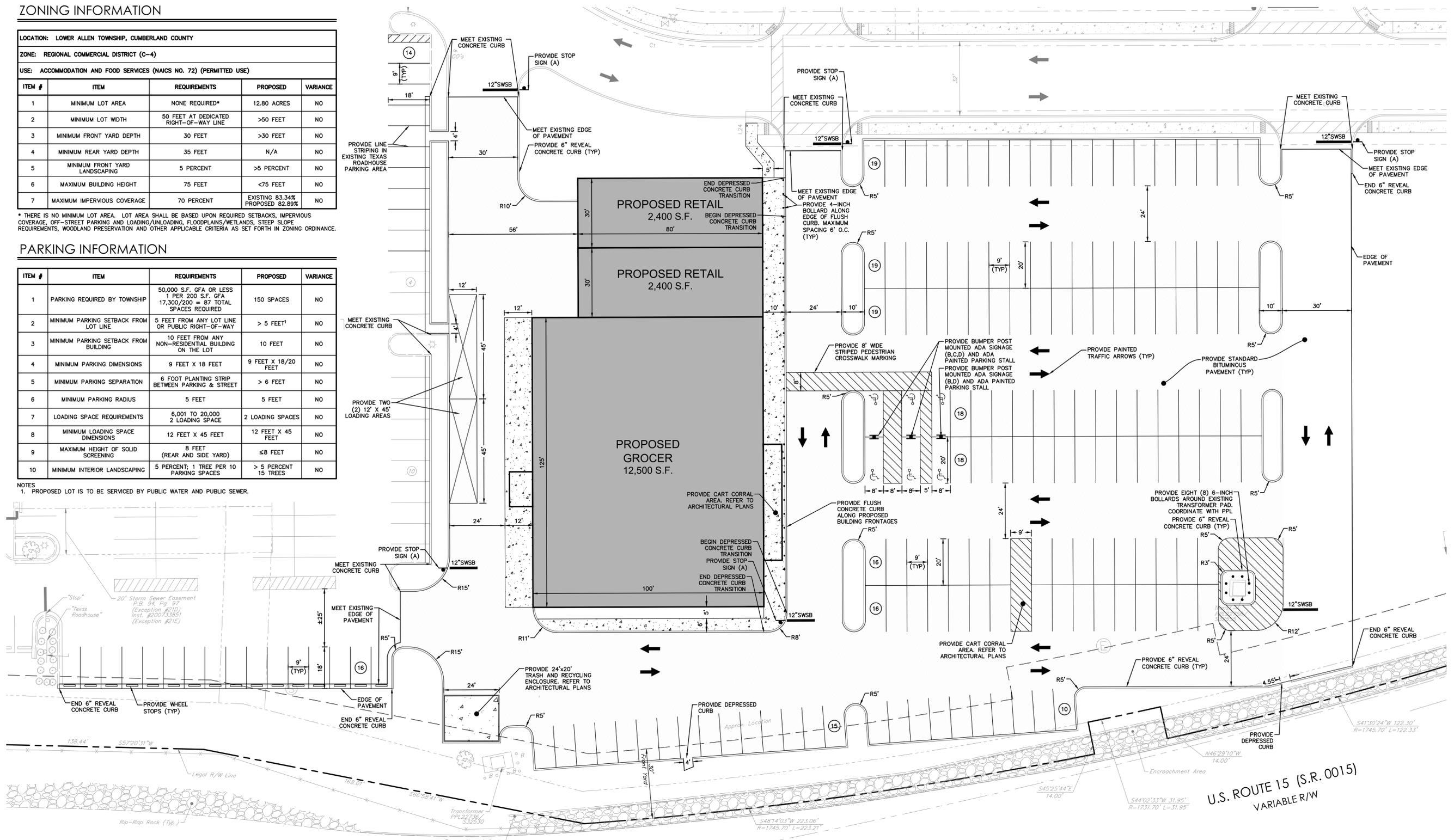
LOCATION: LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY				
ZONE: REGIONAL COMMERCIAL DISTRICT (C-4)				
USE: ACCOMMODATION AND FOOD SERVICES (NAICS NO. 72) (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	NONE REQUIRED*	12.80 ACRES	NO
2	MINIMUM LOT WIDTH	50 FEET AT DEDICATED RIGHT-OF-WAY LINE	>50 FEET	NO
3	MINIMUM FRONT YARD DEPTH	30 FEET	>30 FEET	NO
4	MINIMUM REAR YARD DEPTH	35 FEET	N/A	NO
5	MINIMUM FRONT YARD LANDSCAPING	5 PERCENT	>5 PERCENT	NO
6	MAXIMUM BUILDING HEIGHT	75 FEET	<75 FEET	NO
7	MAXIMUM IMPERVIOUS COVERAGE	70 PERCENT	EXISTING 83.34% PROPOSED 82.89%	NO

\* THERE IS NO MINIMUM LOT AREA. LOT AREA SHALL BE BASED UPON REQUIRED SETBACKS, IMPERVIOUS COVERAGE, OFF-STREET PARKING AND LOADING/UNLOADING, FLOODPLAINS/WETLANDS, STEEP SLOPE REQUIREMENTS, WOODLAND PRESERVATION AND OTHER APPLICABLE CRITERIA AS SET FORTH IN ZONING ORDINANCE.

**PARKING INFORMATION**

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	PARKING REQUIRED BY TOWNSHIP	50,000 S.F. GFA OR LESS 1 PER 200 S.F. GFA 17,300/200 = 87 TOTAL SPACES REQUIRED	150 SPACES	NO
2	MINIMUM PARKING SETBACK FROM LOT LINE	5 FEET FROM ANY LOT LINE OR PUBLIC RIGHT-OF-WAY	> 5 FEET <sup>1</sup>	NO
3	MINIMUM PARKING SETBACK FROM BUILDING	10 FEET FROM ANY NON-RESIDENTIAL BUILDING ON THE LOT	10 FEET	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18/20 FEET	NO
5	MINIMUM PARKING SEPARATION	6 FOOT PLANTING STRIP BETWEEN PARKING & STREET	> 6 FEET	NO
6	MINIMUM PARKING RADIUS	5 FEET	5 FEET	NO
7	LOADING SPACE REQUIREMENTS	6,001 TO 20,000 2 LOADING SPACE	2 LOADING SPACES	NO
8	MINIMUM LOADING SPACE DIMENSIONS	12 FEET X 45 FEET	12 FEET X 45 FEET	NO
9	MAXIMUM HEIGHT OF SOLID SCREENING	8 FEET (REAR AND SIDE YARD)	≤8 FEET	NO
10	MINIMUM INTERIOR LANDSCAPING	5 PERCENT; 1 TREE PER 10 PARKING SPACES	> 5 PERCENT 15 TREES	NO

NOTES  
1. PROPOSED LOT IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.



LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	CONCRETE CURB
	STANDARD DUTY BITUMINOUS PAVEMENT
	CONCRETE
	PROPOSED FENCE
	EDGE OF PAVEMENT
	PROPOSED SIGN

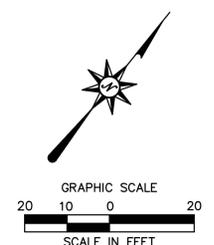
PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20183380828



2601 Market Place  
Suite 350  
Harrisburg, PA 17110  
(717) 943-1665  
(717) 651-9858 Fax

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
GROCER AND RETAIL - LOWER ALLEN COMMONS**  
3525 GETTYSBURG ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

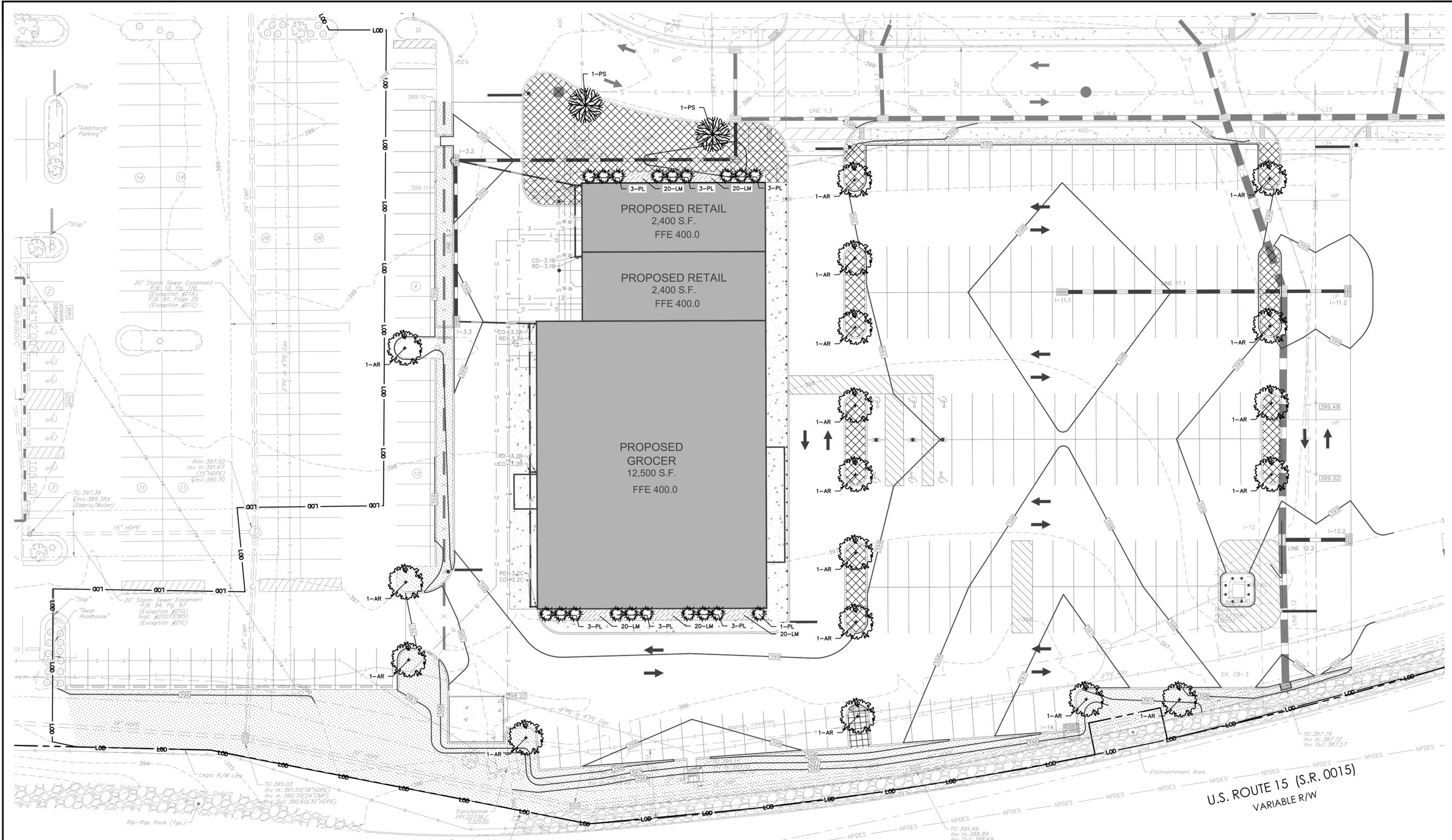
REVISIONS	No.	Date	Desc.
Designed	A.J.D.		
Drawn	C.J.S.		
Reviewed	A.J.B.		
Scale	1" = 20'		
Project No.	2000710		
Date	09/21/20		
CAD File:	SP200071001		
Title	SITE PLAN		
Sheet No.			







**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
GROCER AND RETAIL - LOWER ALLEN COMMONS**  
3525 GETTYSBURG ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

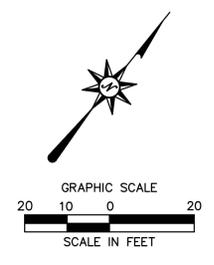


U.S. ROUTE 15 (S.R. 0015)  
VARIABLE R/W

LEGEND	
	LIMIT OF DISTURBANCE
	PROPERTY LINE
	PROPOSED SOD
	PROPOSED LAWN
	PROPOSED GROUNDCOVER
	PROPOSED SHRUBS AND FLOWERS
	PROPOSED TREES
	PROPOSED STREET TREES



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20183380828



REVISIONS	
No.	Date

Designed: A.J.D.  
Drawn: C.J.S.  
Reviewed: A.J.B.  
Scale: 1" = 20'  
Project No.: 2000710  
Date: 09/21/20  
CAD File: LL200071001

Title:  
**LANDSCAPE PLAN**

Sheet No.: